

**REGIONAL DISTRICT OF NANAIMO
REGULAR BOARD MEETING
AGENDA**

Tuesday, July 25, 2017

7:00 P.M.

RDN Board Chambers

This meeting will be recorded

Pages

- 1. CALL TO ORDER**
- 2. APPROVAL OF THE AGENDA**
- 3. ADOPTION OF MINUTES**
 - 3.1 Regular Board Meeting - June 27, 2017** 9

(All Directors - One Vote)

That the minutes of the Regular Board meeting held June 27, 2017, be adopted.
- 4. DELEGATIONS - AGENDA ITEMS**
- 5. CORRESPONDENCE**
 - 5.1 Correspondence re Development Permit with Variance Application No. PL2016-188 and Lakes District and Schooner Cove Phased Development Agreement Amendment Agreement - 3521 Dolphin Drive, Electoral Area 'E'** 28
- 6. REPORTS**
 - 6.1 Arrowsmith CPR Regional Trail – Island Timberlands Licence Renewal** 377

(All Directors - Weighted Vote)

That the Board accept Island Timberlands' offer to renew the 2000 Arrowsmith CPR Regional Trail non-exclusive licence for the period April, 1 2017 to March 31, 2019.

6.2	Little Qualicum River Regional Park Bridge Upgrade Tender Award	380
	(All Directors - Weighted Vote)	
	1. That the Board cancel the tender without awarding a contract for the Little Qualicum River Regional Park Bridge Upgrade.	
	2. That the Board direct staff to remove the existing Little Qualicum River Regional Park Bridge due to safety concerns.	
	3. That the design and construction of a new bridge for the Little Qualicum River Regional Park be considered for inclusion in the 5-year Regional Parks Capital Plan.	
7.	COMMITTEE MINUTES	
	(All Directors - One Vote)	
	That the following minutes be received for information:	
7.1	Executive Committee Meeting - June 27, 2017	385
7.2	Committee of the Whole Meeting - July 11, 2017	388
7.3	Electoral Area Services Committee Meeting - July 11, 2017	392
7.4	Solid Waste Management Select Committee Meeting - July 17, 2017	399
8.	COMMITTEE RECOMMENDATIONS	
8.1	Executive Committee	
8.1.1	Community Grants Policy	401
	(All Directors - One Vote)	
	1. That the Terms of Reference for the Community Grant Committee be approved.	
	2. That the Community Grants Policy No. A1.30 be approved.	
	3. That the Grants-in-Aid Advisory Committee be dissolved.	
	4. That Grants-in-Aid Policy No. A1.28 be repealed.	
	5. That an overall review of RDN Community Grant programs be included in the 2018 work plans.	
8.1.2	Directors' Remuneration	414
	<i>Please note: The original recommendation was varied by the Committee (Item 1 amended; Item 4 added)</i>	

(All Directors - One Vote)

1. That the process and Terms of Reference for an independent review of the Regional District of Nanaimo’s Directors’ remuneration by a consultant be approved as amended to delete Cowichan Valley Regional District from the comparator group and add Comox Valley Regional District, and to include reference to remuneration for Alternate Directors.
2. That the Executive Committee be appointed by the Board to review the consultant’s report on remuneration and make a recommendation to the Board.
3. That the Board direct that the applicable policies and bylaws be revised and updated following approval of the remuneration by the Board.
4. That staff report back to the Executive Committee in November of this year.

8.2 Committee of the Whole

8.2.1 Southern Community Sewer Secondary Treatment Capital Improvements – Security Issuing Bylaw 1762 and Interim Financing Bylaw 1763 434

(All Directors - Weighted Vote)

1. That “Southern Community Sewer Local Service Secondary Treatment Capital Improvements Security Issuing Bylaw No. 1762, 2017” be introduced and read three times.
2. That “Southern Community Sewer Local Service Secondary Treatment Capital Improvements Interim Financing Bylaw No. 1763, 2017” be introduced and read three times.

8.2.2 Draft State of Recreation in District 69 (Oceanside) Research Report 441

(Parksville, Qualicum Beach, Electoral Areas 'E', 'F', 'G', 'H' - Weighted Vote)

That the Draft State of Recreation in District 69 (Oceanside) Research Report be presented to the District 69 Recreation Commission and the Recreation Services Master Plan Advisory Committee for information and comment prior to inclusion in the Master Plan as a reference document.

8.2.3 July 2017 Asset Management Update 566

(All Directors - One Vote)

That the Board endorse the July 2017 Asset Management Update.

8.2.4 Community Grants - Tribal Journeys 2017

(All Directors - Weighted Vote)

Whereas on May 23, 2017 after consideration of a staff report on Tribal Journeys 2017 the Board resolved that "...Directors and staff be informed of any volunteer opportunities that may arise from the event."

Therefore be it resolved that the Regional District of Nanaimo's First Nations liaison budget be utilized to provide the following community grants to contribute towards the costs of Tribal Journeys 2017.

1. Qualicum First Nation \$1200
2. Snuneymuxw First Nation \$1200
3. Snaw-Naw-As \$1200

8.3 Solid Waste Management Select Committee

8.3.1 Solid Waste Services Update

(All Directors - Weighted Vote)

That staff prepare a report on the Regional Solid Waste Advisory Committee Zero Waste Recycling motion. The staff report is to be provided at the next Solid Waste Management Select Committee meeting for further consideration of the following Regional Solid Waste Advisory Committee motion:

The Regional Solid Waste Advisory Committee recommends that the Board fund a non-profit enterprise to act as a research/recycling hub for recycling items currently not commercially marketable. The research/recycling hub would develop methods, markets and collaborations for items not currently easily recyclable, investigate barriers to recycling these items, and develop recycling programs that would ultimately benefit the Regional District of Nanaimo as a whole. Funding for the research/recycling hub would be set at \$300,000 annually over a 5 year pilot project.

8.3.2 Contract Award - Regional Landfill Scale and Scale House Replacement

575

(All Directors - Weighted Vote)

That the contract for the construction of the Regional Landfill scale and scale house be awarded to Island West Coast Development in the amount of \$498,301 and a total project cost of \$572,801.

8.4 Electoral Area Services Committee

8.4.1 Fireplace Stove from Anders and Dorrit's Community Park House

(All Directors - One Vote)

That Regional District of Nanaimo staff send a letter to the Chairman of the Mountain Fire Protection District Board of Trustees to request the possibility of the fireplace stove being stored in perpetuity at East Wellington Fire Hall as a community museum piece.

8.4.2 Dashwood Community Hall

(All Directors - One Vote)

That the demolition of the Dashwood Community Park Hall be postponed until a review and consultation with the community can be done.

8.4.3 Highway 19A Thames Creek Road Pullout Improvement Request

(All Directors - One Vote)

That no further action is to be taken regarding the request for the Regional District of Nanaimo to undertake improvements to the Thames Creek pullout on Highway 19A.

8.4.4 McColl Rd. Beach Access

578

(All Directors - One Vote)

That staff be directed to contact Ministry of Transportation and Infrastructure regarding encroachment onto the McColl Rd undeveloped Right of Way.

8.4.5 Natural Playgrounds

584

(All Directors - One Vote)

That staff be directed to provide a scoped concept report regarding natural playground equipment, budget and location around the Madrona area for the next Electoral Area 'E' Parks and Open Space Advisory Committee meeting.

8.4.6 Nanoose Road Community Park

586

(All Directors - One Vote)

That staff be directed to submit a request to Crown Lands to expand the potential uses for the Nanoose Road Community Park to include a dog park.

8.4.7 Snaw-Naw-As First Nation - Hul'q'umi'num Name New Community Park

(All Directors - One Vote)

That the Electoral Area 'E' Community Park on Oak Leaf Drive be named Es-hw Sme~nts Community Park. Pronunciation: Eshk-Sments.

8.4.8 Zoning Amendment - File No. PL2017-089 - Electoral Areas 'A', 'C', 'E', 'G' and 'H' - Amendment Bylaw 500.410, 2017 - First and Second Reading; Amendment Bylaw 500.411, 2017 - First and Second Reading 587

(Electoral Area Directors, except EA 'B' - One Vote)

1. That "Regional District of Nanaimo Land Use and Subdivision Amendment Bylaw No. 500.410, 2017" be introduced and read two times.
2. That the public hearing for "Regional District of Nanaimo Land Use and Subdivision Bylaw Amendment Bylaw No. 500.410, 2017" be waived and notice in accordance with Section 467 of the *Local Government Act* be given.
3. That "Regional District of Nanaimo Land Use and Subdivision Amendment Bylaw No. 500.411, 2017" be introduced and read two times.
4. That the public hearing for "Regional District of Nanaimo Land Use and Subdivision Bylaw Amendment Bylaw No. 500.411, 2017" be waived and notice in accordance with Section 467 of the *Local Government Act* be given.

8.4.9 Amendments to Bylaw No. 1285

(Electoral Area Directors, except EA 'B' - One Vote)

1. That staff be directed to draft amendments to Bylaw No. 1285 (Section 1.4 and Section 5 "Lot"); so as to enable land strata subdivision in harmony with that enabled by Bylaw No. 500.
2. That Bylaw No. 1285 be amended as follows: the maximum density requirement for Rural 1 (R-1) Zone be set at 2 Dwelling Units per lot; with the specification of 1 Dwelling Unit per hectare removed.

8.4.10 Development Variance Permit Application No. PL2017-059 - 2226 South Lake Road, Electoral Area 'H' 598

Delegations wishing to speak to Development Variance Permit Application No. PL2017-059 - 2226 South Lake Road, Electoral Area 'H'

(Electoral Area Directors, except EA 'B' - One Vote)

That the Board approve Development Variance Permit No. PL2017-059 to increase the maximum floor area on a single storey of a recreational residence from 70 m² to 105 m² subject to the terms and conditions outlined in Attachment 2 to 4.

8.4.11 Development Variance Permit Application No. PL2017-063 - 3036 Bay Road, Electoral Area 'H' 607

Delegations wishing to speak to Development Variance Permit Application No. PL2017-063 - 3036 Bay Road, Electoral Area 'H'

(Electoral Area Directors, except EA 'B' - One Vote)

That the Board approve Development Variance Permit No. PL2017-063, subject to the terms and conditions outlined in Attachments 2 to 4, to:

- a) increase the maximum permitted floor area and increase the maximum permitted height to allow the construction of an accessory building and;
- b) reduce the maximum accessory building floor area for any additional accessory building, accessory water storage structure, or accessory wood storage structure.

8.4.12 Development Variance Permit Application No. PL2016-123 - Brynmarl Road, Electoral Area 'E' 616

Delegations wishing to speak to Development Variance Permit Application No. PL2016-123 - Brynmarl Road, Electoral Area 'E'

(Electoral Area Directors, except EA 'B' - One Vote)

That the Board approve Development Variance Permit No. PL2016-123 to reduce the setback from the natural boundary of the sea for a swimming pool and patio and reduce the setback from the interior side lot line for a patio subject to the terms and conditions outlined in Attachment 2 to 4.

8.4.13 Development Permit with Variance Application No. PL2016-188 and Lakes District and Schooner Cove Phased Development Agreement Amendment Agreement - 3521 Dolphin Drive, Electoral Area 'E' 626

Delegations wishing to speak to Development Permit with Variance Application No. PL2016-188 - 3521 Dolphin Drive, Electoral Area 'E'

(Electoral Area Directors, except EA 'B' - One Vote)

1. That the Summary of the Public Information Meeting held on May 30, 2017, be received.
2. That the Board approve the Lakes District and Schooner Cove Phased Development Agreement Amendment Agreement to include changes primarily relating to the proposed waterfront boardwalk and pathway, maintenance of the multi-use pathway, timing and trigger mechanisms, the boat ramp, and fire protection as proposed in Attachment 13.
3. That the Board approve Development Permit with Variance No. PL2016-188 to permit the construction of a multi-residential and mixed use commercial development subject to the terms and conditions outlined in Attachments 2 to 7 and the variances outlined in Attachment 2.
4. That the Board direct staff to send a letter to the Ministry of Transportation and Infrastructure advising them that it is the Regional District of Nanaimo's expectation that Ministry of Transportation and Infrastructure will retain responsibility for new and existing sidewalks in the Lakes District and Schooner Cove as per Minister Stone's commitment of August 28, 2013.

9. BUSINESS ARISING FROM DELEGATIONS

10. NEW BUSINESS

11. IN CAMERA

(All Directors - One Vote)

That pursuant to Sections 90 (1) (a), (c), (e), (g), and (m) of the *Community Charter* the Board proceed to an In Camera meeting for discussions related to Board appointments, labour relations, land acquisition, litigation and intergovernmental relations.

12. ADJOURNMENT

**REGIONAL DISTRICT OF NANAIMO
MINUTES OF THE REGULAR BOARD MEETING**

**Tuesday, June 27, 2017, 7:00 P.M.
RDN Board Chambers**

In Attendance:	Director W. Veenhof	Chair
	Director I. Thorpe	Vice Chair
	Director A. McPherson	Electoral Area A
	Director H. Houle	Electoral Area B
	Director M. Young	Electoral Area C
	Director B. Rogers	Electoral Area E
	Director J. Fell	Electoral Area F
	Director J. Stanhope	Electoral Area G
	Director B. McKay	City of Nanaimo
	Director B. Bestwick	City of Nanaimo
	Director G. Fuller	City of Nanaimo
	Director J. Hong	City of Nanaimo
	Director J. Kipp	City of Nanaimo
	Director B. Yoachim	City of Nanaimo
	Director M. Lefebvre	City of Parksville
	Director B. Colclough	District of Lantzville
	Director T. Westbroek	Town of Qualicum Beach
Also in Attendance:	P. Carlyle	Chief Administrative Officer
	R. Alexander	Gen. Mgr. Regional & Community Utilities
	G. Garbutt	Gen. Mgr. Strategic & Community Development
	T. Osborne	Gen. Mgr. Recreation & Parks
	J. Harrison	Director of Corporate Services
	T. Moore	A/Director of Finance
	J. Hill	Mgr. Administrative Services
	C. Golding	Recording Secretary

CALL TO ORDER

The Chair called the meeting to order and respectfully acknowledged the Coast Salish Nations on whose traditional territory the meeting took place.

The Chair welcomed former Regional District of Nanaimo Director George Holme to the meeting.

APPROVAL OF THE AGENDA

17-305

It was moved and seconded that the agenda be approved as presented.

CARRIED UNANIMOUSLY

ADOPTION OF MINUTES

Regular Board Meeting - May 23, 2017

17-306

It was moved and seconded that the minutes of the Regular Board meeting held May 23, 2017, be adopted.

CARRIED UNANIMOUSLY

CORRESPONDENCE

Helen Sims and Jamie Larson, Oceanside Development & Construction Association, re Development Permit Delegation Bylaw

17-307

It was moved and seconded that the correspondence from Helen Sims and Jamie Larson, Oceanside Development & Construction Association, regarding Development Permit Delegation Bylaw be received.

CARRIED UNANIMOUSLY

Owners of Strata Plan - VIS 5160, re Development Variance Permit Application No. PL2017-053 - 2794 Sunset Terrace, Electoral Area 'H'

17-308

It was moved and seconded that the correspondence from the Owners of Strata Plan - VIS 5160, regarding Development Variance Permit Application No. PL2017-053 - 2794 Sunset Terrace, Electoral Area 'H' be received.

CARRIED UNANIMOUSLY

COMMITTEE MINUTES AND RECOMMENDATIONS

Electoral Area Services Committee

Minutes of the Electoral Area Services Committee Meeting - June 13, 2017

17-309

It was moved and seconded that the minutes of the Electoral Area Services Committee meeting held June 13, 2017, be received for information.

CARRIED UNANIMOUSLY

Trail Project Updates

17-310

It was moved and seconded that \$10,000 be allocated from the 2017 Electoral Area 'F' Community Parks Budget for the David Lundine Trail surfacing.

CARRIED UNANIMOUSLY

17-311

It was moved and seconded that the Electoral Area 'F' Community Works Fund be used to fund the completion of the Carrothers Trail.

CARRIED UNANIMOUSLY

BMX/Mountain Bike Park – Errington Memorial Park

17-312

It was moved and seconded that a Bike Skills Park be included in future development plans for the Errington Community Park.

CARRIED UNANIMOUSLY

Development Permit Application No. PL2017-056 - 2519 Lasqueti Road, Electoral Area 'H'

17-313

It was moved and seconded that the Board approve Development Permit No. PL2017-056 to permit the construction of a new wastewater system subject to the conditions outlined in Attachments 2 and 3.

CARRIED UNANIMOUSLY

Development Permit Application No. PL2017-067 - 6919 Island Highway West, Electoral Area 'H'

17-314

It was moved and seconded that the Board approve Development Permit No. PL2017-067 and Site Specific Floodplain Bylaw exemption to permit an addition to a detached hotel unit subject to the conditions outlined in Attachments 2 to 4.

CARRIED UNANIMOUSLY

Development Permit Application No. PL2016-138 - 3100 and 3106 Jameson Road, Electoral Area 'C'

17-315

It was moved and seconded that the Board approve Development Permit No. PL2016-138 to permit the installation of two culverts and access roads on the property subject to the conditions outlined in Attachment 2.

CARRIED UNANIMOUSLY

Development Variance Permit Application No. PL2017-036 - 1420 Alberni Highway, Electoral Area 'F'

17-316

It was moved and seconded that the Board approve Development Variance Permit No. PL2017-036 to increase the number of freestanding signs on the parcel from 1 to 2 and to reduce the front lot line setback for a freestanding sign from 4.5 metres to 0.3 metres subject to the terms and conditions outlined in Attachments 2 to 4.

CARRIED UNANIMOUSLY

Development Variance Permit Application No. PL2017-053 - 2794 Sunset Terrace, Electoral Area 'H'

17-317

It was moved and seconded that the Board approve Development Variance Permit No. PL2017-053 to increase the maximum permitted floor area and height for recreational residence and to reduce the setback from the interior side and Other Lot Line for the construction of a retaining wall subject to the terms and conditions outlined in Attachments 2 to 4.

CARRIED UNANIMOUSLY

Liquor Licence Amendment Application No. PL2017-055 - 2310 Alberni Highway, Electoral Area 'F'

17-318

It was moved and seconded that the Board consider submissions or comments from the public regarding Liquor Licence Amendment Application No. PL2017-055.

CARRIED UNANIMOUSLY

17-319

It was moved and seconded that the Board adopt the resolution pertaining to Liquor Licence Amendment Application No. PL2017-055 attached to this report as Attachment 2.

CARRIED UNANIMOUSLY

Development Permit Delegation of Authority Bylaw

17-320

It was moved and seconded that the Board give three readings to "Regional District of Nanaimo Delegation of Authority Bylaw No. 1759, 2017".

CARRIED UNANIMOUSLY

17-321

It was moved and seconded that the Board adopt "Regional District of Nanaimo Delegation of Authority Bylaw No. 1759, 2017".

CARRIED UNANIMOUSLY

Committee of the Whole

Minutes of the Committee of the Whole Meeting - June 13, 2017

17-322

It was moved and seconded that the minutes of the Committee of the Whole meeting held June 13, 2017, be received for information.

CARRIED UNANIMOUSLY

Ted Girard, re Request for Letter of Support: Cedar Hall Accessibility Grant, Stage I

17-323

It was moved and seconded that the Board provide a letter of support to the Cedar Hall Community Association regarding their application to the New Horizons for Seniors Program for funding towards the cost of upgrades at the Cedar Community Hall and that the letter be provided immediately to meet the June 23, 2017 application deadline.

CARRIED UNANIMOUSLY

2016 Census Impact on Number of Directors and Voting Strength

17-324

It was moved and seconded that the Board request an amendment to the Regional District of Nanaimo Letters Patent to change the voting unit to 2,750.

Opposed (5): Director McPherson, Director Houle, Director Rogers, Director Fell, and Director Westbroek

CARRIED

Proposal to Host a Joint Workshop with the Province for Farmers

17-325

It was moved and seconded that the Regional District of Nanaimo request that Provincial staff hold a workshop for farmers in the region regarding the new Provincial Groundwater licensing process and how to use the BC Agricultural Water Tool.

CARRIED UNANIMOUSLY

District 68 Grant Approvals

17-326

It was moved and seconded that the Board award District 68 Grants-in-Aid funds as follows:

Gabriola Agricultural Association – for the purchase of kitchen supplies and other supplies for the 2nd Annual Farm to Table Feast - \$1,000

Mudge Island Citizen’s Society – towards the purchase and delivery of a Sea Can for storage of firefighting and first aid gear - \$3,697

Total - \$4,697

CARRIED UNANIMOUSLY

District 69 Grant Approvals

17-327

It was moved and seconded that the Board award District 69 Grants-in-Aid funds as follows:

- Bowser Seniors Housing Society – towards the cost of advertising for the Society’s Development application - \$1,500
 - Inclusion Parksville Society – towards the purchase of concrete pads, picnic tables and a barbeque for Flagship Canada Day Community Celebration - \$3,000
 - Oceanside Building Learning Together Society – for the purchase of books for the Books for Babes Program - \$1,020
 - Oceanside Hospice Society – for the purchase of equipment and advertising for volunteers for Equipment Loan Program - \$4,832
 - Oceanside Volunteer Association – towards advertising and posters for the Wellness and Volunteer Fair - \$200
 - Royal Canadian Legion Branch #76 – towards the purchase of a food cooler - \$1,600
 - Royal Canadian Legion Bowser & Area Branch #211 – towards supplies and promotion for the Canada Day 150th Birthday Celebration - \$800
- Total - \$12,952

CARRIED UNANIMOUSLY

District 69 Youth Recreation Grants

17-328

It was moved and seconded that the following District 69 Youth Recreation Grant applications be approved:

- Ballenas Secondary School - Tribune Bay trip - \$2,500
 - Ballenas Whalers Football Support Society - helmets - \$2,000
 - Bard to Broadway - youth theatre workshop facility rental - \$460
 - Bard to Broadway - performing arts education series facility rental - \$1,200
 - Bow Horne Bay Community Club - Halloween party - \$1,200
 - District 69 Family Resource Association - summer youth program - \$900
 - Oceanside Community Arts Council - summer camp supplies and signage - \$1,435
 - Ravensong Aquatic Club - pool rental - \$1,000
- Total - \$10,695

CARRIED UNANIMOUSLY

District 69 Community Recreation Grants

17-329

It was moved and seconded that the following District 69 Community Recreation Grant applications be approved:

- Arrowsmith Community Recreation Association - Food Skills for Families - \$1,000
 - Arrowsmith Community Recreation Association - Coombs Candy Walk - \$1,000
 - Bowser Elementary School PAC - playground project - \$1,000
 - Corcan Meadowood Residents Association - Canada Day - \$1,000
 - Corcan Meadowood Residents Association - Halloween event - \$1,000
 - District 69 Family Resource Association - 2-week day camp - \$600
 - Errington Cooperative Preschool - art supplies - \$1,000
 - Errington Elementary School PAC - grade 3 swim program - \$1,000
 - Kidfest Society - equipment rental, event and site expenses - \$1,300
 - Oceanside Community Arts Council - seniors art program - \$1,000
 - Parksville Indoor Slow-pitch League - equipment - \$1,100
 - Parksville Oceanside Pickleball Society (formerly Parksville Qualicum Pickleball Club) - equipment - 1,000
 - Qualicum Community Education and Wellness - music program - \$1,250
 - Qualicum Woods Residents Association - neighborhood picnic - \$375
 - Van-Isle Walking Soccer - equipment - \$1,000
- Total - \$14,625

CARRIED UNANIMOUSLY

2016 Development Cost Charge (DCC) Reserve Fund Uses and Bylaws for 2017 DCC Reserve Fund Releases

17-330

It was moved and seconded that “Southern Community Sewer Service Area Development Cost Charge Reserve Fund Expenditure Bylaw No. 1757, 2017” be introduced and read three times.

CARRIED UNANIMOUSLY

17-331

It was moved and seconded that “Southern Community Sewer Service Area Development Cost Charge Reserve Fund Expenditure Bylaw No. 1757, 2017” be adopted.

CARRIED UNANIMOUSLY

17-332

It was moved and seconded that “Northern Community Sewer Service Area Development Cost Charge Reserve Fund Expenditure Bylaw No. 1758, 2017” be introduced and read three times.

CARRIED UNANIMOUSLY

17-333

It was moved and seconded that “Northern Community Sewer Service Area Development Cost Charge Reserve Fund Expenditure Bylaw No. 1758, 2017” be adopted.

CARRIED UNANIMOUSLY

Port Theatre Society Contribution Agreement Renewal

17-334

It was moved and seconded that the Contribution Agreement with the Port Theatre Society for a term from April 1, 2017 to March 31, 2022 be approved.

CARRIED UNANIMOUSLY

2016 Annual Financial Report and Statement of Financial Information

17-335

It was moved and seconded that the 2016 Annual Financial Report and the Statement of Financial Information be approved as presented.

CARRIED UNANIMOUSLY

First Nations Art Installation Project

17-336

It was moved and seconded that a request for an Expression of Interest document be issued for the creation of one to three pieces of Coast Salish First Nations art to a total value of \$30,000, or alternatively, for the purchase of one to three pieces of existing Coast Salish First Nations art to a total value of \$30,000 for installation at the Regional District of Nanaimo Administration Building.

CARRIED UNANIMOUSLY

17-337

It was moved and seconded that the Regional District of Nanaimo Chair and two Directors be appointed to an art selection committee and that Snuneymuxw First Nation, Snaw-Naw-As First Nation and Qualicum First Nation be invited to each appoint a representative to the committee.

CARRIED UNANIMOUSLY

17-338

It was moved and seconded that the Art Selection Committee make recommends to the Board of the Regional District of Nanaimo as to the art pieces to be created and/or purchased.

CARRIED UNANIMOUSLY

Greater Nanaimo Pollution Control Centre Secondary Treatment Revised Engineering and Construction Services Fee Approval

17-339

It was moved and seconded that the Board approve AECOM's revised Engineering and Construction Services fee for the Greater Nanaimo Pollution Control Centre Secondary Treatment Project for the total amount of \$6,351,028

CARRIED UNANIMOUSLY

Departure Bay Forcemain Inspection and Condition Assessment Contract Award

17-340

It was moved and seconded that the Board award the pipeline inspection and condition assessment of the Departure Bay Forcemain to Pure Technologies Ltd for \$290,000.

CARRIED UNANIMOUSLY

Executive Committee

Minutes of the Executive Committee Meeting - May 23, 2017

17-341

It was moved and seconded that the minutes of the Executive Committee meeting held May 23, 2017, be received for information.

CARRIED UNANIMOUSLY

Board Policy Update

17-342

It was moved and seconded that the following policies be repealed:

- A1.4 Counter Petition Process
- A1.12 Lease Agreements on RDN Owned or Leased Property
- A1.13 Freedom of Information & Protection of Privacy Principles
- A1.14 Appointments to RDN Advisory Committees and Commissions
- A1.22 Legal Services
- A1.25 Regional Services Review Guiding Principles
- A1.29 Bylaws Not Requiring Inspector Approval
- A2.3 Acceptance of Donations
- A2.10 Administration Fees
- A3.1 Statutory Holiday
- A3.13 Short & Long Term Sick Leave Plan - Management/Excluded Staff
- A4.1 AIDS (Acquired Immune Deficiency Syndrome)
- B1.1 Delegates to Public Hearings
- B1.2 Submission Requirements for Non-Serviced (Water) Development Applications
- B1.15 Expression of Parcel Areas in RDN Regulatory Bylaws
- B2.2 Inclusion of New Subdivisions Within Building Inspection Service Area
- B4.1 Use and Maintenance of Generators at Designated Emergency Reception Centres
- C1.1 RDN Tree Management in Parks
- C2.1 Recreation Fees & Charges

CARRIED UNANIMOUSLY

17-343

It was moved and seconded that the following policies be converted from Board Policy to CAO Policy and referred to staff:

- A1.2 Distribution of Agendas
- B1.17 Green Housekeeping Program
- B1.18 Plug-in Hybrid Electric Vehicles
- C3.1 Use of Buses for Special Events
- C3.2 Distribution of Complimentary & Reduced Fare Products
- C3.3 Use of RDN Buses During an Emergency or Disaster

CARRIED UNANIMOUSLY

17-344

It was moved and seconded that Board policies identified in Attachment 1 as requiring amendment be presented to the Board for consideration at future meetings.

CARRIED UNANIMOUSLY

Committees Review

17-345

It was moved and seconded:

That the Sustainability Select Committee be dissolved and such matters be considered by the Committee of the Whole.

That the Terms of Reference for the Drinking Water & Watershed Protection Technical Advisory Committee be amended to indicate that the Committee will “provide recommendations to the Board through the Committee of the Whole”.

That the Emergency Management Select Committee be dissolved and such matters be considered by the Electoral Area Services Committee.

That the Fire Services Advisory Committee be dissolved and such matters be considered by the Electoral Area Services Committee.

That in camera matters only be considered by a commission or an advisory body when referred to that body by the Board.

That Committee of the Whole meetings commence at 3:00 p.m.

That Board meetings commence at 4:00 p.m.

That web streaming meetings be considered for inclusion in the 2018 Operational Plan and Budget.

That staff be directed to draft the necessary amendments to the Board Procedure Bylaw to reflect these changes.

It was moved and seconded that the nine motions be considered seriatim.

Opposed (1): Director Stanhope

CARRIED

17-346

It was moved and seconded that the Sustainability Select Committee be dissolved and such matters be considered by the Committee of the Whole.

CARRIED UNANIMOUSLY

17-347

It was moved and seconded that the Terms of Reference for the Drinking Water & Watershed Protection Technical Advisory Committee be amended to indicate that the Committee will “provide recommendations to the Board through the Committee of the Whole”.

CARRIED UNANIMOUSLY

17-348

It was moved and seconded that the Emergency Management Select Committee be dissolved and such matters be considered by the Electoral Area Services Committee.

Opposed (2): Director Young, and Director Rogers

CARRIED

17-349

It was moved and seconded that the Fire Services Advisory Committee be dissolved and such matters be considered by the Electoral Area Services Committee.

It was moved and seconded that the motion be deferred until after a meeting has taken place with the fire societies to discuss the matter.

Opposed (6): Director McPherson, Director Houle, Director Stanhope, Director McKay, Director Bestwick, and Director Lefebvre

CARRIED

17-350

It was moved and seconded that in camera matters only be considered by a commission or an advisory body when referred to that body by the Board.

CARRIED UNANIMOUSLY

17-351

It was moved and seconded that Committee of the Whole meetings commence at 3:00 p.m.

Opposed (5): Director Young, Director Rogers, Director Fell, Director Fuller, and Director Kipp

CARRIED

17-352

It was moved and seconded that the Board Procedure Bylaw be amended to include provision that in the event that the Committee of the Whole or Board meeting exceeds four hours in length that a motion to extend the meeting would be required.

CARRIED UNANIMOUSLY

17-353

The Chair brought back the following matter for reconsideration:

That Committee of the Whole meetings commence at 3:00 p.m.

After debate on the matter the Chair called a vote.

Opposed (8): Director Young, Director Rogers, Director Fell, Director Bestwick, Director Fuller, Director Kipp, Director Yoachim, and Director Colclough

CARRIED

17-354

It was moved and seconded that Board meetings commence at 4:00 p.m.

Opposed (13): Director Veenhof, Director Thorpe, Director McPherson, Director Young, Director Rogers, Director Fell, Director Bestwick, Director Fuller, Director Hong, Director Kipp, Director Yoachim, Director Colclough, and Director Westbroek

DEFEATED

17-355

It was moved and seconded that web streaming meetings be considered for inclusion in the 2018 Operational Plan and Budget.

Opposed (1): Director Young

CARRIED

17-356

It was moved and seconded that staff be directed to draft the necessary amendments to the Board Procedure Bylaw to reflect these changes.

CARRIED UNANIMOUSLY

17-357

It was moved and seconded that Committee of the Whole meetings will commence at 3:00 pm beginning in September 2017.

Opposed (1): Director Kipp

CARRIED

Solid Waste Management Select Committee

Minutes of the Solid Waste Management Select Committee Meeting - May 30, 2017

17-358

It was moved and seconded that the minutes of the Solid Waste Management Select Committee meeting held May 30, 2017, be received for information.

CARRIED UNANIMOUSLY

Solid Waste Management Plan Dispute Resolution

17-359

It was moved and seconded that the Solid Waste Management Plan disputes be directed to the Board for decision; and that the Board consider mediation for non-regulatory or legislative decisions.

CARRIED UNANIMOUSLY

2017 SWMP Stage 2 Report Adoption

17-360

It was moved and seconded that the Board adopt the Stage 2 Solid Waste Management Plan report.

Opposed (1): Director Young

CARRIED

Minutes of the Solid Waste Management Select Committee Meeting - June 14, 2017

17-361

It was moved and seconded that the minutes of the Solid Waste Management Select Committee meeting held June 14, 2017, be received for information.

CARRIED UNANIMOUSLY

Comox Valley Regional District Disposal Request for Asbestos Waste Disposal - Bylaw No. 1531 Revision

17-362

It was moved and seconded that "Regional District of Nanaimo Solid Waste Management Regulation Amendment Bylaw No. 1531.08, 2017" be introduced and read three times.

Opposed (2): Director Young, and Director Kipp

CARRIED

17-363

It was moved and seconded that “Regional District of Nanaimo Solid Waste Management Regulation Amendment Bylaw No. 1531.08, 2017” be adopted.

Opposed (2): Director Young, and Director Kipp

CARRIED

Transit Select Committee

Minutes of the Transit Select Committee Meeting - May 25, 2017

17-364

It was moved and seconded that the minutes of the Transit Select Committee meeting held May 25, 2017, be received for information.

CARRIED UNANIMOUSLY

2017-2018 Conventional and Custom Transit Annual Operating Agreement

17-365

It was moved and seconded that the Board approve the 2017/18 Conventional and Custom Transit Annual Operating Agreements with BC Transit.

CARRIED UNANIMOUSLY

Fare Review

17-366

It was moved and seconded that the Board approve a Conventional and handyDART fare change as shown in Appendix ‘A’ Option 1, including the expanded ‘Kids Ride Free’ program, university monthly passes at \$50, and removal of the paper transfer system to be implemented on September 3, 2017.

CARRIED UNANIMOUSLY

17-367

It was moved and seconded that the Board direct staff to provide a report that looks at the financial and social consequences by service area of providing \$1.00 transit service.

CARRIED UNANIMOUSLY

17-368

It was moved and seconded that the Board direct staff to provide a report that looks at the financial and social consequences by service area of providing free transit service.

Opposed (6): Director Thorpe, Director Rogers, Director McKay, Director Hong, Director Yoachim, and Director Westbrook

CARRIED

Transit Service to Duke Point

17-369

It was moved and seconded that the Board direct staff to work with BC Transit to bring forward a detailed financial report regarding a 5,000 hour annual transit expansion and potential use of community shuttle buses for implementation in January 2018.

CARRIED UNANIMOUSLY

Regional Parks and Trails Select Committee

Minutes of the Regional Parks and Trails Select Committee Meeting - May 19, 2017

17-370

It was moved and seconded that the minutes of the Regional Parks and Trails Select Committee meeting held May 19, 2017, be received for information.

CARRIED UNANIMOUSLY

Englishman River Water Service Management Board

Minutes of the Englishman River Water Service Management Board Meeting - May 25, 2017

17-371

It was moved and seconded that the minutes of the Englishman River Water Service Management Board meeting held May 25, 2017, be received for information.

CARRIED UNANIMOUSLY

REPORTS

Zoning Amendment Application No. PL2016-007 - 4660 & 4652 Anderson Ave, Electoral Area 'H' - Amendment Bylaw No. 500.405, 2016 - Adoption

17-372

It was moved and seconded that the Board adopt "Regional District of Nanaimo Land Use and Subdivision Amendment Bylaw No. 500.405, 2016".

CARRIED UNANIMOUSLY

Zoning Amendment Application No. PL2017-015 - 2720 Benson View Road, Electoral Area 'C' - Amendment Bylaw 500.409, 2017 - Third Reading

17-373

It was moved and seconded that the Board give third reading to "Regional District of Nanaimo Land Use and Subdivision Amendment Bylaw No. 500.409, 2017".

CARRIED UNANIMOUSLY

Provision of Tourism Promotion by the Gabriola Island Chamber of Commerce

17-374

It was moved and seconded that the Regional District of Nanaimo enter into an agreement with the Gabriola Island Chamber of Commerce to provide tourism marketing for Gabriola Island during 2017 in the amount of \$18,525.

CARRIED UNANIMOUSLY

BYLAWS - WITH NO ACCOMPANYING REPORT

Southern Community Sewer Local Service Secondary Treatment Capital Improvements Loan Authorization Bylaw No. 1756, 2017

17-375

It was moved and seconded that "Southern Community Sewer Local Service Secondary Treatment Capital Improvements Loan Authorization Bylaw No. 1756, 2017" be adopted.

CARRIED UNANIMOUSLY

Northern and Southern Communities Wastewater Development Cost Charges Amendment Bylaws

17-376

It was moved and seconded that “Northern Community Sewer Service Area Development Cost Charges Amendment Bylaw No. 1442.03, 2016”, be adopted.

CARRIED UNANIMOUSLY

17-377

It was moved and seconded that “Southern Community Sewer Service Area Development Cost Charges Amendment Bylaw No. 1547.01, 2016”, be adopted.

CARRIED UNANIMOUSLY

IN CAMERA

17-378

It was moved and seconded that pursuant to Sections 90 (1) (c), (e), and (j) of the *Community Charter* the Board proceed to an In Camera meeting for discussions related to labour or other employee relations, land acquisition, and third-party business interests.

CARRIED UNANIMOUSLY

TIME: 8:49 PM

ADJOURNMENT

It was moved and seconded that this meeting be adjourned.

CARRIED UNANIMOUSLY

TIME: 9:32 PM

CHAIR

CORPORATE OFFICER

From: Jim Edwards
Sent: Saturday, July 15, 2017 12:32 PM
To: Keller, Greg
Cc: ian@seacliffgroup.com; Correy Linda; Rick Bleiker
Subject: Schooner Cove development plan and Seacliff Properties

It appears that FW Enterprises is attempting to put a positive spin on their development plans for Fairwinds. The reality is very different than the claims made in their letter to Fairwinds Stakeholders.

As a resident of the Fairwinds community who attended all Seacliff open houses to date, I did not encounter the positive feedback that Seacliff claims, rather a lot of unhappy people who were prepared to acquiesce, to plans they did not like, just to get something happening. This has been a long process for residents of this community but was considered well worth the wait in anticipation of the “Village” concept for the Marina area, now called “Fairwinds Landing”, which was supported and approved after myriad public meetings and substantial input by residents.

When Seacliff arrived on the scene there was an approved development plan that was endorsed by supportive residents, unfortunately Seacliff decided to take advantage of the loosely defined Development Permit and proceeded to make major changes that best suited their objectives and ignored what had been previously planned and approved after substantial resident input. To ask for support for a six story, high density building vs the planned “village” concept indicates Seacliff’s lack of understanding of the community and its residents and shows a level of arrogance that goes beyond that of even the most aggressive developers.

There was an excellent plan with enthusiastic support from Fairwinds residents that Seaforth was inclined to scrap, as is their prerogative as owners. But I think it must be made clear that Seacliff has not pursued a mutually beneficial approach to our community but rather a singular, emphasis on profitability by focusing on cost reduction with all the attendant shortfalls that this type of singular approach encourages.

We the residents are hopeful that the RDN will continue their reasoned approach of encouraging development but protecting communities from the overreach of short sighted developers

Jim Edwards & Linda Correy

Ulrich Bleiker and Margareta Termansen

3580 Sheffield Pl. Nanoose Bay BC V9P 9J8
Tel: (250) 821-9091 cell (604) 218-1426

July 12th 2017

To
RDN Planning department
Attention of: Greg Keller
6300 Hammond Bay Road
Nanaimo

Re: Fairwinds Landing Phase 1Sc Development application

I am writing this letter to voice my opinion in regards to the Schooner Cove development proposed by Seacliff now called FW Enterprises LTD. I do strongly oppose this proposed development scheme – and this opinion is shared by many Fairwinds residents.

There is a long important history of how we got to this point. The Lake district and Schooner Cove Neighbourhood plan was finalized in February 2011 after a two year comprehensive public process with great efforts and input by the previous Fairwinds owner and many local residents. Finally in July 2014 the zoning and neighbourhood plan was approved and adopted.

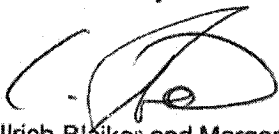
The Schooner Cove neighbourhood plan was meant to be a "Village type Development". It was intended to demolish the existing hotel structure to create the opportunity to open up the whole foreshore to the public creating a waterfront boardwalk promenade for every ones enjoyment. All the buildings were to be low rise structures with sloping roofs. The area between buildings to be developed as a pedestrian orientated village plaza. All in all the whole development is to have a "VILLAGE NEIGHBOURHOOD CHARACTER".

So here is my question - and many other residences share my opinion – how come that this comprehensive and successful planning work with lots of input and full approval of the public is being totally ignored? Is the RDN not responsible to insure that public input is respected and followed?

It is clear that the present Seacliff development proposal lacks understanding of what was approved, totally missing what was envisioned and should therefor not be allowed to go ahead with this scheme. This present proposal now shows the old building being kept, therefor restricting convenient public access to the foreshore. And planning to build an ugly overpowering 6 storey residential tower that blocks view to many residences in the neighbourhood is not at all what the neighbourhood plan prescribes. This whole proposal is very poorly designed, looks more urban and has no "VILLAGE CHARACTER" what so ever.

This Schooner cove area is unique and deserves a well planed and executed development for the public and future generations. We only have one chance to do it right. Which brings me to an other point I like to make. Either the developer follows more or less the planning work done or they should produce an overall scheme and vision for the entire Schooner Cove development area for the community to view and understand before a permit to any new construction be given by the RDN.

Yours sincerely



Ulrich Bleiker and Margareta Termansen
3580 Sheffield Place

cc: Ian Porter of Seacliff Properties



PO Box 281
Nanoose Bay, BC V9P 9J9
fairwindscommunityassociation.org

July 15, 2017
Regional District Board c/o Regional District of Nanaimo
6300 Hammond Bay Road
Nanaimo, BC V9T 6N2

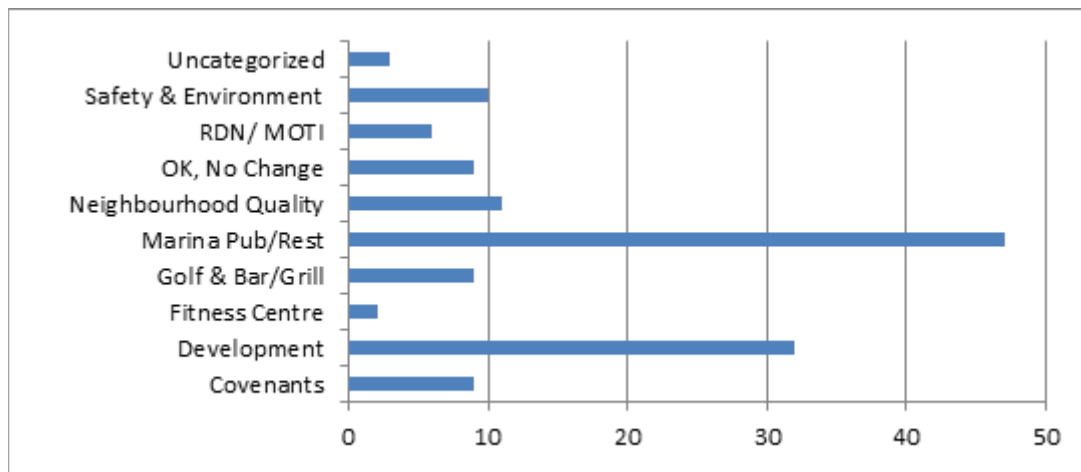
RE: Fairwinds Landing - Development Permit with Variance Application No. PL2016-188 and Lakes District and Schooner Cove Phased Development Agreement Amendment Agreement – 3521 Dolphin Drive, Electoral Area ‘E’

Dear Regional District Board,

We wanted to share supportive responses to the Fairwinds Landing marina development in Nanoose Bay, from our recent Fairwinds Community Association (FCA) members’ survey completed February 2017. These results were shared with RDN Director Bob Rogers and Seacliff Properties, and can be viewed on our site at www.fairwindscommunityassociation.org .

Our priority was to assess member’s satisfaction of FCA’s existing programs and services, to improve, and direct our energy to best suit our wonderful community and its residents, as we strengthen and grow. 157 members participated in the survey (distributed to 297 emails) and focused only on the FCA and community’s programs and services. There were no direct questions about the ownership nor the development.

When asked **“What would improve your Fairwinds experience?”**, the overwhelming responses focused primarily on the development and the marina & restaurant facilities. The chart below shows the distribution of the number of the responses for each category.



“What would improve your Fairwinds experience?”

When we asked for comments, there were no negative or opposing statements about the development.

Responses (unedited) include:

- *Owners to get on with the proposed development - and adhere to the approved Neighbourhood Plan especially with respect to the green spaces and environmental protection*
- *Development at the Marina Village*
- *The marina development should be completed - it would be good for current residents and to attract new residents to have a pub and store at the marina.*
- *Develop the potential of these resources (all of the above as well as restaurant/pub)*
- *Be nice if you could somehow influence progress on waterfront completion.*
- *Have the developers finish/open additional amenities in and around the marina eg pub, restaurant, coffee shop etc.*
- *A "village centre" where you could have a coffee shop, pub with meals, "corner store" for essential food items a small hotel so guests could stay close by*
- *Getting the Schooner Maruna Development going*
- *Seeing follow-through on the Schooner Cove development, especially restaurant/pub and small commercial sites.*
- *quick completion of the development by the marina. need a restaurant (pub) and store.*
- *Early development of the planned facilities at the Marina .*
- *Seacliff begins construction of the long discussed marina development, pub, store, etc.*
- *A good pub and development at Schooner Cove*
- *Development of the hotel site.*
- *Schooner Cove finally being developed.*
- *Development of the amenities at the Marina (restaurant/pub, convenience store, liquor store)*
- *Marina breakwater, dock and launching ramp upgrades.*
- *Seacliff Properties follow through with Marina development and provide the amenities promised like we used to have years ago.*
- *The development of the new commercial center at Schooner cove with pub /restaurant.*
- *Complete the announced projects. It's taking too long. Years of frustration. Ready to downsize and will probably have to leave*
- *Would be great to have a restaurant/pub and services down at the Marina - hoping Seacliff will proceed with their plans soon.*
- *Get something done about Schooner Cove! It's been 9 yrs. that it has been closed down and we need the facilities it should offer, as it did when we first bought property here.*
- *Completion of the marina area as previously promised. Monthly updates by the developers to the development (homeowners).*
- *Getting pub/bistro going at the marina*
- *Would love the Marina to have a pub, some groceries and be completed. Used to love to visit and stay years ago!*
- *More services, a pub, marina development.*
- *Fairwinds gets on with their indicated development plan*
- *Would like a pub and little village area near marina to happen soon*

As you can see, the unsolicited responses were positive in supporting the marina development.

We urge the RDN to consider the impact of the approved application for Fairwinds Landing marina development, not only for our current Fairwinds' residents, but to our community, its operating amenities, and to our future as well, and what it could be together.

Sincerely,



Crystal Ironside
President

Fairwinds Community Association

president@fairwindscommunityassociation.org

cc: Ian Porter (Seacliff Group) via email
Georgia Desjardins (Seacliff Group) via email

March 25, 2017 - Now July 12, 2017

Re: Fairwinds Landing Phase 1Sc Development Application

To whom it may concern,

We moved to Nanoose Bay to retire, to be nurtured by nature not smothered by Seacliff. The Seacliff development is nothing like the project that was proposed during the 2009 view analysis document. The previous Fairwinds owners valued the community and its resident's opinions. This project is all about profit and not concerned with the existing neighborhood.

We are devastated by what has transpired in the development of the marina property. The previous Fairwinds plan respected the current homeowner's views and kept the view site lines intact. Now Seacliff and the RDN are building a wall of condos in front of our home and blocking off the view of the marina and bay entrance. Has anyone really looked at how small this quaint little bay is?

If you look at the architectural development permit drawings you will see our home on sheet A. 10, 3503 Seabluff Lane. The worst part is that Seacliff has screened out the condos in a photo to deflect accountability from themselves. There is a photo of a possible future development on vacant land between Redden Rd and Dolphin Dr. not owned by Seacliff. This we feel was done to project blame to the RDN, instead of themselves. Yes, the RDN has made a very bad zoning decision, and should be accountable for it. But Seacliff has exploited it to the worst-case scenario. We invite anyone to stand on our deck and tell us that this is ok. Tough luck is just not good enough!!

We are also concerned about the safety of our roads and infrastructure, to and from Nanoose Bay to support such a development. Our retirement dreams are lost. How do we ever recover from this emotionally and financially? We are representing our neighborhood. There is a petition signed by approximately 100 people so far. Available upon request.

No one at Seacliff has even bothered to responded to the email.

Sincerely,

Steve Leasing and Paulette Hadden

Phone # 250-468-7887

treotech@telus.net

phadden07@gmail.com

From: Paula Chase

Sent: Tuesday, July 18, 2017 3:44 PM

To: Keller, Greg

Subject: Re: Our letter - Fairwinds Landing Phase 1Sc Development Application

Hi Greg,

I am resubmitting my letter regarding the redevelopment plans for the Schooner Cove Marina property to ensure my concerns are given proper consideration during the RDN's Board meeting on July 25th. I strongly urge the RDN to consider the impact this plan will have on our community and that not one single resident spoke in favour of the current proposal at the meeting held by the RDN for residents last May. I would like to stress that regardless of the height allowances for the site, orientation of buildings should not be allowed to block views of existing homes. I also hope the RDN will ensure the developer abides by appropriate rules to lessen the inconvenience and danger to existing residents from increased noise and large vehicle traffic in the area. In that regard, I complained to the developer at their last open house that I was concerned about dumping they were doing next to the trail to Dolphin Lake near the Collingwood access point. A significant amount of landscape debris as well as some broken signage has been dumped next to the trail and left since early last summer. It has been a number of months since I brought this to the attention of the representatives of the developer and none of the debris has been cleaned up to date, although they did push some of it deeper into the woods. To my mind, this does not bode well for how the developer handles their garbage, I would hope the RDN would have the power to require them to clean up the mess they have created and ensure it does not recur in future.

Thanks

Paula Chase

Phone (250)619-6823

Email: paulachase50@gmail.com

3505 Shetland Place
Nanoose Bay, B. C. V9P 9J8
May 30, 2017

Regional District of Nanaimo
6300 Hammond Bay Road
Nanaimo, B. C.
V9T 6N2

Dear Sir/Madam:

Re: Development Permit with Variance Application No. PL2016-188 &
Phased Development Agreement Amendment
3521 Dolphin Drive, Nanoose Bay, B.C.

As an owner and resident in Schooner Ridge, I have some concerns and comments regarding the proposed development plan for the Schooner Marina property. I would like to begin by stating I am not opposed to the development but I do believe considerations need to be made regarding the impact it will have on the surrounding community. I believe if proper consideration is given to those concerns, the resulting development could be something that works for everyone.

My first concern is with regard to the traffic impact. My understanding is the total phased development will add 310 units to the community in a very concentrated area. Considering the entire Fairwinds Community to date has little more than 700 units, adding almost 50% more units will undoubtedly significantly increase traffic around the Schooner area. I approached various representatives of the developer at their last community open house and asked what plans they would be making to ensure this would not cause traffic safety issues in the area but not one of them could provide an answer.

Currently, the area of Dolphin Drive along the property is narrow with no curb or sidewalk, is winding and has some blind spots. Within this area is the entry road to Schooner Ridge, being Sherbrooke Road, as well as Redden Road. Beyond vehicle traffic, this road is used by pedestrians, bike riders and more than the occasional deer. It is also very dark at night. At times, it is already somewhat hazardous but increased traffic without some alterations will almost certainly increase the danger. I believe one solution would be a requirement for sidewalks along Dolphin Drive throughout the length of the development as that would at least get pedestrians off the road. I also believe there should be a lot of consideration towards good lighting at night and possibly reduced speeds. I also wonder whether it might be advisable to have a 3 way stop at Sherbrooke Road as another method of slowing traffic to reduce hazards.

My second concern has to do with parking in the development, most specifically marina parking. This development was first and foremost an active marina and that has continued to be the case despite the closure of the main building. Boaters using the marina on a day basis transport their boats on trailers, towed by another vehicle, both of

which remain in the area while the boater is on the water. Currently, there are sufficiently sized spaces for these vehicles and trailers to park on the property. The plans I observed at the developer's open house did not appear to have such parking available. I feel it is imperative that appropriate vehicle and trailer sized parking spaces located near the boat launch be required in the plan. If they are not, it is inevitable that boaters will leave their vehicles and trailers along Dolphin Drive, further increasing the traffic hazard.

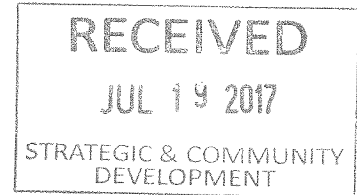
My final concern is with the proposed height of the 39 unit building, which I understand would require a height variance. At the developer's open house, I thought that various drawings of this building showed 6 floors, at least from certain views. I asked all 4 representatives about this. Three of the reps insisted the building was only 5 stories while the fourth one conceded that the back side of the building would be 6 stories with 5 stories in the front. I note that the RDN's notice for this Public Information Meeting notes this building is, in fact, 6 stories. As such, I have a concern that the developer misrepresented the number of stories to residents at their open house. Regardless, allowing a variance from the currently zoned height for this area will most definitely block views for existing homes in Schooner Ridge, most particularly for those on Seabluff Lane and along Dolphin Drive and Redden Road. To my knowledge, all lots in the Fairwinds development have height restrictions attached to them and individual home owners had to build their homes and devise their landscaping so as not to block the views of surrounding dwellings. It seems most unfair and unreasonable to me that this proposed development should not be held to the same standard. I could understand a variance being allowed on some of the other proposed buildings for the site, ones that would not block views from existing homes but that is not the case for this particular building. As such, I believe this particular building should not receive any height variance.

In closing, I would like to reiterate that I am not opposed to a well-planned and thought-out development of the Schooner Marina but I do believe that existing homeowners have a stake in this plan proceeding in a manner that does not reduce our quality of life nor damage our property values. Being a good neighbour by not blocking views or creating road hazards would go a long way towards winning over the support of more of the community. And the RDN should protect the interests of the existing community by not allowing variances or amendments that would negatively affect current homeowners.

Sincerely,

Paula Chase
Phone #: (250)619-6823
Email: paulachase50@gmail.com

July 18, 2017



REGIONAL DISTRICT OF NANAIMO,
PLANNING DEPARTMENT,
6300 Hamond Bay Road,
Nanaimo, BC. V9T 6N2

Attention: Bob Rogers, Area E Director

Planning Department: Re: IN SUPPORT OF
DEVELOPMENT PERMIT WITH VARIANCES
APPLICATION NO. PL2016-188

As a long term resident of Fairwinds, at 3483 Redden Rd. WE ARE PLEASED TO SUPPORT the proposed new development. Our property, borders Dolphin Drive directly across the road from 3521 Dolphin Drive. Therefore our property and views are directly affected by the development.

This application is far superior to the previous impractical proposal. It is by far better to have a development that is practical, with a chance of success. The previous "pie in the sky" plan was not practical and never implemented.

When we originally came to Fairwinds it was a thriving community, with few residents, but a vibrant Hotel, pub, restaurant and Marina being the core centre offering a variety of activities and entertainment. For too many years the site had been abandoned. Fairwinds Landing proposal will hopefully regenerate the previous type of activity.

We encourage and congratulate Seacliff on this proposal.

Sincerely,


Nettie & William Kokura,

Cc: Ian Porter, Seacliff Properties.

From: Nancy Young
Sent: Wednesday, July 19, 2017 3:22 PM
To: Keller, Greg; bobrogers4areaE@telus.net
Subject: Residents' Concerns over Fairwinds Proposal

Dear Mr. Keller and Mr. Rogers,

My husband and I would like to express our strong support for the July 12th letter submitted to the RDN by Ulrich Bleiker and Margareta Termansen, concerning the Fairwinds Landing Phase 1Sc Development application.

My husband and I are in full agreement with Mr. Bleiker and Ms. Termansen's concerns.

We are most disappointed in the proposal submitted by Seacliff (now called FW Enterprises LTD.). We believe the existing proposal deviates from the original plan so much that (in the plan's current state) it is unacceptable. The proposal should, and must, be revised (with public consultation). The community spent a great deal of time assisting the prior owners in constructing a vision for community development. Seacliff knew this vision when they bought the Fairwinds development. The RDN should ensure Seacliff respects this vision in whatever they propose for approval.

It is our belief that a significant number of community members (who may or may not have contacted you already) have not closely examined the proposed changes in detail, and do not realize how different the present proposal is from the original plans approved by the RDN. We, ourselves, did not realize until today that many of the features we supported in the original plan have actually disappeared. The “features” in the current plan are unsightly, and contain many aspects that will reduce both the land values and personal enjoyment of our neighbourhood.

We would appreciate confirmation that this email was received, and look forward to a revised plan to be submitted to the residents of the Fairwinds and surrounding neighbourhoods that is consistent with the original vision the community thought would be executed.

Sincerely,

Nancy Young-Henderson (homeowner) and Randy Henderson
3568 Sheffield Place
Nanoose Bay V9P 9J8

Sent: Thursday, July 20, 2017 10:10 AM
To: bobrogers4areaE@telus.net; Keller, Greg <GKeller@rdn.bc.ca>
Subject: Fairwinds Landing Development

This is in response to the letter to the RDN from U. Bleiker dated July 12, 2017.

We live above the proposed development and, as such, have a vested interest. We have been here for 12 years, well before the hotel closed. We have attended the meetings, open houses and hearings and participated in the workshops to determine the new design. We had a view analysis which showed a negligible impact on our view and those of our neighbours. The previous proposal was likely ideal if somewhat ambitious and difficult to develop with current waterfront regulations.

We still support the proposed development of the old hotel area and feel it will provide the focal point and community gathering spot that everyone is looking for. Long time residents still talk about the pub and restaurant in that vein. If the building provides that plus retail space we will be very happy.,

We do agree with the comments about the residential condo building. It is not what anyone seems to want here. It is an urban design in a rural setting. It has a big impact on views for several residents and is generally unsightly and not at all in line with the lower structures previously agreed upon. The location is about as bad as it could be. If that building were to move to the other side of Outrigger Road, nearer the tennis courts even at the proposed height, it would reduce a lot of negativity. It would also provide parking space which presumably will be required for those visiting the retail/restaurant/marina.

We support the development generally and would appreciate consideration regarding the condo building. The status quo is unacceptable and detrimental to the area and we do not wish to start this process over.

Don and Lynne Petrie
3495 Seabluff Lane

From: Marianne Pearson
Sent: July 19, 2017 6:53 PM
To: Keller, Greg
Cc: rickbleiker@shaw.ca; bobrogers4areaF@telus.net
Subject: Fairwinds Landing Development Application.

This is to advise you that we are totally in agreement and support the letter from Ulrich Bleiker.

In addition, we would also want to see the original plan of building another road from the 4-way stop at Powder Point Road through Schooner Cove Drive first before any new development in this area. The existing roads are just too dangerous to handle all new traffic plus construction traffic.

Milt & Marianne Pearson
3569 Shelby Lane
Nanoose Bay, BC
V9P 9J8

From: B. ERIKSEN NOER
Sent: Monday, July 10, 2017 5:07 PM
To: info@fairwinds.ca
Subject: Fairwinds Landing Development


FW Enterprises Ltd.
LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: BJARNE ERIKSEN NOER


Address:
2493 ANDOVER ROAD
NANOOSE BAY

Signature: 

Date: JULY 10TH 2017

Please scan and email to: info@fairwinds.ca
or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

From:
BJARNE ERIKSEN NOER
2493 ANDOVER ROAD
NANOOSE BAY, BC
V9P 9K5
CANADA

 (250) 468-1870
ben.noer@shaw.ca

From: PriceLowe
Sent: July-09-17 10:12 AM
To: planning@rdn.bc.ca
Cc: info@fairwinds.ca; Rogers, Bob <bob.rogers@rdn.bc.ca>
Subject: Current Fairwinds Marina Area plan

RDN Planning Department:

I have been lead to believe that there is a petition that has or will be submitted in opposition to portions (primarily the six storey residential complex) of the proposed plan at the following link: <http://www.rdn.bc.ca/cms.asp?wplD=3895>.

In general, I am supportive of the current plan including the proposed six storey residential project. Improvements in this particular area including, and not to be forgotten, improvements to the marina operation (docks and break-wall) are long overdue.

I do have a couple of parking concerns as outlined below:

1. When the Schooner Cove Yacht Club (SCYC) has regattas or other well attended boating events, the current parking lots are generally full. Given that the six storey residential project and the revised functionality of the marina building, available parking for SCYC will be severely restricted. Given that, my concern is that neighbouring streets such as Schooner Cove, Redden, Rockhampton, Renwick, Blueback area roads, Outrigger and Dolphin may become the new parking for such events. This will likely create a dangerous situation for Fairwinds residents

going to and from their homes. I recommend that Fairwinds work with the SCYC to ensure that their event parking needs are met without inconveniencing neighbourhood residents.

2. Some thought should be given to how and where daily transient boaters that use the launching ramp will be able to park their vehicle and attached trailer. Many just pull to either side of Dolphin onto an enlarged gravel shoulder which should be improved. I fully support the keeping of the ramp but parking may become an issue and needs to be addressed.

Solutions to these parking related matters will assist the community's acceptance of the current plan.

Thanks,

Chris Price
Resident of Fairwinds Community

From: B. ERIKSEN NOER
Sent: Monday, July 10, 2017 5:38 PM
To: info@fairwinds.ca
Subject: Fairwinds Landing Development

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: BIRTE NOER

Address:

2493 ANDOVER ROAD
NANOOSE BAY, BC

Signature: *Birte Noer*

Date: July 10th 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

From:
BIRTE NOER
2493 ANDOVER ROAD
NANOOSE BAY, BC
9P 9K5 CANADA

(250) 468-1870

From: Grace Lindsay
Sent: Tuesday, July 11, 2017 5:23 AM
To: info@fairwinds.ca
Subject: DP Application #PL2016-188

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188


To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Grace Lindsay

Address:

3500 Grilse Road
Nanoose Bay, BC, V9P 9H8

Signature: 

Date: July 11, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

From: Peter Jorgensen
Sent: Monday, July 10, 2017 2:01 PM
To: info@fairwinds.ca
Subject: DPA No. PL2016-188

Regional District Of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving DPA No. PL2016-188 for Fairwinds Landing.

Residential address:

1975 Highland Road, Nanoose Bay BC

Peter Jorgensen A.Sc.T., ASTTBC- BD, RBD

Jorgensen Osmond Ltd.

Box 493-Suite 202-177 Weld St.

Parksville BC

V9P 2G6

T: 250-248-7227

F: 250-248-7007

www.jorgensen-design.ca



DISCLAIMER: This e-mail message is intended only for the named recipient(s) above and may contain information that is privileged, confidential and/or exempt from disclosure under applicable law. If you have received this message in error, or are not the named recipient(s), please immediately notify the sender and delete this e-mail message.

From: Pat Dixon
Sent: Monday, July 10, 2017 4:08 PM
To: Fairwinds
Subject: Re: Action Required - Fairwinds Landing Development

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188

for Fairwinds Landing.

Pat Dixon

2438 Greenridge Crescent

Nanoose Bay, B.C.

V9P9K9

Dated: July 10, 2017

From: Hillfrances8@aol.com
Sent: Monday, July 10, 2017 6:47 PM
To: info@fairwinds.ca
Subject: Fairwinds Landing

Att: Regional District of Nanaimo

We support the Development Application (No. PL2016-188) for Fairwinds Landing.

Frances and M. Patrick Hill

2030 Foxrun Place

Nanoose Bay, BC

V9P 9H1

250-821-7790

From: Virginia Jolley
Sent: Wednesday, July 12, 2017 9:52 AM
To: info@fairwinds.ca
Subject: Letter of support DP application No. PL2016-188

To: Regional District of Nanaimo

I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Virginia Jolley
2366 Evanshire Cr
NanOOSE Bay, BC

From: Karen Wright

Sent: Monday, July 10, 2017 3:23 PM

To: info@fairwinds.ca

Subject: LETTER OF SUPPORT DP APPLICATION No. PL2016-188

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

As owner of Lot 20 Sheffield Place, Nanoose Bay (Strata Lot 20, Plan VIS3393, District Lot 78, Nanoose Land District), please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Karen Wright

6 – 115 Upper Ganges Road

Salt Spring Island, BC V8K 2Y3

From: Bob DeClark
Sent: Monday, July 10, 2017 4:15 PM
To: info@fairwinds.ca
Subject: Letter of support

dropped off, at the Fairwinds Centre, Golf Club Clubhouse and at the Fairwinds Marina Office.

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: ROBERT DE CLARK

Address: 2440 AINSLEY PLACE
NANOOSE BAY, B.C

V9P 9G9

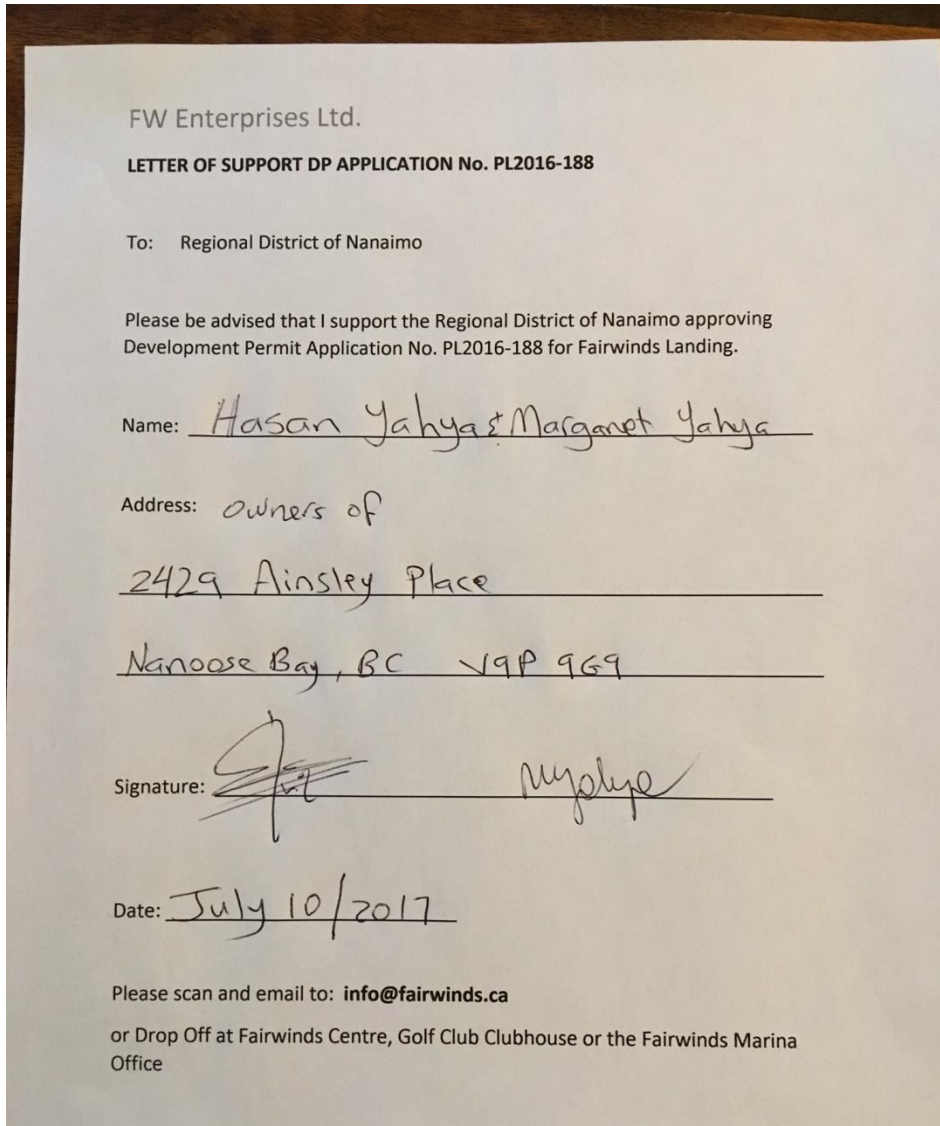
Signature: 

Date: JULY 10, 2017

Please scan and email to: info@fairwinds.ca
or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

From: Margaret
Sent: Monday, July 10, 2017 7:58 PM
To: info@fairwinds.ca
Subject: Letter of support-Fairwinds Landing Development

Hello there,
Attached has our support letter to be presented to the RDN to approve the Development Permit Application (No. PL2016-188) for Fairwinds Landing. If you have any questions or need more details please get hold of us at 403-909-4849 or at 587-433-8457. Cheers!



Sent from my iPhone
Margaret Yahya
403-909-4849

From: dfaith
Sent: Monday, July 10, 2017 7:02 PM
To: info@fairwinds.ca
Subject: OUR SUPPORT FOR THE DEVELOPMENT PERMIT APPLICATION

To: The Regional District of Nanaimo.

We are in full support of the Development Permit Application for the 1st Phase at Fairwinds Landing.

David and Carol Ann Faith

250-586-1231

Owners of Apartments 306 [Lot 25, Plan VIS745] and 307 [Lot 26, Plan VIS745] at Schooner House, 3555 Outrigger Rd., Nanoose Bay, B.C.

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

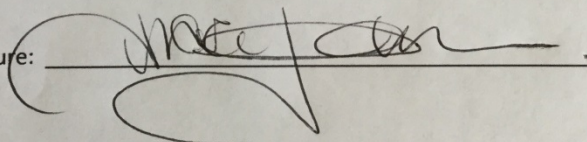
Please be advised that I support the Regional District of Nanaimo approving
Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Tracy Dance-Olson

Address:

2074 Rolston Place

Nanoose Bay

Signature: 

Date: July 14, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina
Office

From: Karin Yip
Sent: Wednesday, July 12, 2017 5:24 PM
To: info@fairwinds.ca
Subject: Development Permit Application (No. PL2016-188)

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I strongly support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Karin Yip

1917 Bonito Crescent

Nanoose Bay, BC

V9P 9J1

From: Romer Shewchuk
Sent: Sunday, July 16, 2017 6:43 AM
To: planning@rdn.bc.ca
Cc: bobrogers4areaE@telus.net
Subject: Support for DEVELOPMENT PERMIT WITH VARIANCE APPLICATION No: PL2016-188

ATT: Mr Keller
Senior Planner
Planning Department,
Regional District of Nanaimo,
6300 Hammond Bay Road,
Nanaimo, BC. V9T 6N2
Reference: Support for DEVELOPMENT PERMIT WITH VARIANCE APPLICATION No:
PL2016-188

My wife and I have lived in Fairwinds for 14 years. We have owned and lived in two Fairwinds residences during that time. We are currently building our third Fairwinds home at 3515 Cambridge Road.

We bought into the Fairwinds Resort Community concept some time in the late 1990's. What we thought Fairwinds was going to be in the last 14 years, is much like what is being proposed in this Development Permit application. The time and scrutiny taken to review this Development Proposal, and, to communicate the outcome of this review has been truly significant. To see all this destroyed by a few "naysayers" to the minor variances proposed in this permit application would be a gigantic injustice to those who love the Fairwinds community and what development is proposed.

Just as we have changed the type of housing we have chosen to live in, from an eight level circular staircase residence, to a two storey townhouse, to a detached single level dwelling, our desire to get "things" and services without having to drive a long distance has become more pronounced. Looking at the Fairwind's development proposal, we see, a further opportunity to downsize our accommodation yet remain in the Fairwinds community. Same thing for the availability of more goods and services within biking or walking distance. We strongly support this Development Permit application for these reasons.

Thank you for the opportunity to express our support for this proposal at the July 25, 2017 meeting of the Board of the Regional District of Nanaimo.

Romer and Susan Shewchuk
3515 Cambridge Road,
Nanoose Bay, BC, V9P 9G3
250-240-0416

From: Keith Glenday
Sent: Wednesday, July 12, 2017 5:21 PM
To: info@fairwinds.ca
Subject: Development Permit Application (No. PL2016-188)

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I strongly support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

From: Bernie Broda
Sent: Tuesday, July 18, 2017 8:47 AM
To: Brendan Richardson
Subject: Re: Action Required - Fairwinds Landing Development

Brendan: Attached is our signed letter of support. Good luck with the project.

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: BERNIE & BEVERLEY BRODA

Address:

1610 STEWART ROAD

NANOOSE BAY, B.C. V9P 9E7

Signature: 

Date: JULY 18, 2017.

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

Bernie Broda

From: Lynn Krieger
Sent: Tuesday, July 11, 2017 12:04 PM
To: info@fairwinds.ca

Subject: Emailing: Scan2

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving
Development Permit Application No. P12016-188 for Fairwinds Landing.

Name: Lynn Krieger

Address:
301 2000 17th St
Nanaimo BC V1Y 9K1
PHONE 250-754-2000

Signature: [Handwritten Signature]

Date: July 11, 2017

Please scan and email to: info@fairwinds.ca
or Drop Off at Fairwinds Centre, Golf Club-Clubhouse or the Fairwinds Marina
Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

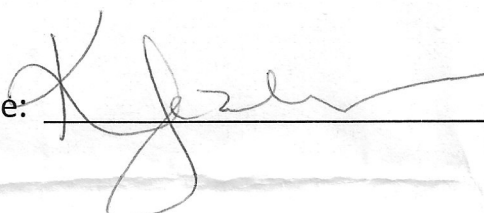

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Kathryn Scales ? Wihart Robson

Address:

3459 Simmons Place

Nanaimo Bay V9P 9J8

Signature:  

Date: July 8, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: HENRY BENSKIN

Address:

2070 RADFORD PLACE

NANOOSE BAY, B.C. V9P 9H4

Signature: Henry Benskin

Date: 10 July 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving
Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Bee Mackend

Address:

2070 Radford Place

Nanoose Bay, BC V9P 9H4

Signature: Bee Mackend

Date: 10 July 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina
Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

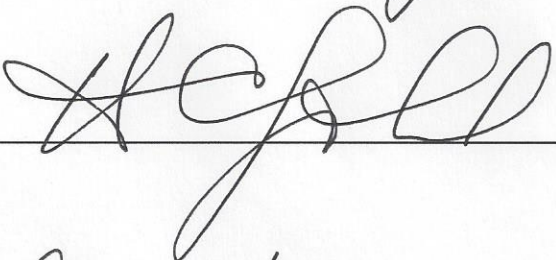
To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: H. Chris Jobb

Address:

3339 Rockhampton Road
Nanmoose Bay BC V9P9H5

Signature: 

Date: July 8/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: MAGGIE Carter

Address:

3720 Dolphin DR

NANOOSE Bay BC V9P 9H1

Signature: 

Date: July 8/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: PHILIP CARTER

Address:

3720 DOLPHIN DELVE.

MANOOSE BAY V9P 9M1.

Signature: 

Date: July 8/17.

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

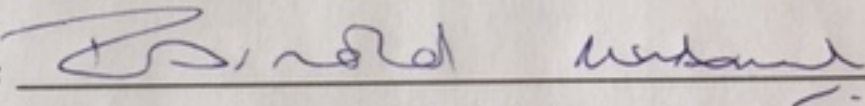
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Robyn + Malcolm Arnold

Address:

3443 Redden Road

Nanoose Bay

Signature: 

Date: 10 July 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Karen Hanson

Address:

2251 BONNINGTON DRIVE

NANOOSE BAY, BC V9P 9L9

Signature: Karen Hanson

Date: 7/11/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Ron Hanson

Address:

 2251 BONNINGTON DRIVE

 NANOOSE BAY, BC V9P 9L9

Signature: Ron Hanson

Date: 7/11/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Barbara Jobb

Address:

3339 Rockhampton Road

Nanoose Bay, B.C
V9P9H5

Signature: Barb Jobb

Date: July 11/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

dropped off, at the Fairwinds Centre, Golf Club Clubhouse and at the Fairwinds Marina Office.

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Rick & GAYLE MARSHALL

Address:

3440 SIMMONS PLACE

NANAIMO BC

Signature: 

Date: July 07/2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

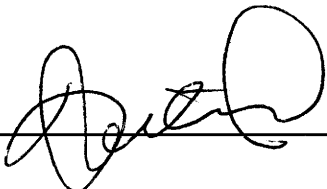
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Doug Paterson

Address:

3455 Simmons Pl

Nanase Bay, B.C. V9P 9J8

Signature: 

Date: JULY 6, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Valerie Paterson

Address:

3455 Simmons Pl

Nanoose Bay, B.C. V9P 9J8

Signature: V. Paterson

Date: JULY 6, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Elaine Abbott, R. Bruce MacLack

Address:

4969 Aho Road

Ladysmith, BC. V9G 1G8

Signature: Elaine Abbott

Date: July 7, 2017

Please scan and email to: **info@fairwinds.ca**

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: R. BRUCE MACLOCK

Address:

4969 Aho Road

Ladysmith

Signature: R. Bruce MacLach

Date: July 7, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Kristi Bellis

Address:

2883 Dolphin Drive

Nanoose Bay, BC V9P 9J4

Signature: Kbellis

Date: July 7/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: JoAnn Molyneux

Address:

Steward Rd.

Nanoose

Signature: J Molyneux

Date: 07-07-17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Don Creory

Address:

3326 STEPHENSON PT RD

Signature: [Handwritten Signature]

Date: July 6/2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

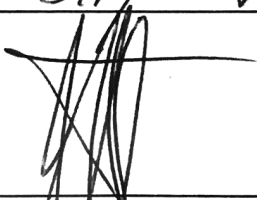
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: *Jim Lister*

Address:

 1025 CINNAMON SEDGE WAY

 NANOOSE BAY V9P 9L3

Signature: 

Date: *July 6 2017*

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: EDITH LISTER

Address:

1025 CINNAMON SEGE WAY

NAWOOSE BAY BC

Signature: 

Date: July 6/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

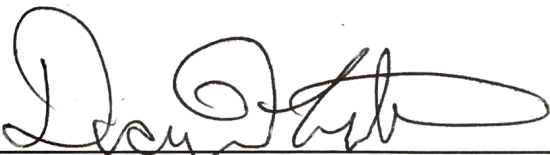
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: DAVID A.S. KRATT

Address:

1791 Morello Rd.

NANOOSE BAY, B.C. V9P 9B1

Signature: 

Date: July 7, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

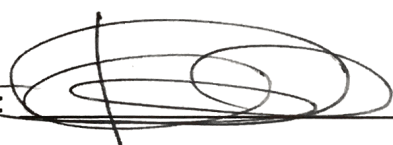
To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: KEN NEWCOMBE

Address:

1617 ADMIRAL TRYON BLVD, FAIRWINDS, B.C.

Signature: 

Date: JUN 6, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: GERALD THOMPSON.

Address:

3265 HUNTINGTON PL.

NANOOSE BAY, BC V9P 9H6 .

Signature: Gerald Thompson

Date: July 6/17. Emphatically Yes

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188


To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: David Cox + Marlene Cox

Address:

2217 - Chelsea Place Nanaimo BC V9P9G5

Signature:  _____

Date: July 06/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving
Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name:

LA Zimmer

Address:

2037 TROON CRT VICTORIA BC

Signature:

LA Zimmer

Date:

July 6th / 2017

Please scan and email to: **info@fairwinds.ca**

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina
Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

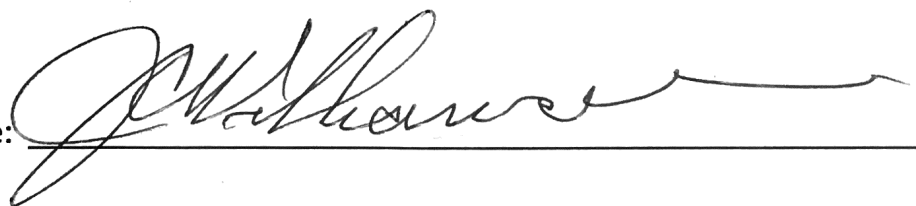
To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving
Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: JAMES (JIM) WILLIAMSON

Address:

1747 SANGSTER COZECENT
NANOOSE BAY

Signature: 

Date: July 6 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina
Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Claire Gunderson

Address:

1593 Haida Way
Nanoose

Signature: C. Gunderson

Date: July 6/17.

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: David Victor Goldman

Address:

1907 Bonito Crescent

Nanoose Bay B.C. V9P 9J1

Signature: 

Date: July 6th, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Katherine Salmons

Address:

480 Swinfurd St.

Victoria BC V9A 6E1

Signature: 

Date: July 5 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Wynne Rief

Address:

2568 NORTHWEST BAY.

Signature: [Handwritten Signature]

Date: July 07 - 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: HAROLD ALLSOPP

Address:

2431 ANDOVER ROAD

NANOOSE BAY, V9P 9E9

Signature: 

Date: July 7, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo


Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Seadon Taylor

Address:

7705 Langsville Road Langsville

B.C. VOR ZMO

Signature: 

Date: July 7/2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving
Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Marion Clark

Address:

2385 Evanshire Crescent

Nanoose Bay BC V9P9G7

Signature: Marion Clark

Date: July 7, 2017

Please scan and email to: **info@fairwinds.ca**

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina
Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving
Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: WALTER CLARK

Address:

2385 EVANSHIRE CRESCENT

NANOOSE BAY, BC V9P 9G7

Signature: W. Clark

Date: July 7, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina
Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: David Bligh

Address: 1965 Highland Road.
NANOOSE BAY, BC

V9P 9H6

Signature: 

Date: 7 JULY 2017

Please scan and email to: **info@fairwinds.ca**

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: T Boyd

Address:

 8554 Rummig Rd

Signature: T Boyd

Date: July 7/17

Please scan and email to: info@fairwinds.ca
or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Marilyn Schoenne + Wolfe Schoenne

Address:

3230 Dolphin Drive

Nanoose Bay, B.C.

Signature: M. Schoenne

Date: July 7/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: CHRISTINE & MICHAEL MATTHEWS

Address:

3443 SIMMONS PLACE

NANOOSE BAY, B.C.

Signature: Christine Matthews

Date: July 2 / 17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

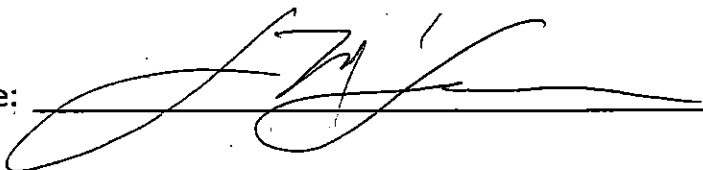
To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: LOUISE McLENNAN

Address: 2928 DOLPHIN DR.

NANOOSE BAY V9P 9J4

Signature: 

Date: July 7, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

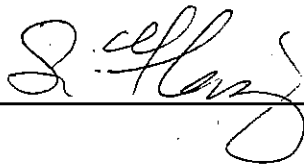
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Sharon Fleming

Address:

184 Fern Rd W

Qualicum Beach

Signature: 

Date: July 7/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: BERNIE PODLUBNY

Address:

2550 ANDOVER RD.

NANOOSE BAY

Signature:  _____

Date: 7 July 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: PAT GAREAU

Address: #27-2655 ANDOVER RD
NANOOSE BAY, BC
V9P 9J5

Signature: Patricia Gareau

Date: July 6/17

Please scan and email to: info@fairwinds.ca
or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

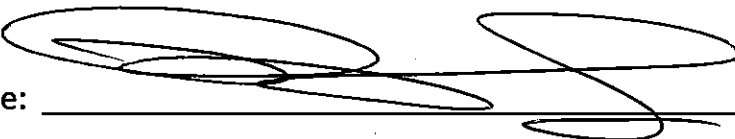
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Bruce McHennaw

Address:

2928 Dolphin Dr.

Nanoose Bay

Signature: 

Date: July 8, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving
Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Kelly Marcan

Address:

4843 Neq Dr

Nanaimo

Signature: K. Marcan

Date: July 7/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina
Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

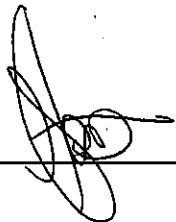
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Danny JEWERS

Address:

2-410 Harnish

Parksville

Signature: 

Date: July 7/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Hertz Dahn.

Address:

2248 Bonnington Drive
Nanoose Bay, BC V9P 9L9.

Signature: Hertz Dahn

Date: July 7th. 2017.

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: LORETTA DAHN

Address:

2248 BONNINGTON DRIVE
NANOOSE BAY, BC V9P 9L9

Signature: Loretta C. Dahn

Date: JULY 7 / 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188


To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Crystal Ironside

Address:

3746 Ashton Place Nanoose Bay BC V9P 9G8

Signature: 

Date: July 7/17

Please scan and email to: **info@fairwinds.ca**

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Paul & Wendy Orava

Address:

3531 Shetland Pl

Nanoose Bay V9P 9J8

Signature: Wendy Orava, Paul Orava

Date: July 9, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

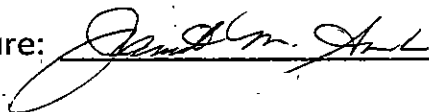
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: JANET ANGLIN

Address:

#16 - 2655 ANDOVER ROAD

NANOOSE BAY BC V9P 9J5

Signature: 

Date: July 8/2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving
Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: THOMAS A. WRIGHT

Address:

#16 2655 ANDOZER RD.

NANOOSE BAY BC V9P 9J5

Signature: J. A. Wright

Date: July 09, 2017

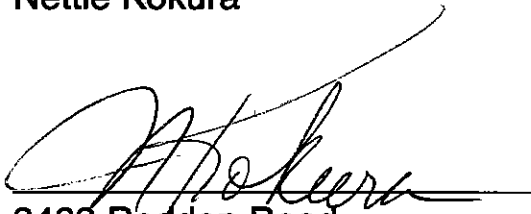
Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina
Office

To: Regional District Of Nanaimo:

Please be advised that I support the Regional District of Nanaimo supporting Development Permit Application No. PL2016-188 for Fairwinds Landing.

Nettie Kokura

A handwritten signature in black ink, appearing to read 'Nettie Kokura', written in a cursive style with a long horizontal flourish extending to the right.

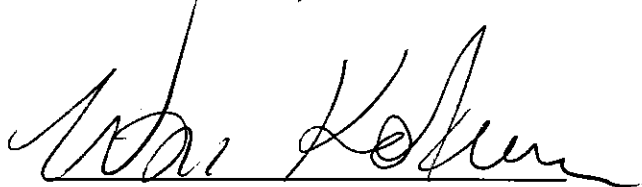
3483 Redden Road,
Nanoose Bay, BC
V9P9H3

In support of FW Enterprises Ltd.

To: Regional District Of Nanaimo:

Please be advised that I support the Regional District of Nanaimo supporting Development Permit Application No. PL2016-188 for Fairwinds Landing.

William Kokura,

A handwritten signature in black ink, appearing to read 'William Kokura', written over a horizontal line.

3483 Redden Road,
Nanoose Bay, BC
V9P9H3

In support of FW Enterprises Ltd.

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

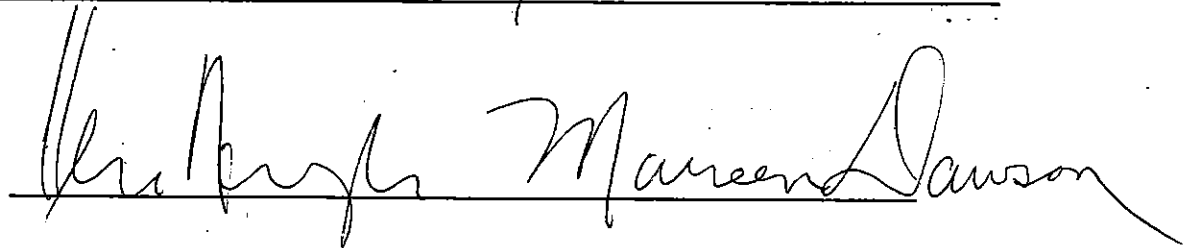
To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving
Development Permit Application No. PL2016-188 for Fairwinds Landing.

MAURBEN +
Name: KEN DAWSON

Address:

2346 EAGLEFIELD PLACE
NANOOSE BAY, B.C. V9P9G7

Signature: 

Date: JULY 9, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina
Office

FW Enterprises Ltd.

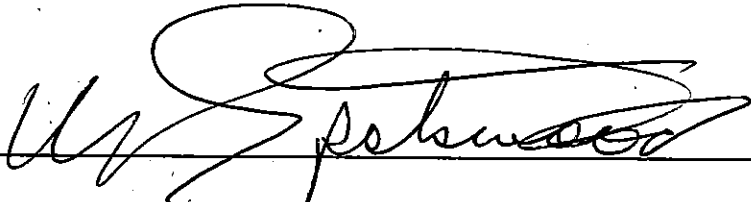
LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: MEL SPOTSWOOD

Address:
1351 Gambier PL

Signature: 

Date: 9 July 2017

Please scan and email to: info@fairwinds.ca
or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

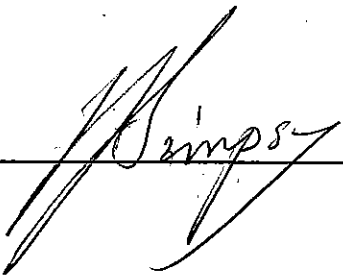
Name: JOHN GLENN SIMPSON

Address:

2058 RADFORD PL.

NANOOSE BAY, B.C.

V9P9H4

Signature: 

Date: 8th JUNY 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

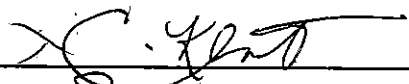
Name: CAROLYN G KENT

Address:

2058 RADFORD PL.

NANOOSE BAY, B.C.

V9P 9H4

Signature: 

Date: 7 July 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: SANDY WOOD.

Address:

2467 ANDOVER ROAD

NANOOSE BAY V9P9K5

Signature: Sandy A. Wood.

Date: July 8 / 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188


To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Kennedy Barbosa

Address:

5801 Bradbury Rd

Signature: 

Date: 08/07/2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Garrett Dunlop

Address:

5967 cathedral Crescent
V9T 6B1

Signature: Garrett Dunlop

Date: July 8/2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: JIM DUTTON

Address:

3685 DOLPHIN DRIVE NANOOSE BAY.

Signature: 

Date: 8 July 2017.

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

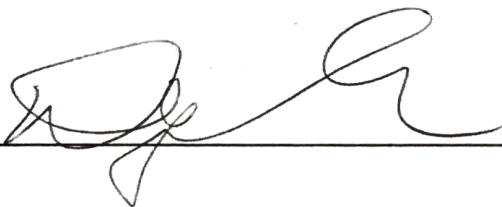
To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: DAVID JOHNSON

Address:

1617 DORCAS PT RD
NANOOSE BAY

Signature: 

Date: 8 Jul 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Barbara Giese

Address:

3484 Simmons Place

Nanoose Bay V9P 9J8

Signature: Barbara Giese

Date: July 8, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: DIETER GIESE

Address:

3484 SIMMONS PL.

NANOOSE BAY BC ~~V9P9J8~~

Signature: D. Giese

Date: July 9/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Jamie Johannesen

Address:

2230 Chelsea PL

Nanoose Bay, BC

Signature: 

Date: July 7/17

Please scan and email to: **info@fairwinds.ca**

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo


Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: DONOVAN DAVIDSON

Address:

 6144 GLENVIEW DRIVE

 W85 VANCOUVER B.C.

Signature: 

Date: 8 July 2017.

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: ELLEN ANN JORDAN

Address:

3620 DOLPHIN DR.

NANOOSE BAY

Signature: EA Jordan

Date: July 7 / 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: JAY JORDAN

Address:

3620 DOLPHIN DR. NANOOSE BAY

Signature: 

Date: JULY 7 / 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

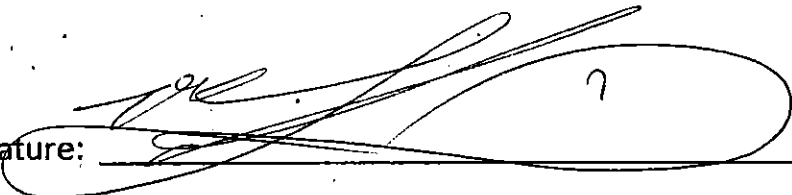
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: GARY SCARROW

Address:

2450 ANDOVER Rd

NB

Signature: 

Date: 7/7/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

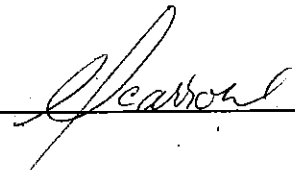
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Sue Scarrow

Address:

2450 Andover Rd.

Nanoose Bay

Signature: 

Date: July 7/2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving
Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: RALPH HUTTON

Address:

2435 AINSLEY PLACE

NANOOSE BAY B.C.

Signature: R Hutton

Date: July 08 / 2017

Please scan and email to: Info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina
Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Jane Kemp

Address:

22-2655 Andover Rd

Nanoose Bay

Signature: Jane Kemp

Date: July 8/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

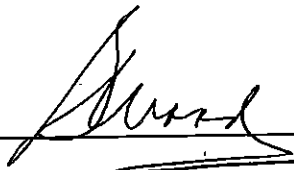
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: STAN WEED

Address:

2467 ANDOVER ROAD.

NANOOSE BAY V9P9K5

Signature: 

Date: 07-08-17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

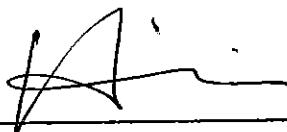
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: HENRY KRZYWICKI

Address:

2221 BONNINGTON DR.

NANOOSE BAY, BC V9P 9M1

Signature: 

Date: JULY 8, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Claudette Biron

Address:

2550 Andover Rd.

Nanoose Bay, BC V9P 9K5

Signature: C. Biron

Date: 8 July 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

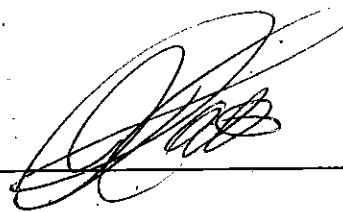
To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: JEFF PLATT

Address: 2508 ANDOVER RD

NANOOSE BAY BC V9A9K5

Signature: 

Date: 8 JULY 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Jerry Hrabchak

Address:

3284 Renwick Place

Nanoose Bay B.C V9P9H5

Signature: J. Hrabchak

Date: July 07, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Amanda Marki

Address:

5555 Rutherford Road Nanaimo BC

Work in fairwinds area

Signature: 

Date: July 7 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

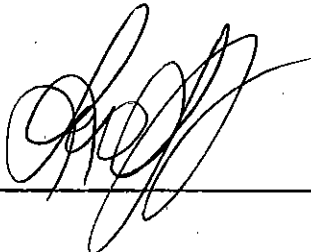
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Leo Groenewigen

Address:

#502 - 3555 Outrigger Rd

Nanoose Bay BC

Signature: 

Date: July 7/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo


Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: ROBIN RUSSELL

Address:

2435 AINSLEY PL.

NANOOSE BAY, BC

Signature: 

Date: July 8, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

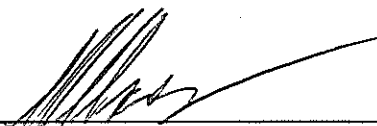
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: BILL CRAIG

Address:

2137- SCOTTVALE PLACE,

NANOOSE BAY, B.C. V9P9J8

Signature: 

Date: July 7th / 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving
Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: SANDRA CRARER

Address:

2137 SCOTTVALE PLACE

NANOOSE BAY, B.C. V9P9J8

Signature: Sandra Crarer

Date: JULY 7/2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina
Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188


To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Keith Thompson

Address:

3370 Rodchampton Rd
Nanose Bay

Signature: 

Date: July 7/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Norm Klasko

Address:
2320 Ardour Rd
Nanaimo Bc

Signature: 

Date: July 7/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

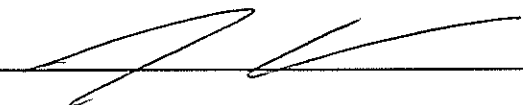
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: SEAN MOORE

Address:

3535 SHELBY LANE,

NANOOSE BAY, BC

Signature: 

Date: July 7, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

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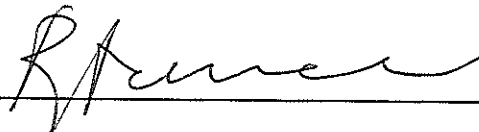
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: RAMSAY FARRAN

Address:

3324 ROCKHAMPTON RP

NANOOSE, BC

Signature: 

Date: July 8/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: SUZETTE CHURCH

Address:

3324 ROCKHAMPTON RD

MANOOSBI

Signature: Suzette Church

Date: July 28th '17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: ERVING LARSON

Address:

7430 SIMMONS PLACE

NANOOSE BAY, BC V9P 9J8

Signature: 

Date: JULY 7, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

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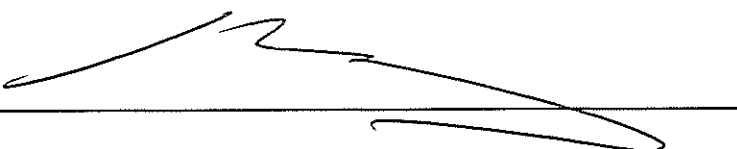
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: PATRICK MURRAY

Address:

3362, ROCKHAMPTON RD

NANOOSE BAY

Signature: 

Date: July 7th 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: V. Moe

Address:

2342 Andover Rd Nanaimo

Signature: V. Moe

Date: July 7/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: ANNE ~~HEATH~~ LARSON

Address:

3430 SIMMONS PL

NANOOSE BAY, BC

Signature: Anne L Larson

Date: July 7, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: VERA MOORE

Address:

3535 SHELBY LANE

NANOOSE BAY, BC V9P 9J8

Signature: Vera Moore

Date: July 7, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

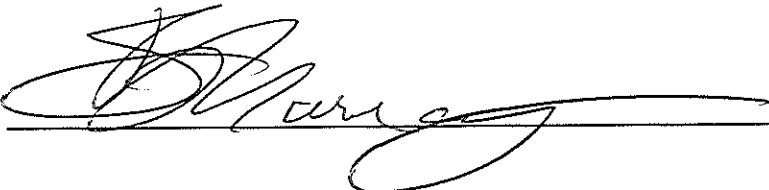
To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Barb Murray

Address:

3362 Rockhampton Rd

Signature: 

Date: July 7/2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188


To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Kim Rasmussen

Address:

3320 ADDISON RD

Signature: 

Date: 7/7/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

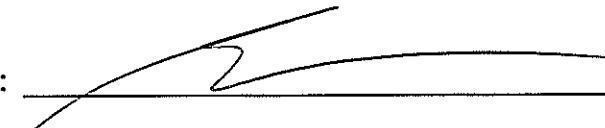
To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Spencer Philippo

Address:

2424 Ansley Pl
Nanoose

Signature: 

Date: Jul 7 / 17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Karen Olenik

Address:

2400 Andover Rd.

Signature: Karen Olenik

Date: July 7/17

Please scan and email to: **info@fairwinds.ca**

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

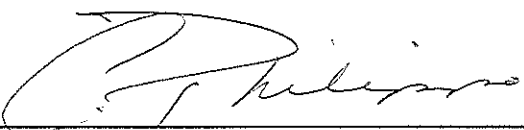
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Colleen Philippo

Address:

2424 Ainsley Pl.

Nanoose Bay

Signature: 

Date: July 7 / 17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Jordan Freeman

Address:

1653 Brunt Rd, Nanoose Bay

Signature: J Freeman

Date: 07/07/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

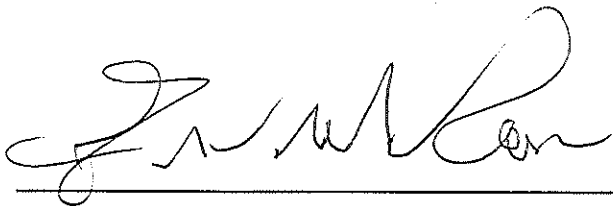
LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: JOHN MACRAE

Address:
FAIRWINDS

Signature: 

Date: JULY 7, 17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that ^{WE} support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: DAVE PATKERSON / MAUREEN PATKERSON

Address: 3515 - BLUEBILL PLACE.
NANOOSE BAY - V9P 9H8

Signature: [Signature] / [Signature]

Date: JULY 7, 2017

Please scan and email to: info@fairwinds.ca
or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Sandra Brand

Address:

3380 Redden Road
Nanoose Bay, B.C.

Signature: SANDRA BRAND.

Date: 2018/07/08.

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo


Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: VIVIAN WILLIAMS

Address: RICHARD⁺ PRATT

2354 Andover Rd.

Nanosa Bay, B.C.

Signature: 

Date: July 8 / 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

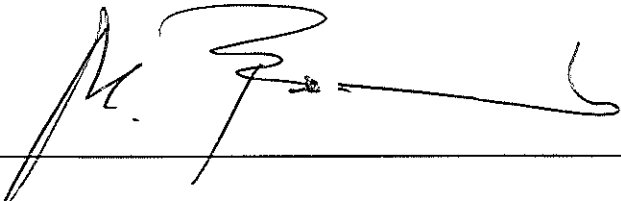
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: MAX PODMER

Address:

2904 DOLPHIN DR

NANOOSE BAY, B.C.

Signature: 

Date: JULY 8/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Doug Horsman

Address:

1435 MARINA Way

Nanoose Bay

Signature: D Horsman

Date: July 8/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

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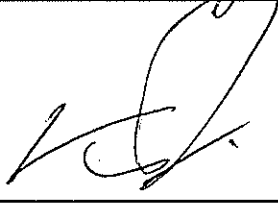
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: KLAS FOGELKLOU

Address:

1460 Whitecap Rd.

Nanose Bay, B.C. V9P9B6

Signature: 

Date: July 8/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Dorian Stokes

Address: 2408 Armstrong Cres

Signature: D Stokes

Date: July 8/2017

Please scan and email to: **info@fairwinds.ca**
or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Brendan Campbell

Address:

2740 Powder Point Rd

Signature: Brian Campbell

Date: July 8/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

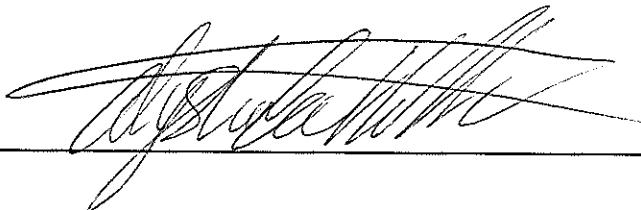
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Alysha Collette

Address:

2367 EVANSHIRE CRESS

NANOOSE BAY, BC, V9P 9G7

Signature: 

Date: July, 8th 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

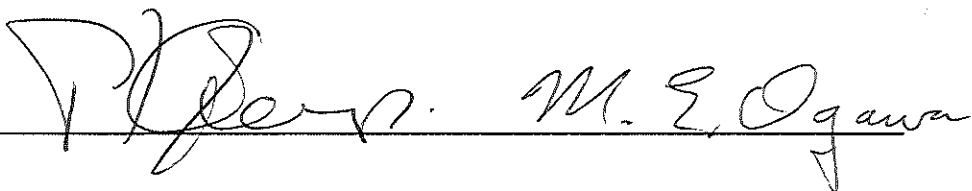
To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Pat & Maureen Ogawa

Address:

3631 Dolphin Drive.
Nanoose Bay, BC.

Signature:  M. E. Ogawa

Date: July 08, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: BRENDA JUSS

Address:

3478 GRILSE ROAD

NANOOSE BAY V9P 9H8

Signature: Brenda Juss.

Date: July 8/17.

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Dan Juss

Address:

 3478 GRILSE ROAD

 NANOOSE BAY V9P 9H8

Signature: 

Date: July 8 / 17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Jay Leck

Address:

Box 545 Coombs

Signature: 

Date: 07/08/12

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

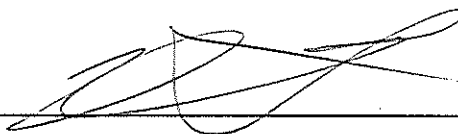
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Darren Smith

Address:

1485 Stone Lake Dr

Nanoose

Signature: 

Date: July 8 / 17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo


Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Helen Stephenson

Address:

176 Primrose Gardens

Edmonton AB T5T0R1

Signature: 

Date: 7 July 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

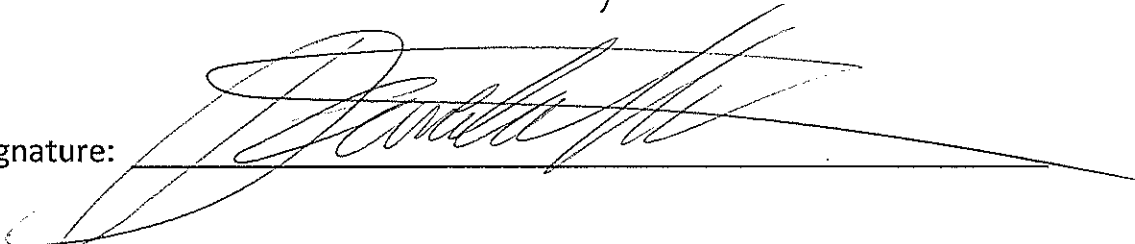
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Dave Collette

Address:

2367 Evanshine Cress

Nanoose Bay

Signature: 

Date: July 8 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Bonita Collette

Address:

2367 Evanshire cress

Nanoose Bay BC

Signature: Bonita Collette

Date: July 8th 2017

Please scan and email to: **info@fairwinds.ca**

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

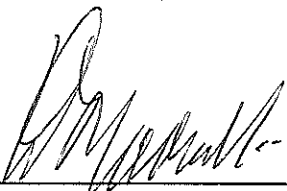
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Don Macdonald

Address:

2655 Andover Rd, #19.

Nanoose Bay.

Signature: 

Date: July 8/17.

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: GLENN DAVIS

Address:

3012 ANCHOR WAY

NANOOSE BAY

Signature: 

Date: JULY 10, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Janet Irving

Address:

2504 Richard Place

Nanoose Bay, BC

Signature: Janet Irving

Date: July 10/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Jeff Irving

Address:
2504 Richard Place
Nanose Bay BC

Signature: Jeff Irving

Date: July 10/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Dale Moran

Address:
2227 Single Fox Rd.
Nanaimo

Signature: D Moran

Date: July 9/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name:

Charlie Moroz

Address:

7348 Rossiter ave

Lantzville B.C V0K2H0

Signature:



Date:

July 9/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Mike Meriez

Address:

2227 Sungen part Rd.

Nanaimo BC

Signature: 

Date: July 9/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Jim Richard

Address:

1911 BONITO CRESCENT

NANOOSE BAY BC.

Signature: 

Date: JULY 9, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: DAVID JAMIESON

Address:

1641 Acacia Rd
Nanoose, BC. V9P9C6

Signature: D. Jamieson

Date: July 9/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

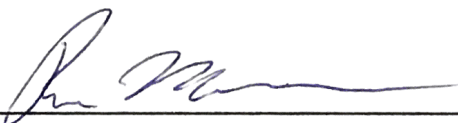
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Ron Mann

Address:

3496 Gaitse Road.

Nanoose Bay.

Signature: 

Date: July 9-2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Netty Mann

Address:

3496 GRILSE

Nanoose Bay

Signature: Netty Mann

Date: July 9- 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Colleen Gerke

Address:

3471 Blueback Rd.

Nanoose Bay B.C.

Signature: Colleen Gerke

Date: July 9, 2017.

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

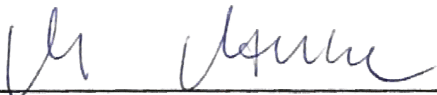
To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Gerhard Gerke

Address:

3471 Blueback, Nanoose.

Signature: 

Date: July 9/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Bernie Schjerve

Address:

3481 GRILSE ROAD

NANCOSE BAY V9P 9H8

Signature: Bernie Schjerve

Date: JULY 9 / 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: ROY SCHOFIELD

Address:

3481 GRILSE RD

NANOOSE BAY V9P 9H8

Signature: Roy Schofield

Date: July 9/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: AUDY OGINA STONE

Address:

3453 GRILSE RD.

NANOOSE, BC.

Signature:  _____

Date: July 9 / 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: CATHY ORBAN

Address:

1911 BONITO CRES

NANOOSE BAY, BC V9P 9J1

Signature: 

Date: 2017-07-09

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

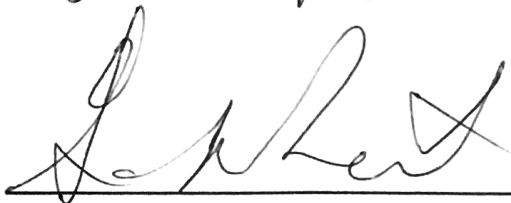
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: George Nakanishi

Address:

1960 Crowsnest lane

Nanoose V9P 9H7

Signature: 

Date: July 9, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Maureen Nakanishi

Address:

1960 Crowsnest Lane

Nanoose V9P 9H7

Signature: Maureen Nakanishi

Date: July 9, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name:

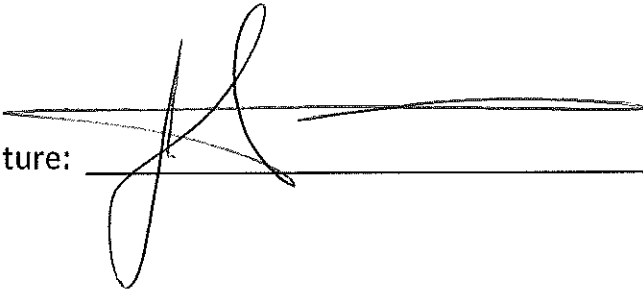
JOHN MACLEAN

Address:

2672 ANDOVER ROAD

NAWOOSE BAY, B.C. V9P 9K8

Signature:



Date:

July 10, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

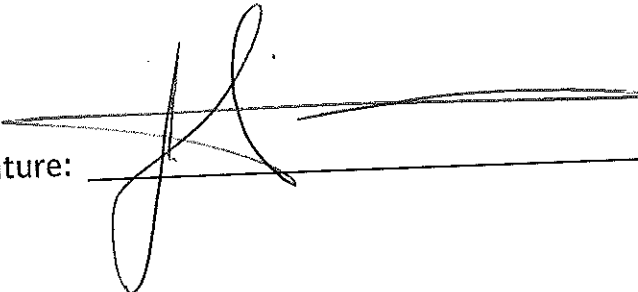
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: JOHN MACLEAN

Address:

2672 ANDOVER ROAD

NANOOSE BAY, B.C. V9P 9K8

Signature: 

Date: JULY 10, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

... Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

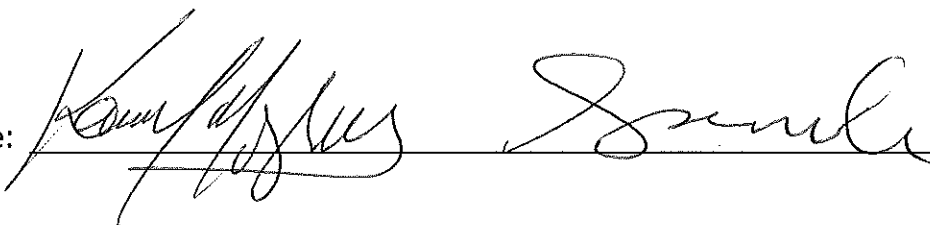
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: KAMAL E'LEA MOGHARABI

Address:

2479 ANDOVER RD.

NANOOSE BAY, B.C. V9P 9K5

Signature: 

Date: JULY 8, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: D. Patricia Gallagher

Address:

3670 Delphin Drive
Nanose Bay BC

Signature: DP Gallagher

Date: July 9/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name:

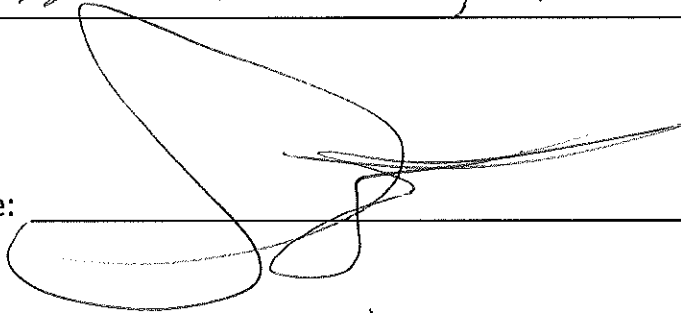
JIM CRAIGON

Address:

6315 INVERMERE RD

NANAIMO, B.C

Signature:



Date:

JULY 9/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Holly MARVIN

Address:

2490 ANDOVER RD

NANOOSE BAY

Signature: Holly Marwin

Date: July 9 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: HUGO MARTIN

Address:

3430 SINCRAIR R.
NANOOSE BAY

Signature: Hugo Martin

Date: 10 July '17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: IAN MAXWELL

Address:

3442 SINCLAIR PL.

NANOOSE BAY V9P-5J8

Signature: 

Date: July 9 / 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

F W Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

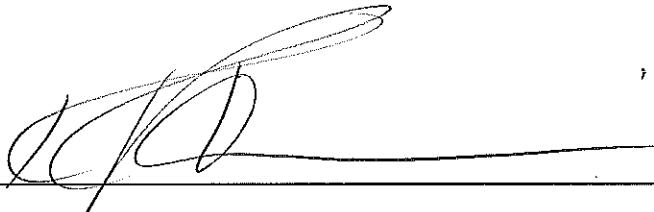
To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: MURIEL ANDERSON

Address:

2655 ANDERSON RD.

Signature: 

Date: JULY 08 / 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo


Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Pauline Maxwell

Address:

3442 Sinclair Place

Nanooet Bay

Signature: 

Date: July 9, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: GEOFF EYRES

Address:

 3506 CARMICHAEL RD.

 NANOOSE BAY, B.C. V9P 9G5

Signature: 

Date: JULY 8, 2017

Please scan and email to: **info@fairwinds.ca**

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

V Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: TIMOTHY DWANE

Address:

3530 GRILSE ROAD

NANOOSE BAY B.C. V9P 9H8

Signature: Timothy Dwan

Date: July 10/2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Connor Freeman

Address:

1653 Brunt Road

Signature: Connor

Date: July 9, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Katherine Eyres

Address:

3506 Carmichael Rd

Nanoose Bay, BC

Signature: K Eyres.

Date: July 8/17.

Please scan and email to: **info@fairwinds.ca**

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: John Gougeon

Address:

3274 Renwick Place

Signature: John Gougeon

Date: July 9 / 17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: BEVERLEY COOLICAN

Address:

2544 ANDOVER RD

NANOOSE BAY BC V9P9K5

Signature: Beverley Coolican

Date: July 07/2017

Please scan and email to: **info@fairwinds.ca**

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

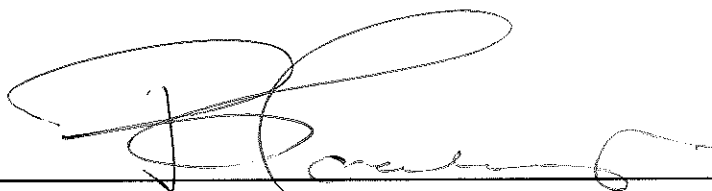
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Brian Cowlican

Address:

2544 ADDOUR RD

WAWOOSE BAY

Signature: 

Date: July 10/17

Please scan and email to: **info@fairwinds.ca**

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: MICHAEL SIMARD

Address:

3484 REDDEN RD.

NANOOSE BAY BC.

Signature: 

Date: JULY 7, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo


Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: WESTVART

Address:

Box 38

LANZVILLE BC

Signature: 

Date: 10/7/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Don Osterhout

Address:

#1 - 2640 Andover Rd

Nanoose Bay B.C.

Signature: 

Date: July 10, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Nahad Irshaid

Address:

2596 Andover Rd

Nanoose Bay B.C

Signature: Nahad Irshaid

Date: July 9/2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: BILL GALLAGHER

Address:

3670 DOUNDHIN DRIVE

NANOOSE BAY

Signature: WR [Signature]

Date: 7/10/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo's
Development Permit Application No. PL2016-188 for Fairwinds Ig.

Name: Karin Inshard

Address:

2596 Ardore Rd.

Signature: Karin Inshard

Date: 9.7.2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fads Marina
Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo


Please be advised that ^{we} support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: John + Janet Gibson

Address:

3564 Sheffield Pl.

NANOOSE BAY

Signature:  Janet H Gibson

Date: July 9 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

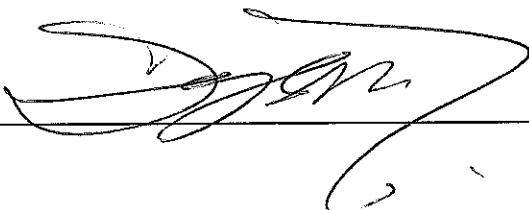
LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Andrew Dysart

Address: 2250 Cowen Way
Nanaimo Bc
V9A 9A5

Signature: 

Date: July 7/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: GORDON BLAD

Address:

3435 GARMICHAEL RD

NANOOSE BAY

Signature: G. Blad

Date: 10 JUL 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: W. M. Smith

Address:

3485 CAMBRIDGE ROAD

NANOOSE BAY

Signature: M. Smith

Date: July 10/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

ses Ltd.

RT DP APPLICATION No. PL2016-188

nal District of Nanaimo

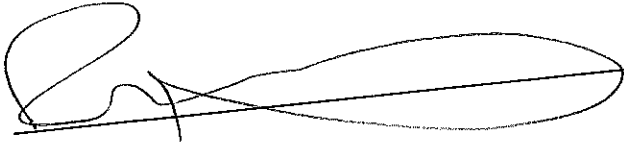
Please be advised that I support the Regional District of Nanaimo approving
Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: ROBERT HARTLEY

Address:

3466 CARMICHAEL ROAD

NAJDOSE BAY

Signature: 

Date: JULY 11 2017

Please scan and email to: info@fairwinds.ca
or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina
Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving
Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Barbara Proctor-Hartley

Address:

3466 Carmichael Rd.

Signature: B Proctor-Hartley

Date: July 11 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina
Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

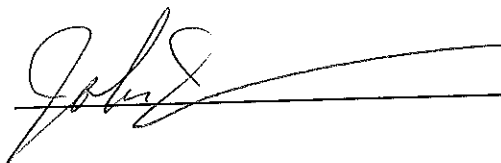
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: John Jacobsen

Address:

2237 Chelsea Place

Nanoose Bay V9P 9G5

Signature: 

Date: June July 10, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

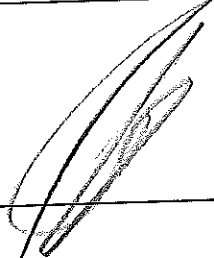
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: BILL PEPLER

Address:

3375 BLUEBACK DR

NANAIKO BAY

Signature: 

Date: June 14, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188


To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: RAY ROBERTSON

Address:

2280 COVENTRY PL

Signature: 

Date: JULY 10/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: R.P. DELANEY

Address:

3720 REMORA PLACE

NANOOSE BAY, BC

Signature: R.P. Delaney

Date: July 9/2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Emily Robertson

Address:

2391 Higginson Rd

Nanoose Bay

Signature: Emily

Date: July 10/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

W Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo


Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: ROB JENSEN

Address:

#117-4971 SONGBIRD PLACE

NANAIMO, BC. V9T 6L1

Signature: 

Date: JULY 9, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

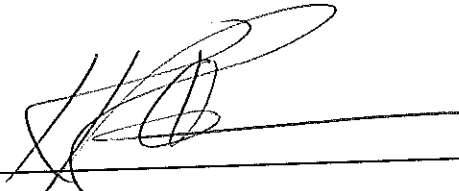
To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Ken Anderson

Address:

2655 Anderson Rd.
Nanoose Bay, B.C.

Signature: 

Date: July 08 / 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

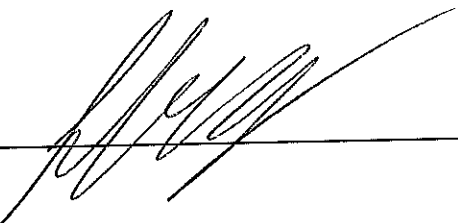
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: JUSTIN PLANTZ

Address:

1573 MADRONA DR.

NANOOSE BAY B.C

Signature: 

Date: July 8/17.

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

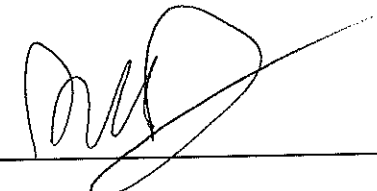
To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Rob Assaf

Address:

Golf Bowron Place

Signature: 

Date: 07/08/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

Enterprises Ltd.

TER OF SUPPORT DP APPLICATION No. PL2016-188

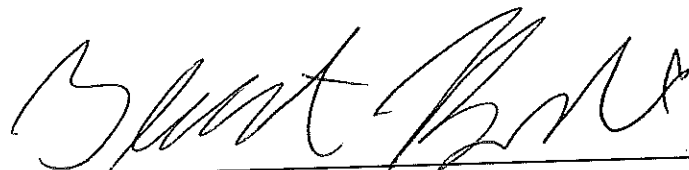
To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Trent Bell

Address:

2486 Richard Place

Signature: 

Date: July 7/18

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Noah Hooper

Address: 3584 Ranch Point Road

Signature: 

Date: July

Please scan and email to: info@fairwinds.ca
or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Gail E. Drench

Address:

3495 Cambridge Road

Nanoose Bay BC V9P9G3

Signature: Gail E. Drench

Date: July 10/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: HELENE LARNER

Address:

3641 COLLINGWOOD DR

NANOOSE BAY V9P 9G3

Signature: Helene Larner

Date: July 10/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

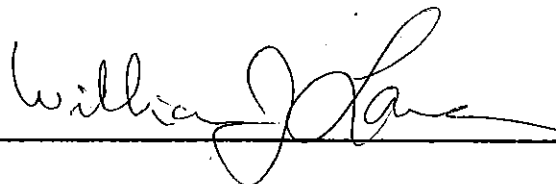
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: WILLIAM URNER

Address:

3641 COLLINGWOOD DR

NANOOSE BAY V9P 9G3

Signature: 

Date: 07/10/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Mary + Danielle Couling

Address:

2145 Scottvale Place
Nanaimo BC V9P-9J8

Signature: Danielle Couling / Mary Couling

Date: July 7th / 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

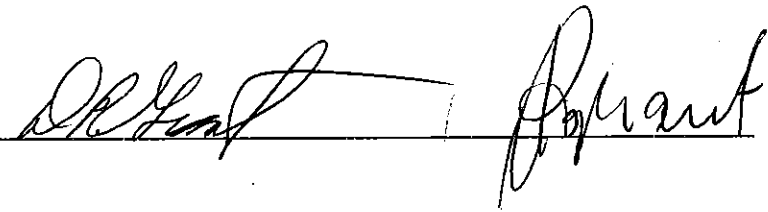
To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: DON + NILDA GRANT

Address:

3460 DOLPHIN DRIVE, NANOOSE BAY.

Signature: 

Date: JULY 8 2017.

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

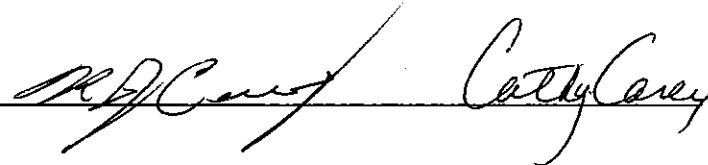
To: Regional District of Nanaimo

Please be advised that ^{we} support the Regional District of Nanaimo approving
Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Ken + Cathy Carey

Address:

2394 Green Isle Place
Nanoose Bay, BC V9P9K8

Signature: 

Date: July 10, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina
Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

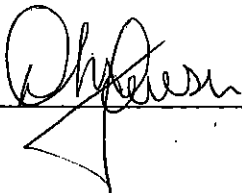
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: David Sanson

Address:

2377 Granville Road

Nanoose Bay, BC V9P9K8

Signature: 

Date: July 10, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: MARIA SANSON

Address:

2377 GRANVILLE RD

Signature: Maria Sanson

Date: July 10/20

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving
Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Terri Reid.

Address:
2449 Evanshire Crescent.

Signature: Terri L. Reid.

Date: July 10/17.

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina
Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: R. Ian MacDonald

Address:

2291 Coventry Pl.

Nanose Bay V9P 9G5 BC

Signature: 

Date: 2017-7-10

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: DAVID REID

Address:

2449 EVANSHIRE CRES

Nanoose Bay V9P 9G7

Signature: David Reid

Date: July 10 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

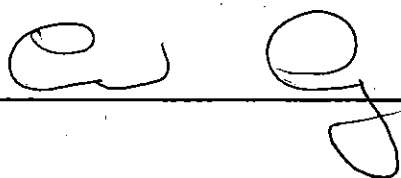
LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: ERIC ENG

Address: 3240 HUNTINGTON PL
NANOOSE BAY, BC V9P 9H6

Signature: 

Date: 10/7/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Mac Donnell Skotky

Address:

2291 Cowartley Place

Signature: Ed de Souza

Date: 2017. 7. 10

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo


Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: JUDY SCHLOTTER

Address:

2985 ANCHOR WAY

NANOOSE BAY, BC V9P 9G2

Signature: 

Date: July 10 / 17

Please scan and email to: **info@fairwinds.ca**

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

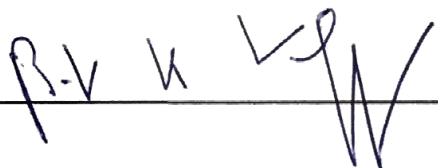
To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Bob Schlotter

Address:

2985 Anchor Way
NANOOSE BAY, BC V9P9G2

Signature: 

Date: July 10/17

Please scan and email to: **info@fairwinds.ca**

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: BARBARA DALE JOBB.

Address:

3339 Rockhampton Road
Fairwinds

Signature: Barbara Dale Jobb

Date: Aug. 10 2017

Please scan and email to: **info@fairwinds.ca**

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Merville (Mel) Vincent

Address:

3452 Sinclair Place

Nanoose Bay B.C.

Signature: Merville Vincent

Date: July 10/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: DEBRA VINCENT

Address:

3452 Sinclair Pl.

Nanoose Bay, V9P 9J8

Signature: Debra Vincent

Date: July 10th, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo


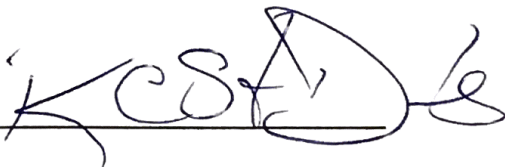
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: ROD AND SYLVIA ST. DENIS

Address:

3300 ROCKHAMPTON ROAD

NANOOSE BAY, B.C. V9P 9H5

Signature:  

Date: JULY 10, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo


Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: GEORGE & CAROL JARVIS

Address:

1918 SEA OTTER PLACE

NANOOSE BAY V9P 9J1

Signature:  Carol N Jarvis

Date: 10 July 2017.

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: BRIAN + CECILIA WAGNER

Address:

3575 SHEFFIELD PLACE

Signature:  _____

Date: July 9/2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: PAM BOSORNSON

Address:

3472 SIMMONS PLACE

NAUOOSE BAY V9P 9J8

Signature: 

Date: Aug 11/2017,

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Colby Bernos, Sherry Pilkington,
691372 BC LTD

Address:

Lot 7 Bannington, undeveloped.

Nanose Bay, BC.

Signature: 

Date: July 11, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

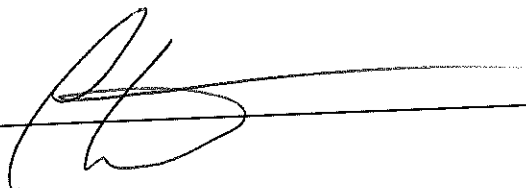
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Colby Bernes

Address:

2247 Foxrun Place.

Nanoose Bay, BC.

Signature: 

Date: July 11, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Lynn Grose

Address:

2391 Ansover Rd

Nanoose Bay V9P 9G9

Signature: Lynn Grose

Date: July 10/17

Please scan and email to: **info@fairwinds.ca**

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

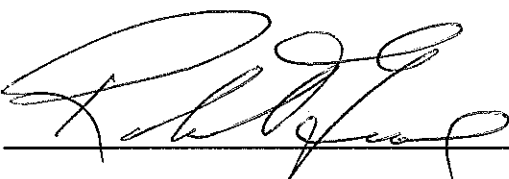
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: ROBERT COSE

Address:

2391 ANNOVER RD

NANOOSE BAY V9P 9G9

Signature: 

Date: JULY 10/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: CLARENCE (GUS) GUSTAVSON

Address:

2665 ANDOVER RD

NANOOSE BAY BC

Signature: 

Date: July 10 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: LOUISA HAMPLE

Address:

 2446 ANDOVER ROAD

 NANOOSE BAY , BC. V9P9G9

Signature: Louisa Hample

Date: July 11/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

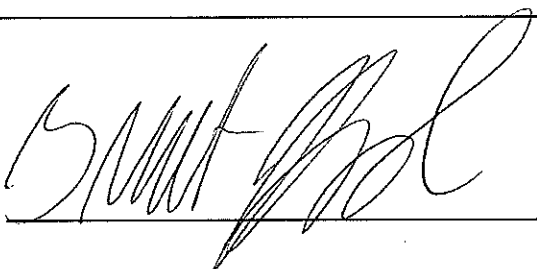
LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Trent Bell

Address: 2486 Richards Place

Signature: 

Date: July 10/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

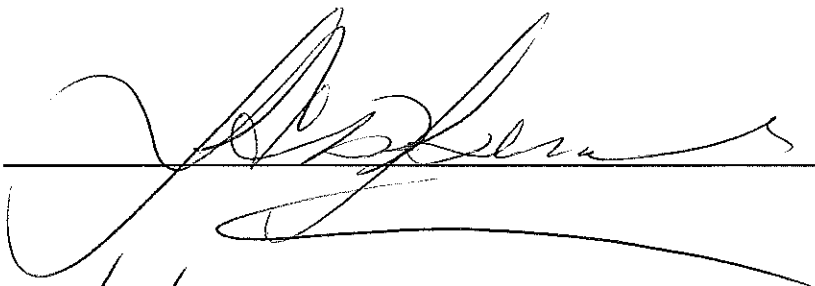
To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: JAY SPENCE

Address:

2370 ANDOVER RD.
NANOOSE BAY

Signature: 

Date: 10/7/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: CAROL BLAD

Address:

3435 Carmichael Rd

Nanovus Bay,

Signature: C. Blad

Date: July 10, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

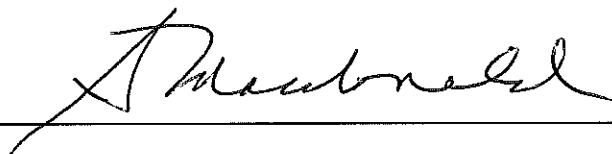
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: SANDRA MACDONALD

Address:

19-2655 ANDOVER RD.

NANOOSE Bay BC V9P 9J5

Signature: 

Date: July 10 / 17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

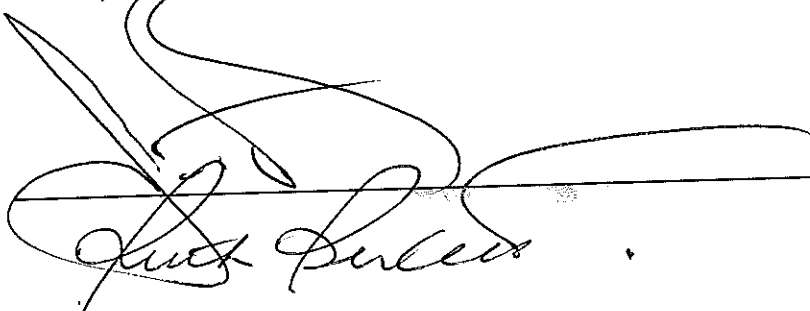
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: JOHN PERLEIT
RUTH PERLEIT

Address:

2345 AVONDALE PLACE

NANOOSE BAY RD. V9P 9G8

Signature: 

Date: July 10, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: TOM & LAURIE BALATTE

Address:

3463 TYEE CRESCENT

IVANOOSE BAY, BC

Signature: 

Date: 7/11/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

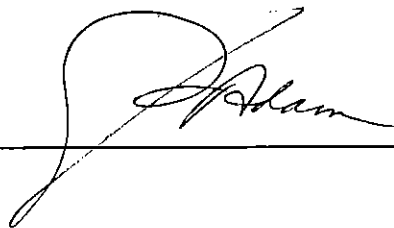
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Patricia Adam

Address:

2400 Chain Way

Nanoose Bay, B.C. V9P-9G2

Signature: 

Date: July 10/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Brian Adam

Address:

2400 Chain Way

Nanoose Bay, B.C. V9P-9G2

Signature:  _____

Date: July 10/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: DARRELL SALLENBACK

Address:

3476 Carmichael

Fairwinds

Signature: Darrell

Date: July 11, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Martine Sallenbach

Address:

~~18~~ 3476 Carmichael Rd.

Nanoose Bay, B.C.

Signature: M/Sallenbach

Date: July 11/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Jim Crist

Address:

3465 Cambridge Road

Nanose Bay, BC, V9P 9G3

Signature: Jim Crist

Date: June 11, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: KEITH WATSON

Address:

2287 Bonnington Dr.

Signature: Keith Watson

Date: July 11 / 17

Please scan and email to: info@fairwinds.ca
or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: LINDA WATSON

Address:

2287 Bonnington Dr.

Signature: L. Watson

Date: July 11 / 17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: BARRY & MARTHA PETERS

Address:

3470 BELDON R

NANOOSE BAY, BC V9P 9L8

Signature: M Peters

Date: July 11, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Ryan Landier

Address:

3515 Goodrich Road

Nanoose Bay

Signature: R. E. Landier
(signed by M. J. Landier - on his behalf)

Date: July 11, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Mary Laudien

Address:

3515 Goodrich Road

Nanoose Bay

Signature: M. L. Laudien

Date: July 11, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: GILLIAN REDPATH

Address:

3486 GOODRICH ROAD

NANOOSE BAY BC V9P9K8

Signature: Gillian Redpath

Date: July 10th 2017

Please scan and email to: **info@fairwinds.ca**

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: WILLIAM REDPATH

Address:

3486 GOODRECH RD
NANOOSE BAY V9P 9K8

Signature: W. Redpath

Date: 10th JULY 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

F/W Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

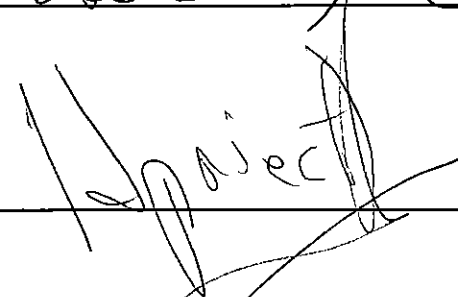
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: LORNE PRIESTLEY

Address:

3458 Blusack Dr.

Nanose Bay BC

Signature: 

Date: July 9/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: NORMA PRIESTLEY

Address:

3458 Blueback Dr.

Narrows Bay BC

Signature: Norma Priestley

Date: July 11 / 17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

I/W Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Shirley Day

Address:

2505 Andover Rd

Nanoose Bay

Signature: Shirley Day

Date: July 11 / 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: LLOYD DAY

Address:

2505 ANDOVER RD.

NANOOSE BAY, B.C., V9P 9K5

Signature:  _____

Date: July 11th / 17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Debbie Semochko

Address:

3502 Carmichael Rd.

Nanoose Bay

Signature: Debbie Semochko

Date: July 11, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office



One Tree Paddles

OFFICE
1791 Morello Rd
Nanoose Bay, BC.V9P 9B1

PHONE
1-250-888-0588

EMAIL
info@onetreepaddles.com

WEB
www.onetreepaddles.com

DATE
July 7, 2017

TO
The Regional District of Nanaimo - Directors & Appointed Officials

WITH REGARDS TO: Fairwinds Landing in Nanoose Bay

We are writing to show our support for FW Enterprises and their proposal to revitalize the waterfront area and re-introduce highly desired amenities into our community. In addition to servicing the needs of area residence, the project will also create opportunity for local businesses and artisans to access our area's markets and potential customers, within a centralized location.

At present, there is a need to maintain the infrastructure around Schooner Cove to accommodate the needs of mariners traveling along Vancouver Island or crossing the Strait of Georgia from Main Land. The convenient location provides necessary shelter in bad weather and is used as an access point for fuel during longer voyages. The contributions of the Federal Government of Canada towards the creation of the breakwater would suggest that this is an area worthy of investment and critical to the provision of safe waterways for British Columbians.

In addition to geographical reasoning which encourage safe marine travel options, the area's Naval dispatch often operates tests in chartered territories which border Fairwinds Marina. Vessels in conflict with operational testing of the Canadian Navy are advised to change course and often encouraged to stop at our facilities to avoid conflict with Navy operations. Being that it is not always by choice that mariners look to access Fairwinds Marina facilities, we believe that providing the amenities associated with the Fairwinds Landing development are essential services which should be accessible to the public, particularly in emergency and unplanned circumstances.

As a business owner and operator, having the opportunity to create and access tourism and travel markets remains to be a driving factor for our operations and the decision to relocate our young family to the Nanoose area. Without the support of FW Enterprises, we remain concerned that there are no other economic development initiatives to draw in a younger demographic of tax contributors. Unless the economic opportunities in our area continue to move forward with the support of our community members, we are certain to see other amenities and services diminish with the aging population.

Although we too acknowledge the benefit of having a quiet community that is not overtly corporate towards area management and environmental sensitivity, we are convinced that Seacliff Properties will act to the best interests of all community members in their attempt to increase the quality of life of our residence through the introduction of new amenities, services and business opportunities, whilst maintaining and achieving the goals without compromise to the ecology of Schooner Cove.

We offer full support to FW Enterprises and the Fairwinds Landing proposal
Sincerely,

Dave Kratt

Owner & Operator
One Tree Paddles Inc.

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Susanne Young

Address:

2320 Evanshine Crescent

Nanoose Bay BC V9P 9G6.

Signature: 

Date: July 11/2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

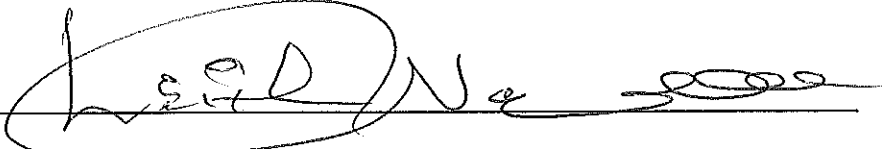
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: LEITH NANCE

Address:

3686 DOLPHIN DRIVE

NANOOSE BAY, BC V9P9H1

Signature: 

Date: 4 May 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: P.J. MAY-SOAKA

Address:

2064 RASBURY PLACE NANAIMO BC

Signature: 

Date: July 10, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: PETER AYLWARD

Address:

3480 Cormichael Rd.

Nanouse Bay

Signature: Peter Aylward

Date: July 10/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

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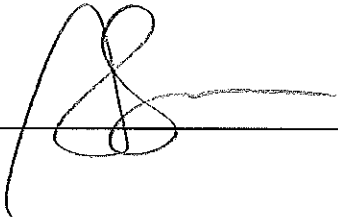
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Alan & Charline Sinchi ✓

Address:

3614 Firwood Place

Nanaimo Bay

Signature: 

Date: July 10 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: John F Dodd

Address:

2421 AINSLEY PL,

NANOOSE BAY, B.C.

Signature: A. Dodd

Date: July 10/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving
Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Lucille J. Dodd *Lucille J. Dodd*

Address:

2421 Ainsley Rd.
Nanoose Bay

Signature: L J Dodd

Date: July 10 - 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina
Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: MARIE AYLWARD

Address:

3480 Carmichael Rd

Nanoose Bay

Signature:

Marie Aylward

Date:

July 10/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

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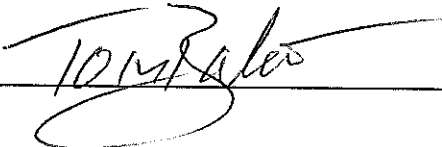
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: TOM & LAURIE BALATTE

Address:

3463 TYEE CRESCENT

NANOOSE BAY, B.C.

Signature: 

Date: 7/11/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: PAM BOSTONSON

Address:

3472 SIMMONS PLACE

NAUOOSE BAY V9P 9J8

Signature: 

Date: Aug 11/2017.

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

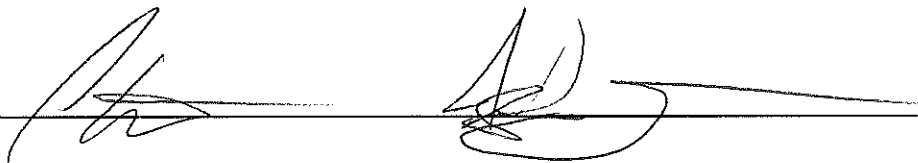
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Colby Bernos, Sherry Pilkington,
691372 BC LTD

Address:

Lot 7 Bonnington, undeveloped.

Nanoose Bay, BC.

Signature: 

Date: July 11, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

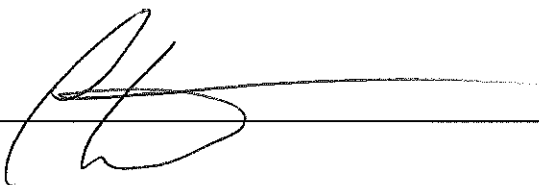
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Colby Bernes

Address:

2247 Foxrun Place

Nanoose Bay, BC

Signature: 

Date: July 11, 2017

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FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Lynn Grose

Address:

2391 Ansover Rd

Nanoose Bay V9P 9G9

Signature: Lynn Grose

Date: July 10/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: ROBERT ROSE

Address:

2391 ANNOVER RD

NANOOSE BAY V9P 9G9

Signature: [Handwritten Signature]

Date: July 10/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo


Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: CLARENCE (GAS) GUSTAVSON

Address:

2665 ANDOVER RD

NANOOSE BAY BC

Signature: 

Date: July 10 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: LOUISA HAMPLE

Address:

 2446 ANDOVER ROAD

 NANOOSE BAY , BC. V9P9G9

Signature: Louisa Hample

Date: July 11/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

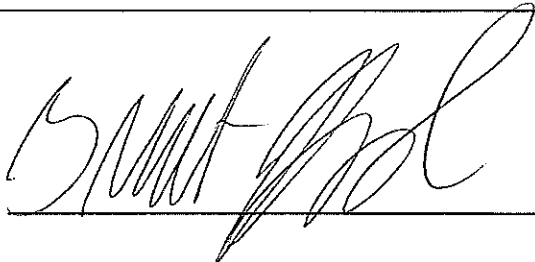
LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Trent Bell

Address: 2486 Richards Place

Signature: 

Date: July 10/17

Please scan and email to: info@fairwinds.ca

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FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188


To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: JAY SPENCE

Address:

2370 ANDOVER RD.
NANOOSE BAY

Signature: 

Date: 10/7/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: CAROL BLAD

Address:

3435 Carmichael Rd

Nanoose Bay.

Signature: C. Blad

Date: July 10, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

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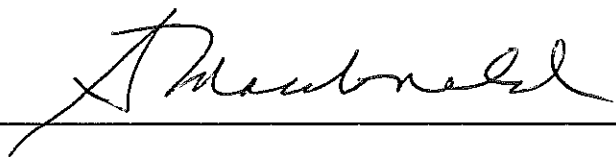
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: SANDRA MACDONALD

Address:

19-2655 ANDOVER RD.

NANOOSE Bay BC V9P 9J5

Signature: 

Date: July 10 / 17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: JONN PERLEIT
 RUTH PERLEIT

Address: 2345 AVONDAKE PLACE

 NANOOSE BAY RD. V9P 9G8

Signature: [Handwritten Signature]

Date: July 10, 2017

Please scan and email to: info@fairwinds.ca
or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

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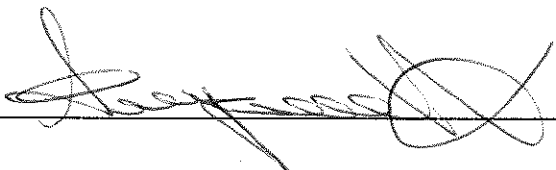
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Suzanne & Parker Hodges

Address:

3483 Tye Crescent

Nanoose Bay

Signature: 

Date: July 10, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Jean Chouen

Address:

3491 Strike Rd. Nanaimo B.C. V9P1H8

Signature: Jean Chouen

Date: July 11th 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

dropped off, at the Fairwinds Centre, Golf Club Clubhouse and at the Fairwinds Marina Office.

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188


To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: RICHARD D. SCHNUTH.

Address:

3482 GRILSE ROAD
NANOOSE BAY, BC. V9P-9H8.

Signature:  _____

Date: JULY 8, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Lise Karpow

Address:

2414 Greenridge Crescent

Nanoose Bay, B.C.

Signature: Lise Karpow

Date: 11 July 2017

Please scan and email to: **info@fairwinds.ca**

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo


Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: DON KARPOW

Address:

2414 GREENRIDGE CRES.

NANOOSE BAY

Signature: 

Date: 11 July 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FVW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Joan A Svendsen

Address: 3483 Schooner Rd.
Nanase Bay V9P9H9

Signature: Joan A Svendsen

Date: July 11 / 17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Kelly Tinkler

Address:

3594 Outrigger Rd

Nanouse Bay VAP 943

Signature:  _____

Date: July 11, 17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

I W Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

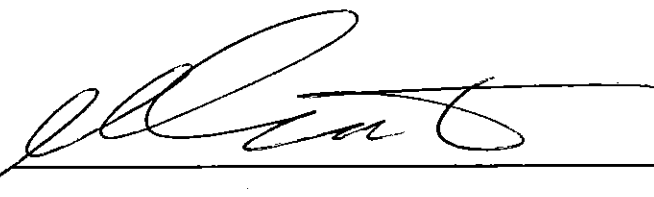
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Manlynn Fuscate

Address:

3594 Outrigger Rd.

Nanose Bay V9P 9H3

Signature: 

Date: July 11-17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Doug Holme

Address:

2382 Glenellen Place

Nanoose Bay, BC

Signature: 

Date: July 12/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

F/W Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Nancy Sather

Address: 2972 Dolphin Drive
Nanoose Bay B.C.

Signature: Nancy Sather

Date: July 12, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Murray Sather

Address:

2972 Dolphin Drive

Nanoose Bay B.C.

Signature: M. Sather

Date: July 12, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

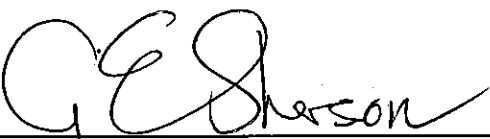
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: GAIL SHERSON

Address:

3425 BRADNER CIRCLE

NANOOSE BAY, BC V9P 9M5

Signature: 

Date: July 12, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: BARY + MARTHA McINTOSH

Address:

3498 Goodrich Rd.

NANOOSE BAY, B.C. V9P 9K8

Signature: 

Date: JULY 12/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Marion Patrick & Fred Ringgenberg

Address:

3723 Mallard Place, Nanoose Bay

Signature:  

Date: 7/10/2017

Please scan and email to: **info@fairwinds.ca**

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo


Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Brandon & Megan Carrigy

Address:

2418 Andover Rd.

Nanoose Bay, B.C. V9P 9G9

Signature: 

Date: July 9 / 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: LISA COLLINS & DEREK CLARKE

Address:

LOT 52 SIMMONS PLACE

NANOOSE BAY

Signature: Lisa Collins

Date: July 10 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: OREST GULTA.

Address:

2222 THE JIB

NANOOSE BAY V9P 9B6

Signature:



Date:

JULY 10/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

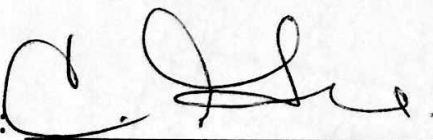
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Charlene Gulka

Address:

2222 The Jib

Nanose Bay - V9P-9B6

Signature: 

Date: July 10/17

Please scan and email to: **info@fairwinds.ca**

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Ian Stewart

Address:

205-1600 Howe St, Vancouver BC, V6E 2L9

and recently purchased 3554 Collingwood Dr,
Nanose Bay

Signature: 

Date: July 10, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Dr Douglas A & M June Hanton

Address:

3541 SHELBY LANE

NANOOSE BAY

Signature: *June Hanton* for Douglas & June Hanton

Date: JULY 12 2017

Please scan and email to: **info@fairwinds.ca**

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo


Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: CHRIS PRICE & LAURA LOWE

Address:

3288 RENWICK PL.

NANOOSE BAY, B.C.

Signature:  Laura Lowe

Date: 10 JULY 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: _____

TROY GIBSON

Address: _____

2451 ANDOVER RD

NANOOSE BC

Signature: _____



Date: _____

July 10/2017

Please scan and email to: **info@fairwinds.ca**

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: GREGORY CASALTY

Address:

2271 COVENTRY LANE

Signature: G. Casalty

Date: July 10, 2017

Please scan and email to: **info@fairwinds.ca**

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Doug Holme

Address:

2382 Glenellen Place

Nanoose Bay, BC V9P 9G3

Signature: 

Date: July 10/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Bo Hakanson

Address:

3475 Tyce Crescent

Nanoose Bay, BC V9P 9H9

Signature: 

Date: July 10, 2017

Please scan and email to: **info@fairwinds.ca**

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Glen Allen

Address:

#107 - 3555 Outrigger Rd. V9P 9K1
Nanoose Bay

Signature: 

Date: July 10, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: W. Don White

Address:

3410 Bromley Place

Nanoose Bay, BC V9P-9L8

Signature: 

Date: July 10/2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

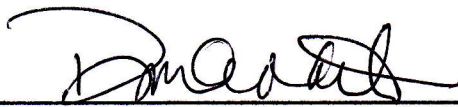
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Donna White

Address:

3410 Bromley Place

Nanoose Bay, BC. V9P-9L8

Signature: 

Date: July 10 / 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo


Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: MARIE EMERY

Address:

13 - 2655 ANDOVER RD

NANOOSE BAY, BC

Signature: 

Date: July 10, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Brian Whelen

Address:

2239 Bonnington Dr.
Nanoose Bay, BC, V9P 9L9
250 468 9595

Signature: 

Date: 10 July 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: SANDRA DUTTON

Address:

3685 DOLPHIN DRIVE

NANOOSE BAY

Signature: S. Dutton

Date: JULY 10/2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

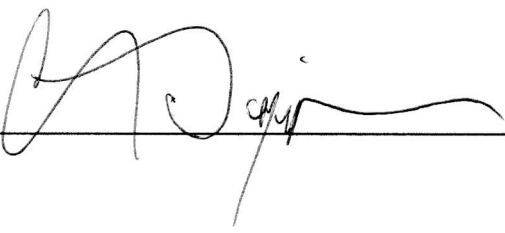
LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: GERRY SUGIYAMA

Address: 6612 GROVELAND DR

Signature: 

Date: JULY 10 2017

Please scan and email to: **info@fairwinds.ca**

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

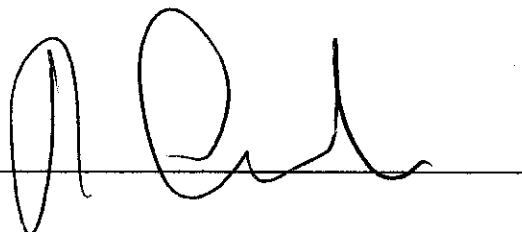
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: WOLFGANG RUESCHER

Address:

3-2640 ANDOVER ROAD

NANOOSE BAY V9P 9K7

Signature:  _____

Date: 11.7.2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

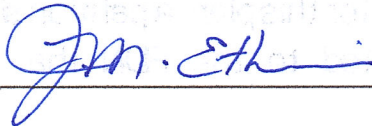
Name: JOAN ETHIER & DOUG PEARSON

Address:

3505 CARMICHAEL ROAD

NANOOSE BAY, BC V9P 9G5

Signature:



Date: 11 July 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

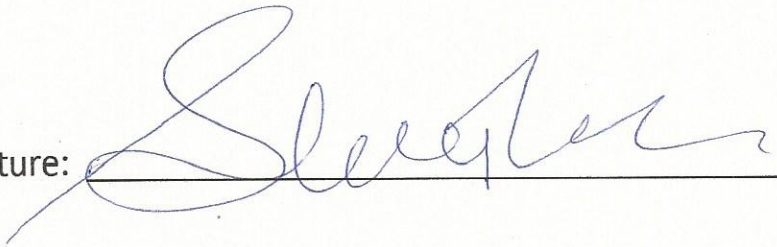
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Shelley Devish

Address:

1918 Bonito Cres.

Mangose Bay BC

Signature: 

Date: July 10/2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

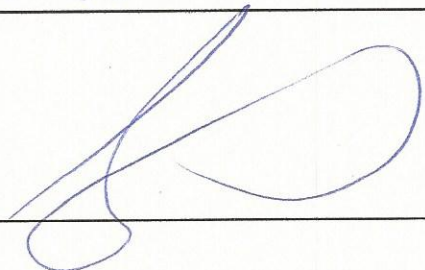
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Jack Derish

Address:

Lot 68 Bonito Crs.

Schooner Cove B.C.

Signature: 

Date: July 8/2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving
Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Sabine Whelen

Address:

2239 Bonnington Drive

Nanoose Bay, BC, V9P 9L9

250 468 9595

Signature: 

Date: 10 July 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina
Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: John & Brenda MacLean

Address:

2672 Andover Road

Nanoose Bay

Signature: 

Date: July 11/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Amy Sartori

Address: 2378 Ambver Road, Fairwinds, Nanasse Bay,
B.C.

Signature: 

Date: July 11/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo


Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: DAN SARTORI

Address:

2378 Ardover Road, Fairwinds, Nanase

Bay, B.C.

Signature: 

Date: July 11/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: HART PFORTMUELLER

Address:

2231 FOXRUN PLACE

NANOOSE BAY, B.C. V9P 9H1

Signature: 

Date: JULY 10, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: KIRSTEN PEORTMUELLER

Address:

2231 FOXRUN PLACE

NANOOSE BAY, B.C.

Signature: 

Date: JULY 10, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: GLENN KARAKOCHUK

Address:

3195 DOLPHIN DRIVE

NANOOSE BAY, V9P 9J2

Signature: 

Date: JULY 10, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Robert J. BEVIS

Address:

13-2655 ANDOVER RD

NANOOSE BAY V9P 9J5

Signature: Robert J. Bevis

Date: July 10, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo


Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: DENISE ~~ROBERTS~~ ZLOMAN

Address:

3457 BRASNER CIRCLE

NANOOSE BAY, BC V9P9M5

Signature: 

Date: 7/11/2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: WILLIAM MACMILLAN

Address:

3447 PERCH LANE

NANOOSE BAY, B.C., V9P 9H9

Signature: Wm Macmillan

Date: July 10/2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Ryan Cochran

Address: 2310 Garry Oak Drive
Nanoose Bay, BC V9P 9G1

Signature: 

Date: July 10, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: George & Rene Merrick

Address:

168 Carroll Rd

Winnipeg MB R3K1H5

Signature: Rene R. Merrick

Date: July 10, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: WARREN RONQUIST

Address:

3097 DOLPHIN DR

NANOOSE BAY BC V9P 9J2

Signature: W. Ronquist

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

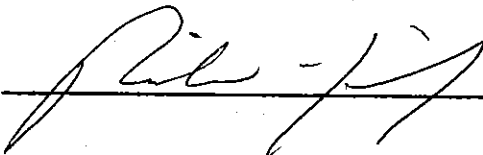
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Richard McKinley

Address:

2781 Lana Road

Nanoose Bay, BC V9P9B2

Signature: 

Date: July 13, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Bruce Richman

Address:

2400 Nanoose Rd.

Nanoose Bay

Signature: Bruce Richman

Date: July 13 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

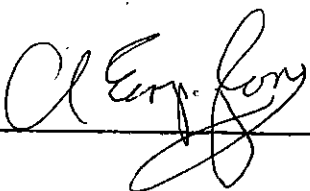
To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: ALAN EARP-JONES

Address:

3620 ELGINWOOD DL / NANOOSE BAY / V9P9G6

Signature: 

Date: 13/JULY/2017.

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: MARIAN PRYSTUPA

Address:

2250 FOXRUN PL.

NANOOSE BAY, BC. V9P9H1.

Signature: M. Prystupa

Date: July 13/17.

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Travis Prystupa

Address:

2250 Foxrun Place

Nanoose Bay

Signature: 

Date: July 13 / 17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Emma Groenewegen

Address:

3694 Dolphin Drive
Nanoose Bay BC

Signature: Emma Groenewegen

Date: July 13/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

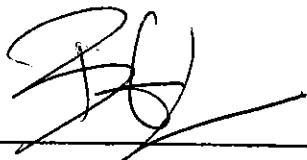
To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Ben Groenewegen

Address:

3694 Dolphin Dr
Nanose Bay BC

Signature: 

Date: July 13/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Sharon & Rick Whitehead

Address:

Richard Place, Nanose

Signature: Sharon Whitehead

Date: July 13/2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I ^{strongly} support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Peter Kiidumae

Address:

2993 Dolphin Drive

Nanoose Bay, BC

Signature: P. Kiidumae

Date: July 14 / 17

Please scan and email to: **info@fairwinds.ca**

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Kim Graham. Conan Graham

Address:
3369 Bradner Circle Nanoose Bay BC

Signature:  _____

Date: July 13, 2017

Please scan and email to: **info@fairwinds.ca**
or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

Make the development happen. This has taken far too long and we need to have amenities to create a commun

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: THAS OSTAFFY

Address: 2475 ANDOVER Rd.

NANOOSE Bay, BC

V9P 9K5

Signature: 

Date: July 13, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Ronda Watson

Address:

2402 Granville Rd

Nanaimo Bc

Signature: R Watson

Date: July 16/17

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Kerstin and Borje Fredriksson

Address:

2255 Coventry Place

NanOOSE Bay

Signature: Kerstin Fredriksson, Borje Fredriksson

Date: July 15, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

Fairwinds Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

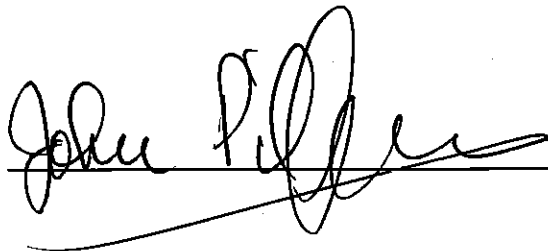
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: JOHN PILGRIM

Address:

3425 BRADNER CIRCLE

NANOOSE BAY, BC V9P9M5

Signature: 

Date: July 14, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188


To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Loredana, DELLA VEDOVA

Address:

2588 ANDOVER ROAD

Signature:  _____

Date: 16 JULY/2017

Please scan and email to: **info@fairwinds.ca**

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

Date: July 17, 2017

LETTER OF SUPPORT DP APPLICATION No.
PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name:

David Baldner

Address:

PO Box 33
Clearwater Bay, ON

Signature:



FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: DAVID MEREDITH

Address:

3784 MALLARD PLACE

NANOOSE BAY, BC V9P9H1

Signature: 

Date: JULY 16 / 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Katherine Meredith

Address:

3784 Mallard Place, Nanoose Bay

Signature: *Katherine Meredith*

Date: July 16/2017

Please scan and email to: **info@fairwinds.ca**

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

FW Enterprises Ltd.

LETTER OF SUPPORT DP APPLICATION No. PL2016-188

To: Regional District of Nanaimo

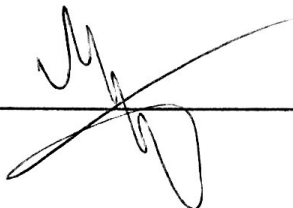
Please be advised that I support the Regional District of Nanaimo approving Development Permit Application No. PL2016-188 for Fairwinds Landing.

Name: Greg Scollon

Address:

3525 SHEPHERD PLACE

NANAIKO BAY

Signature: 

Date: July 17, 2017

Please scan and email to: info@fairwinds.ca

or Drop Off at Fairwinds Centre, Golf Club Clubhouse or the Fairwinds Marina Office

TO: Regional District of Nanaimo Board **MEETING:** July 25, 2017

FROM: Joan Michel
Parks and Trails Coordinator

SUBJECT: Arrowsmith CPR Regional Trail – Island Timberlands Licence Renewal

RECOMMENDATION

That the Board accept Island Timberland’s offer to renew the 2000 Arrowsmith CPR Regional Trail non-exclusive licence for the period April, 1 2017 to March 31, 2019.

SUMMARY

The RDN’s licence with Island Timberlands for the Arrowsmith CPR Regional Trail expired in March 2017. Island Timberlands has now offered a two-year renewal at a cost of \$300 plus GST – see Attachment 1. This represents the fourth renewal of a licence created in 2000 with no change in terms aside from the time frame and fee.

BACKGROUND

In 2000, the RDN obtained a five-year non-exclusive licence from Island Timberlands (then Weyerhaeuser) for use of approximately 3.8 km of trail corridor on the company’s land. The trail forms part of the upper loop of the historic Arrowsmith CPR Regional Trail (ACPRRT). A similar private land licence was concluded at the time with TimberWest for the bottom section of the Regional Trail. In its entirety, the 10 km Trail runs up from Cameron Lake through the private forest lands to the old ski hill site in the Alberni-Clayoquot Regional District’s Mount Arrowsmith Regional Park.

The RDN renewed Island Timberland’s 2000 ACPRRT licence in 2005, 2010 and 2015, by which point the term offered was two years. The 2015 agreement expired in March 2017, and the RDN has once again received an offer to renew for a two-year period for a fee of \$300 plus GST, all other terms the same. The current 2008-2011 TimberWest licence, which cost \$500 plus GST, includes three automatic five-year renewals and thus remains in effect until December 2026.

The ACPRRT is one of ten developed regional trails in the RDN, and one of its best known. It is used regularly by both residents and visitors to the region, and features in the RDN’s guided alpine hiking series.

ALTERNATIVES

1. That the Board accept Island Timberland’s offer to renew the 2000 Arrowsmith CPR Regional Trail non-exclusive licence for the period April, 1 2017 to March 31, 2019.

2. That the Board not accept Island Timberland’s offer and provide alternative direction to Staff.

FINANCIAL IMPLICATIONS

The cost of renewing Island Timberland’s licence for the ACPRRT for two years is \$300 plus GST, the same fee charged the RDN when it last renewed the licence in 2015. These funds are available in the Regional Parks operating budget.

STRATEGIC PLAN IMPLICATIONS

Acceptance of Island Timberland’s offer to renew the 2000 ACPRRT licence is consistent with the Strategic Priority “Focus on Service and Organizational Excellence – we recognize recreational amenities as core services.”



Joan Michel
jmichel@rdn.bc.ca
7 July 2017

Reviewed by:

- W. Marshall, Manager, Parks Services
- T. Osborne, General Manager, Recreation and Parks Department
- P. Carlyle, Chief Administrative Officer

Attachment

1. Island Timberlands ACPRRT 2017 2019 Licence Renewal Offer

DELIVERED VIA EMAIL

Our File: G-4517

July 6, 2017

Regional District of Nanaimo, Recreation and Parks
Oceanside Place
830 West Island Highway
Parksville, BC
V9P 2X4

Attention: Joan Michel

**Re: Non-Exclusive Licence over Part of Block 1324, Alberni, Dunsmuir and Cameron Districts
except part in Plan 28909 and VIP66605 for the purpose of hiking trail (Arrowsmith Trail)**

Island Timberlands Limited Partnership (ITLP), hereby offers to renew your Licence dated April 1, 2000, and any subsequent amendments and renewals, on the following terms and conditions:

1. The term of this renewal shall be for two (2) years commencing April 1, 2017 and expiring March 31, 2019.
2. The fee for this renewal shall be \$300.00 for the term plus \$15.00 GST, payable on receipt of invoice.

All other terms and conditions of the Licence dated April 1, 2000 and any subsequent amendments and renewals will remain in effect during the term. Please sign where indicated in the space below to indicate your acceptance of these terms and conditions, and return the fully executed agreement by email or Canada Post to the address shown above. Island Timberlands Limited Partnership's G.S.T. Registration Number is R860211499 RT0001.

Yours truly,
Island Timberlands Limited Partnership,
by its general partner Island Timberlands GP Ltd.
Real Estate Group

Agreed to and accepted by:
**Authorized signatory of
Regional District of Nanaimo**



Denise Sakai
Real Estate Co-ordinator

Signature

Print Name

Date



TO: Regional District of Nanaimo Board **MEETING:** July 25, 2017

FROM: Mark Dobbs
Superintendent of Parks Operations and
Capital Projects **FILE:**

SUBJECT: Little Qualicum River Regional Park Bridge Upgrade Tender Award

RECOMMENDATIONS

1. That the Board cancel the tender without awarding a contract for the Little Qualicum River Regional Park Bridge Upgrade.
2. That the Board direct staff to remove the existing Little Qualicum River Regional Park Bridge due to safety concerns.
3. That the design and construction of a new bridge for the Little Qualicum River Regional Park be considered for inclusion in the 5-year Regional Parks Capital Plan.

SUMMARY

The existing bridge located in the Little Qualicum River Regional Park (LQRRP) is badly damaged and unsafe for use. In 2015, the RDN Board approved upgrading the bridge to provide pedestrian and maintenance vehicle access based on an estimate of \$125,000. During 2016, Engineers re-examined the bridge and the budget increased to \$260,000.

During June and July 2017 the project was publicly tendered for a fixed price amount. Three compliant tenders were received with the lowest bid of \$333,656 from Heavy Metal Marine Ltd.

Since the first engineering assessment in 2014, the complexity and cost of the project has grown. Based on the tender results and required contingency, the current project costs are estimated at \$432,389 and this could increase if other unknowns are discovered during construction. A new structure could be built for costs in the order of \$600,000 to \$700,000 including contingency and demolition of the old bridge. Design fees are estimated at \$50,000.

Given the cost to upgrade the bridge with an uncertain lifespan of the existing components compared to the costs of a new bridge with a 75 year lifespan, the financial implications do not support proceeding with upgrades to this structure. Therefore, it is recommended that the tender be cancelled without awarding a contract. Further, based on the important link the bridge provides, it is recommended that the design and construction of the bridge be considered for inclusion and prioritization in the 5-year Regional Parks Capital Plan.

Currently, the damaged bridge is a liability to the RDN. People continue to cross the bridge despite the warning signs and lack of deck surface. Removing the bridge would reduce the likelihood of injury and related liability implications to the RDN. The costs are estimated at \$150,000 to \$200,000 and would be covered by the existing budget.

BACKGROUND

The Regional District acquired the Little Qualicum River property in 1999 as parkland dedication with the existing bridge in-place. An access agreement (easement) allowed Ozero Sand and Gravel through affiliation with Wicklow West Holdings to use, control and maintain the bridge for gravel extraction operations.

In 2014 the bridge sustained damage and was no longer safe. Wicklow West Holdings and Ozero Sand & Gravel requested dissolution of the easement and that full control of the bridge and all liability return to the RDN. The access to the bridge was closed due to safety issues. Since that time safety measures in-place to protect the public are repeatedly vandalized, removed or destroyed. Concrete no-post barriers weighing 2000 kilograms, anchored vertically and set 1.5 meters in the ground at each end of the bridge have been repeatedly removed. Gates are routinely breached to gain vehicle access to the property.

During periods of time when the bridge barricades are in place and effective, ATV users have used this site as an alternate river crossing location, driving through this shallow portion of the river and up/down the steep bank on the east side. In addition to this practice being highly risky for ATV users and nearby pedestrians, it causes significant damage and siltation to sensitive salmon habitat, which nest and spawn in this location. The bridge provides a link to the local community for access to the river and for access to neighbouring crown lands.

In 2015 a staff report provided information on the easement dissolution and upgrades, and provided the recommendation to carry out upgrades estimated at \$125,000. The RDN Board at its February 24th 2015 regular meeting passed the following motion (15-201).

That the bridge at Little Qualicum River Regional Park be upgraded for pedestrian, cyclist, service vehicle and emergency use, but not seismic upgrades funded by the Regional Parks Capital Budget following dissolution of the easement over the structure.

In 2016 during preliminary design preparation, a geotechnical assessment carried out during the fish-window and with low water levels revealed scouring of the center pier located in the river and the need for structural underpinning of the main center support. This in-stream work requires temporary damming of the center pier area within the river to complete the work and associated environmental approvals. Based on this new information and engineering estimates, the budget was increased to \$260,000 and was included in the 2017 Regional Parks Capital Budget. During detailed construction planning in 2017, it was further discovered that existing ballast walls located at each end of the bridge were damaged and needed replacement. The consulting engineers advised that this could increase the construction costs once the project was tendered.

In-stream work to repair or remove the pier foundation must be carried out within a narrow fisheries window, under supervision of an environmental monitor, and concluded by September 15th. Missing the

window will delay the project for another year; however, above stream work to remove decking or stringers can take place outside of the fish window.

Construction Tender Results

Tender drawings for LQRRP Bridge project were completed by Herold Engineering on June 7th 2017 and a public tender was issued on June 13th 2017. The tender closed July 11th 2017 and three compliant tenders were received. The following is a summary of the tender results.

- Heavy Metal Marine Ltd. \$333,656
- CMF Construction Ltd. \$409,700
- Surespan Construction Ltd. \$537,202

Staff reviewed the tenders listed and deemed them compliant with respect to the tender submission requirements; however, all tenders exceed the previously estimated construction budget.

Factors contributing to construction cost escalations are:

- a) The scope of work grew to include replacing the ballast walls at each end of the bridge;
- b) Additional requirements for engineered end-fill, rip-rap and associated geotechnical services to protect the center pier support and each abutment wall from further scour;
- c) Construction activity on Vancouver Island is currently brisk, with competing infrastructure projects and contractor demand.

A comparison of costs is outlined in the following table.

2016 Estimated Project Costs		2017 Estimated Project Costs	
Professional Services	\$48,733	Professional Services	\$48,733
Construction	\$205,000	Construction	\$333,656
Contingency -	\$6,267	Contingency	\$50,000
Project Budget	\$260,000	Project Budget	\$432,389

Engineering and Development Implications

Herold Engineering’s proposal was accepted for design work and to provide Structural Engineer of Record services during construction of the LQRRP Bridge upgrade project, continuing their previous work for the assessment and recommendation options for a bridge crossing.

Since the first engineering assessment in 2014, the complexity and cost of the project has grown. Based on the tender results and required contingency, the current project costs are estimated at \$432,389 and this could increase if other unknowns are discovered during construction. A new structure could be built for costs in the order of \$600,000 to \$700,000 including contingency and demolition of the old bridge (estimated between \$150,000 and \$200,000). Design fees are estimated at \$50,000.

According to the consulting engineer, given that the existing structure has several unknowns in terms of age, detailed design and history, it is difficult to predict what the remaining serviceable life of the structure might be. It is likely that further upgrades would be required over the next 5 to 15 years.

Longevity of the upgraded centre pier would also continue to be uncertain (even with underpinning and scour protection) because the age and quality of the original concrete construction is unknown. Serviceable life of a new structure would be in the order of 75 years without major maintenance or repairs for 30 years.

Given the cost to upgrade the bridge with an uncertain lifespan of the existing components compared to the costs of a new bridge with a 75 year lifespan, the financial implications do not support proceeding with upgrades to this structure. Therefore, it is recommended that the tender be cancelled without awarding a contract. Further, based on the important link the bridge provides, it is recommended that the design and construction of the bridge be considered for inclusion and prioritization in the 5-year Regional Parks Capital Plan. Due the safety issues of the existing structure and the continued vandalism to the bridge and safety barriers, it is recommended that the bridge be removed.

ALTERNATIVES

1. That the Board cancel the tender without awarding a contract for the LQRRP Bridge Upgrade and direct staff to remove the existing structure. The design and construction of a new bridge can be considered for inclusion in the 5-year Regional Parks Capital Budget.
2. Award the contract for the LQRRP Bridge Upgrade to Heavy Metal Ltd. in the amount of \$333,656 with a total approved project budget of \$432,437.
3. That the Board provide alternate direction to staff.

FINANCIAL IMPLICATIONS

The 2017 Regional Parks Capital Budget includes \$260,000 for this project. The lowest bid plus contingency and professional services totals \$432,437 which exceeds the project budget. If it is recommended that the tender be awarded, then other funds need to be found within the approved budget. There are funds available in the Regional Park Capital reserve; however, this will impact other future projects. The estimated removal cost for the bridge is \$150,000 to \$200,000 and this can be accomplished within the existing budget.

Little Qualicum Regional Park Bridge has been identified as a high priority project that provides an important link, however, within the Capital Plan there are also other projects currently underway or being contemplated for Regional Parks. Given the overall budget implications, it is recommended that the design and construction of a new bridge be considered for inclusion and prioritization in the 5-year Regional Parks Capital Plan.

STRATEGIC PLAN IMPLICATIONS

This project falls under the Strategic Priority of Focus on Service and Organizational Excellence. The investment in this Regional Service requires examining both costs and benefits to be effective and efficient with delivery of the end product. This project also recognizes the community mobility and recreational amenities as core services objective. There is also a focus on the environment as this project recognizes the need to protect the natural environment of the river and provide infrastructure that does the same.



Mark Dobbs
mdobbs@rdn.bc.ca
July 17, 2017

Reviewed by:

- W. Marshall, Manager of Parks Services/Acting General Manager of Recreation and Parks Services
- W. Idema, Director of Finance
- J. Harrison, Director of Corporate Services
- G. Garbutt, Acting Chief Administrative Officer

REGIONAL DISTRICT OF NANAIMO

**MINUTES OF THE EXECUTIVE COMMITTEE MEETING
OF THE REGIONAL DISTRICT OF NANAIMO HELD ON
TUESDAY, JUNE 27, 2017 AT 5:30 PM IN THE
COMMITTEE ROOM**

In Attendance:

Director W. Veenhof	Chairperson
Director I. Thorpe	City of Nanaimo
Director J. Stanhope	Electoral Area G
Director A. McPherson	Electoral Area A
Director H. Houle	Electoral Area B
Director B. McKay	City of Nanaimo
Director B. Bestwick	City of Nanaimo
Director M. Lefebvre	City of Parksville

Regrets:

Also in Attendance:

Director M. Young	Electoral Area C
Director B. Rogers	Electoral Area E
Director J. Fell	Electoral Area F
P. Carlyle	Chief Administrative Officer
J. Harrison	Director, Corporate Services
J. Hill	Manager, Administrative Services

1. CALL TO ORDER

The Chair called the meeting to order at 5:30pm.

2. APPROVAL OF THE AGENDA

It was moved and seconded that the agenda be approved.

CARRIED UNANIMOUSLY

3. ADOPTION OF THE MINUTES

Executive Committee Meeting –May 23, 2017

It was moved and seconded that the minutes of the Executive Committee meeting held May 23, 2017 be adopted.

CARRIED UNANIMOUSLY

4. REPORTS

4.1 Community Grants Policy

It was moved and seconded that:

1. The Terms of Reference for the Community Grant Committee be approved.
2. The Community Grants Policy No. A1.30 be approved.
3. The Grants-in-Aid Advisory Committee be dissolved.
4. Grants-in-Aid Policy No. A1.28 be repealed.
5. An overall review of RDN Community Grant programs be included in the 2018 work plans.

CARRIED UNANIMOUSLY

4.2 Director's Remuneration

It was moved and seconded that:

1. The process and Terms of Reference for an independent review of the Regional District of Nanaimo's Directors' remuneration by a consultant be approved as amended to delete Cowichan Valley Regional District from the comparator group and add Comox Valley Regional District, and to include reference to remuneration for Alternate Directors.
2. The Executive Committee be appointed by the Board to review the consultant's report on remuneration and make a recommendation to the Board.

3. The Board direct that the applicable policies and bylaws be revised and updated following approval of the remuneration by the Board.

CARRIED UNANIMOUSLY

It was moved and seconded that staff report back to the Executive Committee in November of this year.

Opposed (1): Director Houle

CARRIED

5. IN CAMERA

It was moved and seconded that pursuant to section 90(1)(c) of the Community Charter the Committee proceed to an In Camera Meeting for discussions related to labour relations or other employee relations.

CARRIED UNANIMOUSLY

TIME: 6:50 PM

CHAIR

CORPORATE OFFICER

REGIONAL DISTRICT OF NANAIMO

MINUTES OF THE REGULAR COMMITTEE OF THE WHOLE MEETING

Tuesday, July 11, 2017

7:00 P.M.

RDN Board Chambers

In Attendance:	Director I. Thorpe	Chair
	Director A. McPherson	Electoral Area A
	Director H. Houle	Electoral Area B
	Director M. Young	Electoral Area C
	Director B. Rogers	Electoral Area E
	Director J. Fell	Electoral Area F
	Director J. Stanhope	Electoral Area G
	Alternate	
	Director M. Recalma	Electoral Area H
	Director B. McKay	City of Nanaimo
	Director B. Bestwick	City of Nanaimo
	Director G. Fuller	City of Nanaimo
	Director J. Hong	City of Nanaimo
	Director J. Kipp	City of Nanaimo
	Director B. Yoachim	City of Nanaimo
	Director M. Lefebvre	City of Parksville
	Director B. Colclough	District of Lantzville
	Director T. Westbroek	Town of Qualicum Beach
Regrets:	Director W. Veenhof	Electoral Area H
Also in Attendance:	P. Carlyle	Chief Administrative Officer
	R. Alexander	Gen. Mgr. Regional & Community Utilities
	G. Garbutt	Gen. Mgr. Strategic & Community Development
	W. Marshall	A/Gen. Mgr. Recreation & Parks
	D. Trudeau	Gen. Mgr. Transportation & Emergency Planning Services
	J. Hill	A/Director of Corporate Services
	W. Idema	Director of Finance
	D. Banman	Mgr. Recreation Services
	C. Golding	Recording Secretary

CALL TO ORDER

The Chair called the meeting to order and respectfully acknowledged the Coast Salish Nations on whose traditional territory the meeting took place.

The Chair welcomed Alternate Director Chief Recalma to the meeting.

APPROVAL OF THE AGENDA

It was moved and seconded that the agenda be approved as presented.

CARRIED UNANIMOUSLY

ADOPTION OF MINUTES

Regular Committee of the Whole Meeting - June 13, 2017

It was moved and seconded that the minutes of the Regular Committee of the Whole meeting held June 13, 2017, be adopted.

CARRIED UNANIMOUSLY

COMMITTEE MINUTES

Liquid Waste Management Plan Monitoring Committee Meeting - June 12, 2017

It was moved and seconded that the minutes of the Liquid Waste Management Plan Monitoring Committee meeting held June 12, 2017, be received for information.

CARRIED UNANIMOUSLY

FINANCE

Southern Community Sewer Secondary Treatment Capital Improvements – Security Issuing Bylaw 1762 and Interim Financing Bylaw 1763

It was moved and seconded that “Southern Community Sewer Local Service Secondary Treatment Capital Improvements Security Issuing Bylaw No. 1762, 2017” be introduced and read three times.

CARRIED UNANIMOUSLY

It was moved and seconded that “Southern Community Sewer Local Service Secondary Treatment Capital Improvements Interim Financing Bylaw No. 1763, 2017” be introduced and read three times.

CARRIED UNANIMOUSLY

RECREATION AND PARKS

Draft State of Recreation in District 69 (Oceanside) Research Report

Brian Johnston and Stephen Slawuta, RC Strategies + PERC, provided an overview of research and engagement key findings from residents, stakeholders and community groups and discussed the next steps in the completion of the draft Recreation Services Master Plan for District 69.

It was moved and seconded that the Draft State of Recreation in District 69 (Oceanside) Research Report be presented to the District 69 Recreation Commission and the Recreation Services Master Plan Advisory Committee for information and comment prior to inclusion in the Master Plan as a reference document.

CARRIED UNANIMOUSLY

REGIONAL AND COMMUNITY UTILITIES

July 2017 Asset Management Update

It was moved and seconded that the Board endorse the July 2017 Asset Management Update.

CARRIED UNANIMOUSLY

NEW BUSINESS

Director Recalma left the meeting at 7:51 pm citing a conflict of interest with the next agenda item.

Community Grants - Tribal Journeys 2017

It was moved and seconded that:

Whereas on May 23, 2017 after consideration of a staff report on Tribal Journeys 2017 the Board resolved that "...Directors and staff be informed of any volunteer opportunities that may arise from the event."

Therefore be it resolved that the Regional District of Nanaimo's First Nations liaison budget be utilized to provide the following community grants to contribute towards the costs of Tribal Journeys 2017.

1. Qualicum First Nation \$1200
2. Snuneymuxw First Nation \$1200
3. Snaw-Naw-As \$1200

CARRIED UNANIMOUSLY

Director Recalma returned to the meeting at 7:55 pm.

Directors' Roundtable

Directors provided updates to the Board.

Director Lefebvre presented Qualicum First Nation Chief Recalma with a framed copy of the City of Parksville's Proclamation recognizing the culture, heritage and diversity of indigenous people in Canada and the City's friendship with Qualicum First Nation.

IN CAMERA

It was moved and seconded that pursuant to Sections 90 (1) (g) and (m) of the *Community Charter* the Committee proceed to an In Camera meeting for discussions related to litigation and intergovernmental relations.

CARRIED UNANIMOUSLY

TIME: 8:06 PM

ADJOURNMENT

It was moved and seconded that this meeting be adjourned.

CARRIED UNANIMOUSLY

TIME: 8:20 PM

CHAIR

CORPORATE OFFICER

REGIONAL DISTRICT OF NANAIMO

MINUTES OF THE ELECTORAL AREA SERVICES COMMITTEE MEETING

Tuesday, July 11, 2017

4:00 P.M.

RDN Board Chambers

In Attendance:	Director J. Stanhope	Chair
	Director A. McPherson	Electoral Area A
	Director H. Houle	Electoral Area B
	Director M. Young	Electoral Area C
	Director B. Rogers	Electoral Area E
	Director J. Fell	Electoral Area F
	Alternate	
	Director M. Recalma	Electoral Area H
Regrets:	Director W. Veenhof	Electoral Area H
Also in Attendance:	P. Carlyle	Chief Administrative Officer
	R. Alexander	Gen. Mgr. Regional & Community Utilities
	G. Garbutt	Gen. Mgr. Strategic & Community Development
	W. Idema	Director of Finance
	W. Marshall	A/Gen Mgr. Parks & Recreation
	D. Trudeau	Gen. Mgr. Transportation & Emergency Planning Services
	T. Armet	Mgr. Building and Bylaw Services
	J. Hill	Mgr. Administrative Services
	J. Holm	Mgr. Current Planning
	J. Wilson	Mgr. Emergency Services
B. Ritter	Recording Secretary	

CALL TO ORDER

The Chair called the meeting to order and respectfully acknowledged the Coast Salish Nations on whose traditional territory the meeting took place.

APPROVAL OF THE AGENDA

It was moved and seconded that the agenda be approved as amended to include the correspondence on the addendum.

CARRIED UNANIMOUSLY

ADOPTION OF MINUTES

Electoral Area Services Committee Meeting - June 13, 2017

It was moved and seconded that the minutes of the Electoral Area Services Committee meeting held June 13, 2017, be adopted.

CARRIED UNANIMOUSLY

CORRESPONDENCE

It was moved and seconded that the following correspondence be received for information:

Stephanie and Mike Francis re Fairwinds Landing - Development Permit with Variance Application No. PL2016-188 and Lakes District and Schooner Cove Phased Development Agreement Amendment Agreement - 3521 Dolphin Drive, Electoral Area 'E'

Correspondence re Fairwinds Landing - Development Permit with Variance Application No. PL2016-188 and Lakes District and Schooner Cove Phased Development Agreement Amendment Agreement - 3521 Dolphin Drive, Electoral Area 'E'

CARRIED UNANIMOUSLY

COMMITTEE MINUTES

It was moved and seconded that the following minutes be received for information:

East Wellington / Pleasant Valley Parks and Open Space Advisory Committee Meeting - May 29, 2017

Electoral Area 'G' Parks and Open Space Advisory Committee Meeting - June 7, 2017

Electoral Area 'H' Parks and Open Space Advisory Committee Meeting - June 8, 2017

Nanoose Bay Parks and Open Space Advisory Committee Meeting - June 14, 2017

Nanoose Bay Parks and Open Space Advisory Committee Meeting - June 28, 2017

CARRIED UNANIMOUSLY

COMMITTEE RECOMMENDATIONS

East Wellington/Pleasant Valley Parks and Open Space Advisory Committee

Fireplace Stove from Anders and Dorrit's Community Park House

It was moved and seconded that Regional District of Nanaimo staff send a letter to the Chairman of the Mountain Fire Protection District Board of Trustees to request the possibility of the fireplace stove being stored in perpetuity at East Wellington Fire Hall as a community museum piece.

CARRIED UNANIMOUSLY

Electoral Area 'G' Parks and Open Space Advisory Committee

Dashwood Community Hall

It was moved and seconded that the demolition of the Dashwood Community Park Hall be postponed until a review and consultation with the community can be done.

CARRIED UNANIMOUSLY

Electoral Area 'H' Parks and Open Space Advisory Committee

Highway 19A Thames Creek Road Pullout Improvement Request

It was moved and seconded that no further action is to be taken regarding the request for the Regional District of Nanaimo to undertake improvements to the Thames Creek pullout on Highway 19A.

CARRIED UNANIMOUSLY

McColl Rd. Beach Access

It was moved and seconded that staff be directed to contact Ministry of Transportation and Infrastructure regarding encroachment onto the McColl Rd undeveloped Right of Way.

CARRIED UNANIMOUSLY

Nanoose Bay Parks and Open Space Advisory Committee

Natural Playgrounds

It was moved and seconded that staff be directed to provide a scoped concept report regarding natural playground equipment, budget and location around the Madrona area for the next Electoral Area 'E' Parks and Open Space Advisory Committee meeting.

CARRIED UNANIMOUSLY

Nanoose Road Community Park

It was moved and seconded that staff be directed to submit a request to Crown Lands to expand the potential uses for the Nanoose Road Community Park to include a dog park.

CARRIED UNANIMOUSLY

Snaw-Naw-As First Nation - Hul'q'umi'num Name New Community Park

It was moved and seconded that the Electoral Area 'E' Community Park on Oak Leaf Drive be named Es-hw Sme~nts Community Park. Pronunciation: Eshk-Sments.

CARRIED UNANIMOUSLY

PLANNING

Development Permit with Variance

Development Permit with Variance Application No. PL2016-188 and Lakes District and Schooner Cove Phased Development Agreement Amendment Agreement - 3521 Dolphin Drive, Electoral Area 'E'

Staff provided a presentation and overview of the application.

Leo Mariotto, the applicant's agent, spoke in support of the application.

Ian Porter of Seacliff Properties spoke in support of the application.

Stephanie Francis, local resident, spoke in opposition of the application.

John Tosney, local resident, spoke in opposition of the application.

It was moved and seconded that the Summary of the Public Information Meeting held on May 30, 2017, be received.

Opposed (1): Director Young

CARRIED

It was moved and seconded that the Board approve the Lakes District and Schooner Cove Phased Development Agreement Amendment Agreement to include changes primarily relating to the proposed waterfront boardwalk and pathway, maintenance of the multi-use pathway, timing and trigger mechanisms, the boat ramp, and fire protection as proposed in Attachment 13.

Opposed (1): Director Young

CARRIED

It was moved and seconded that the Board approve Development Permit with Variance No. PL2016-188 to permit the construction of a multi-residential and mixed use commercial development subject to the terms and conditions outlined in Attachments 2 to 7 and the variances outlined in Attachment 2.

Opposed (1): Director Young

CARRIED

It was moved and seconded that the Board direct staff to complete the required notification for Development Permit with Variance No. PL2016-188.

Opposed (1): Director Young

CARRIED

It was moved and seconded that the Board direct staff to send a letter to the Ministry of Transportation and Infrastructure advising them that it is the Regional District Nanaimo's expectation that Ministry of Transportation and Infrastructure will retain responsibility for new and existing sidewalks in the Lakes District and Schooner Cove as per Minister Stone's commitment of August 28, 2013.

Opposed (1): Director Young

CARRIED

Development Variance Permit

Development Variance Permit Application No. PL2017-059 - 2226 South Lake Road, Electoral Area 'H'

It was moved and seconded that the Board approve Development Variance Permit No. PL2017-059 to increase the maximum floor area on a single storey of a recreational residence from 70 m² to 105 m² subject to the terms and conditions outlined in Attachments 2 to 4.

CARRIED UNANIMOUSLY

It was moved and seconded that the Board direct staff to complete the required notification for Development Variance Permit No. PL2017-059.

CARRIED UNANIMOUSLY

Development Variance Permit Application No. PL2017-063 - 3036 Bay Road, Electoral Area 'H'

It was moved and seconded that the Board approve Development Variance Permit No. PL2017-063, subject to the terms and conditions outlined in Attachments 2 to 4, to:

- a) increase the maximum permitted floor area and increase the maximum permitted height to allow the construction of an accessory building and;
- b) reduce the maximum accessory building floor area for any additional accessory building, accessory water storage structure, or accessory wood storage structure.

CARRIED UNANIMOUSLY

It was moved and seconded that the Board direct staff to complete the required notification for Development Variance Permit No. PL2017-063.

CARRIED UNANIMOUSLY

Development Variance Permit Application No. PL2016-123 - Brynmarl Road, Electoral Area 'E'

It was moved and seconded that the Board approve Development Variance Permit No. PL2016-123 to reduce the setback from the natural boundary of the sea for a swimming pool and patio and reduce the setback from the interior side lot line for a patio subject to the terms and conditions outlined in Attachments 2 to 4.

CARRIED UNANIMOUSLY

It was moved and seconded that the Board direct staff to complete the required notification for Development Variance Permit No. PL2016-123.

CARRIED UNANIMOUSLY

Zoning Amendment

Zoning Amendment - File No. PL2017-089 - Electoral Areas 'A', 'C', 'E', 'G' and 'H' - Amendment Bylaw 500.410, 2017 - First and Second Reading; Amendment Bylaw 500.411, 2017 - First and Second Reading

It was moved and seconded that "Regional District of Nanaimo Land Use and Subdivision Amendment Bylaw No. 500.410, 2017" be introduced and read two times.

CARRIED UNANIMOUSLY

It was moved and seconded that the public hearing for "Regional District of Nanaimo Land Use and Subdivision Bylaw Amendment Bylaw No. 500.410, 2017" be waived and notice in accordance with Section 467 of the *Local Government Act* be given.

CARRIED UNANIMOUSLY

It was moved and seconded that "Regional District of Nanaimo Land Use and Subdivision Amendment Bylaw No. 500.411, 2017" be introduced and read two times.

CARRIED UNANIMOUSLY

It was moved and seconded that the public hearing for "Regional District of Nanaimo Land Use and Subdivision Bylaw Amendment Bylaw No. 500.411, 2017" be waived and notice in accordance with Section 467 of the *Local Government Act* be given.

CARRIED UNANIMOUSLY

MOTIONS FOR WHICH NOTICE HAS BEEN GIVEN

Amendment to Bylaw No. 1285

It was moved and seconded that staff be directed to draft amendments to Bylaw No. 1285 (Section 1.4 and Section 5 "Lot"); so as to enable land strata subdivision in harmony with that enabled by Bylaw No. 500.

CARRIED UNANIMOUSLY

NEW BUSINESS

Amendment to Bylaw No. 1285

It was moved and seconded that Bylaw No. 1285 be amended as follows: the maximum density requirement for Rural 1 (R-1) Zone be set at 2 Dwelling Units per lot; with the specification of 1 Dwelling Unit per hectare removed.

CARRIED UNANIMOUSLY

Directors' Forum

The Directors' Forum included discussions related to Electoral Area matters.

ADJOURNMENT

It was moved and seconded that the meeting be adjourned.

CARRIED UNANIMOUSLY

TIME: 5:55 PM

CHAIR

CORPORATE OFFICER

REGIONAL DISTRICT OF NANAIMO

MINUTES OF THE SOLID WASTE MANAGEMENT SELECT COMMITTEE MEETING

Monday, July 17, 2017

1:30 P.M.

Committee Room

In Attendance:	A. McPherson	Chair
	M. Young	Electoral Area C
	H. Houle	Electoral Area B
	J. Stanhope	Electoral Area G
	T. Westbroek	Town of Qualicum Beach
	B. McKay	City of Nanaimo
	J. Hong	City of Nanaimo
	J. Kipp	City of Nanaimo
Regrets:	M. Lefebvre	City of Parksville
Also in Attendance:	R. Alexander	General Manager, RCU
	L. Gardner	Manager Solid Waste Services
	M. Larson	Solid Waste Planner
	R. Graves	Recording Secretary

CALL TO ORDER

The Chair called the meeting to order and respectfully acknowledged the Coast Salish Nations on whose traditional territory the meeting took place.

APPROVAL OF THE AGENDA

It was moved and seconded that the agenda be approved as presented.

ADOPTION OF MINUTES**Solid Waste Management Select Committee Meeting - June 14, 2017**

It was moved and seconded that the minutes of the Solid Waste Management Select Committee meeting held June 14, 2017, be adopted.

INVITED PRESENTATIONS**Solid Waste Services Update**

It was moved and seconded that the Solid Waste Management Select Committee recommends that the attached Regional Solid Waste Advisory Committee motion on Zero Waste Recycling be forwarded to the City of Nanaimo council for their consideration prior to being brought forward to the Regional District of Nanaimo Board for possible inclusion in the Regional District of Nanaimo Solid Waste Management Plan.

Opposed (4): Director McPherson, Director Houle, Director Stanhope, and Director McKay

DEFEATED

It was moved and seconded that staff prepare a report on the Regional Solid Waste Advisory Committee Zero Waste Recycling motion. The staff report is to be provided at the next Solid Waste Management Select Committee meeting for further consideration of the following Regional Solid Waste Advisory Committee motion:

The Regional Solid Waste Advisory Committee recommends that the Board fund a non-profit enterprise to act as a research/recycling hub for recycling items currently not commercially marketable. The research/recycling hub would develop methods, markets and collaborations for items not currently easily recyclable, investigate barriers to recycling these items, and develop recycling programs that would ultimately benefit the Regional District of Nanaimo as a whole. Funding for the research/recycling hub would be set at \$300,000 annually over a 5 year pilot project.

Opposed (1): Director Young

CARRIED

Organics Processing Update

Staff provided Committee with a verbal presentation.

REPORTS

Contract Award - Regional Landfill Scale and Scale House Replacement

It was moved and seconded that the contract for the construction of the Regional Landfill scale and scale house be awarded to Island West Coast Development in the amount of \$498,301 and a total project cost of \$572,801.

NEW BUSINESS

ADJOURNMENT

It was moved and seconded that the meeting be adjourned.

Time: 3:29 pm

CHAIR

The general Grants-in-Aid programs is currently administered by the RDN as listed below:

Program/Committee	Meeting Frequency	Maximum Individual Grant Request	Annual Budget 2017
General grants up to \$5,000/Grant-in-Aid Advisory Committee	Two per year	\$5,000	\$6,100 (EA A, B, C) \$20,050 (PV, QB, EA E, F, G, H) \$32,360 returned to City of Nanaimo and \$1,485 to District of Lantzville for direct administration under their community grant programs
General grants greater than \$5,000/ RDN Board	November budget meeting or as received	N/A	Varies based on Board approvals

The Grants-in-Aid program is currently administered through an outdated Policy A1.28 which includes criteria for grant eligibility, as well as an application form and instructions. This policy is recommended to be repealed with a new policy No. A1.30. In addition to the 2017 \$60,000 base amount, individual non-profit organizations with requests over \$5,000 have often approached the Board directly for funding.

During the 2017 to 2021 Financial Plan process there were a number of community groups presenting directly over several months to the RDN Board with requests for larger grants. As a result, staff were asked to update the program process and criteria to ensure all requests are provided on a timely basis to the Board for the next year’s budget deliberations.

Staff recommend the following improvements to the general grants program to ensure a more consistent process for applications, to provide better information for all applicants and to streamline the application process. Under this program, the administrative burden to non-profit organizations will be decreased and more certainty will be provided for following year funding.

1. That all grant applications use the same application form and have the same criteria for review under Policy No. A1.30 regardless of dollar amount.
2. That grant applications must be received by the end of August in order to be considered.
3. That grant applications be considered through a Community Grants Committee application process once per year in September.
4. The Community Grants Committee will make recommendations to the Board.
5. That grants only be considered for registered non-profit organizations.
6. Applicants will be required to provide information relating to where else applications for funding have been made.

The revised community grant process will be as shown below:

Program/Committee	Deadline for Application	Meeting Frequency	Approval Process	Grant Distribution
Community Grants (all grant applications)/ Community Grants Committee	End of August for all levels of funding	Once per year, September	Board to provide preliminary approval in October, final approval with March budget bylaw	Funds paid subsequent to budget approval

Staff have reviewed community grant programs of other local governments and although there are many models in use, the one-time per year application process for non-profit organizations only with amounts included in the following year’s budgets is consistent with a number of other communities.

Under this process, the annual requisition collected on behalf of the City of Nanaimo and the District of Lantzville will continue to be returned to those communities for direct distribution through their grant programs. The RDN Board would be responsible for approval of community grant applications to the Regional District and costs would be allocated across all participants in the Regional District.

At the December 6, 2016 Board meeting, the following motion was brought forward from the Grants-in-Aid Committee and passed:

That staff be directed to provide a report in spring, 2017, with options for updating the Grants-in-Aid Policy to clarify ineligibility related to annual operating expenses.

The revised policy, application form and criteria attached include additional information on the grant criteria to provide guidance on what is considered annual operating expense vs: one-time or capital expense.

No change is recommended at this time to grants administered by the District 69 Community Justice Select Committee, EA ‘A’ Parks, Recreation and Culture Commission, D69 Recreation Commission, and the Northern Community Economic Development Select Committee.

Given the variety of grant programs offered by the RDN as well as member municipalities, staff also recommend a comprehensive review be included for 2018 work plans including member municipalities to streamline and standardize grant programs and reduce duplication of similar programs.

Notice of these changes will be provided to community groups that regularly apply for grants prior to August to allow them time to review their processes and submit applications. This process will not impact groups who receive funding through established service areas such as search and rescue, victim services and community justice.

ALTERNATIVES

1. Approve the new Community Grants Policy No. A1.30 and the new Community Grants Committee Terms of Reference and direct staff to add an overall review of RDN Community Grant programs to 2018 work plans to streamline and standardize the various existing grant services and to ensure consistency with member municipality Community Grant Programs.

2. Provide alternate direction to staff.

FINANCIAL IMPLICATIONS

The general Community Grants program is allocated to participants based on assessment with the dollar amount varying from year to year depending on the annual budget amount approved by the Board. Making the changes noted above to the policy will provide the Board with a more defined and standardized process and a single consolidated dollar amount for the requests to be considered at one time in conjunction with the fall budget approvals.

STRATEGIC PLAN IMPLICATIONS

Recognition and support of volunteer organizations is included within the “Focus on Relationships” priority of the Board 2016 – 2020 Strategic Plan. Making the application process more consistent and updating the Grants-in-Aid policy will provide community non-profit organizations with an easier and more clearly defined process.



Wendy Idema (widema@rdn.bc.ca)

June 1, 2017



Jacquie Hill (jhill@rdn.bc.ca)

Reviewed by:

- P. Carlyle, Chief Administrative Officer

Attachments

1. Draft Community Grants Policy A1.30
2. Community Grants Application Form
3. Community Grants Committee Terms of Reference



REGIONAL DISTRICT OF NANAIMO P O L I C Y

SUBJECT:	<i>Community Grants</i>	POLICY NO: A1.30 CROSS REF.:
EFFECTIVE DATE:	June 27, 2017	APPROVED BY: Board
REVISION DATE:		PAGE: 1 of 4

PURPOSE

To establish criteria for the Regional Board and the Community Grants Committee to evaluate community grant program requests.

POLICY

The Regional District of Nanaimo provides community grant funding in order to assist registered non-profit organizations to provide social programs and services that serve a local community or provide a regional benefit. The organization must provide a social enrichment service and demonstrate that the service fills a need in the community. It is the desire of the Regional District that organizations strive for financial independence, therefore financial need must be demonstrated and an application must be submitted in the form approved. Continuing support should not be anticipated.

A Community Grants Committee will be established to review applications for grants and make recommendations to the Board for applications to be considered in conjunction with the following year's budget. The Committee membership will be in accordance with the Community Grants Committee Terms of Reference.

GENERAL COMMUNITY GRANTS PROCEDURES

1. Grant applications are only considered from registered non-profit organizations.
2. Community Grants are supported for the following general uses:
 - (a) Requests showing a significant benefit to the Regional District or specific area within the Regional District including but not limited to:
 - promoting volunteer participation and citizen involvement;
 - the use of new approaches and techniques in the solution of community needs;
 - activities/programs that are accessible to a large portion of the community's residents such as special events;
 - (b) Start-up costs for new organizations or new programs;
 - (c) Volunteer training;
 - (d) Capital costs for equipment or improvements to organization owned facilities, this includes improvements that provide additional service to the community or that extend the life of the facility and may include permanent fixtures attached to the facility.

3. Community Grants are not available for:
 - (a) Annual operating expenses such as leases, rent, utility bills, insurance and office operating costs;
 - (b) Wages, salaries or other fees for service (remuneration);
 - (c) Capital improvements to rented or leased premises;
 - (d) Private enterprise.
4. The Regional District will advertise an opportunity to apply for Community Grants with a deadline of the last Friday in August. The Community Grants application form must be submitted in the form approved.
5. Applicants will be notified in writing as to whether or not their request has been successful and, if successful, the amount they will receive.
6. Successful recipients must notify the Regional District in writing once the grant monies have been spent and provide brief details on how the money was used. Future applications from recipients not fulfilling this requirement will be rejected.
7. Community Grant requests will be considered within the criteria under this policy and relative to the overall objectives of the programs and services provided by the Regional District.

Community Grants Criteria

The Regional District of Nanaimo awards grant funding to organizations to use for social programs and services in the Regional District. Grant applications are only considered from registered non-profit organizations that meet the following criteria.

1. Community Grants are for the following general uses:
 - (a) requests showing a significant benefit to the Regional District of Nanaimo or a specific area within the Regional District including, but not limited to:
 - the promotion of volunteer participation and citizen involvement;
 - the use of new approaches and techniques in the solution of community needs;
 - activities/programs which are accessible to a large portion of the community's residents such as special events;
 - (b) start-up costs for new organizations or new programs;
 - (c) one-time costs for a specific program or project such as supplies or equipment;
 - (d) volunteer training;
 - (e) capital costs for equipment or improvements to organization owned facilities, this includes improvements that provide additional service to the community or that extend the life of the facility and may include permanent fixtures attached to the facility.
2. To be eligible for grant funding the organization must:
 - (a) be a registered non-profit organization;
 - (b) be a local organization within the Regional District of Nanaimo;
 - (c) demonstrate that the grant request is for a specific service or use, and will provide a social enrichment service to the community;
 - (d) demonstrate that the service provided fills a need in the community.
3. In addition to the completed Community Grants application form, the applicant must also provide the following information for the organization with the application package:
 - (a) current year budget;
 - (b) full financial statements for its operation;
 - (c) details regarding the specific use for the grant funds requested, and a breakdown of all expenses for the use of the grant;
 - (d) information regarding other sources of funding and other grant applications that have been made.
4. The following services and/or functions are not eligible for community grant funding:
 - (a) annual operating expenses such as leases, rent, utility bills, insurance and office operating costs;
 - (b) wages, salaries or other fees for service (remuneration);
 - (c) capital improvements to rented or leased premises;
 - (d) private enterprise.
5. Applications received after the deadline will not be accepted and will be returned to the applicant.
6. Applications that do not meet the criteria will not be recommended for approval.



COMMUNITY GRANTS PROGRAM APPLICATION

NAME OF ORGANIZATION		GRANT AMOUNT REQUESTED	
MAILING ADDRESS			
POSTAL CODE		CONTACT PERSON	
EMAIL ADDRESS		TELEPHONE NUMBER	

PLEASE REVIEW THE COMMUNITY GRANTS CRITERIA OUTLINED ON THE LAST PAGE OF THIS FORM. DOES YOUR ORGANIZATION MEET THE CRITERIA FOR THIS PROGRAM?	YES <input type="checkbox"/>	NO <input type="checkbox"/>
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IMPORTANT: If your organization meets the Community Grants criteria, and if you can answer 'yes' to the following four questions, please proceed to complete this application for submission.

Are you a registered non-profit organization in good standing?	YES <input type="checkbox"/>	NO <input type="checkbox"/>
Does your organization provide a social enrichment service to the community?	YES <input type="checkbox"/>	NO <input type="checkbox"/>
Does the project fill a need in the community?	YES <input type="checkbox"/>	NO <input type="checkbox"/>
Does the project promote volunteer participation and citizen involvement?	YES <input type="checkbox"/>	NO <input type="checkbox"/>

Application Submission Requirements

Please provide the following information. Items 1 through 14 are mandatory requirements for consideration of the application. Please attach additional pages with corresponding question numbers if more space is required.

1. Provide information about the programs and services offered to the community by your organization.

2. Provide information regarding your organization's revenue generating activities and other sources of income.

3. Does your organization own its own facility? YES NO

Grant Request Information:

4. Describe the project that this grant is intended to be used for.

5. Provide the project start and end date.

Start Date:

End Date:

6. Describe the benefit of the project for the residents fo the Regional District.

7. How many people does your organization anticipate will attend, benefit or participate in this project?

8. Describe how the project will promote volunteer participation and citizen involvement. Include a description of the types of roles the volunteers will undertake.

9. Provide details of how the grant funding will be used and a breakdown of expenses.

10. Provide information regarding revenues and fees that will be charged for the event or program (if applicable).

11. Provide details regarding all other sources of funding for this project including financial contributions and any grants received, or applied for, from other sources, i.e. other municipalities, levels of government or service organizations.

Budget Information – please provide the following information as separate attachments:

- 12. Provide a copy of your organization’s current year budget. Attached
- 13. Provide a copy of your organization’s latest financial statement. Attached
- 14. Provide an annual report for your organization, if applicable. Attached N/A

Applications received that are incomplete, that do not meet the criteria, or are received after the deadline will not be considered. Please check to ensure that you have provided all information and details as requested in this application prior to submission.

SIGNATURE	DATE
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Please submit your organization’s completed application to:

Finance Department
 Regional District of Nanaimo
 6300 Hammond Bay Road, Nanaimo, BC V9T 6N2
 Telephone: 250-390-4111 or toll free 1-877-607-4111, Fax: 250-390-6572
 Email: corpsrv@rdn.bc.ca

Please Note: The Regional District of Nanaimo is subject to the provisions of the *Freedom of Information and Protection of Privacy Act* and cannot guarantee that information provided can or will be held in confidence.

Community Grants Criteria

The Regional District of Nanaimo awards grant funding to organizations to use for social programs and services in the Regional District. Grant applications are only considered from registered non-profit organizations that meet the following criteria.

1. Community Grants are for the following general uses:
 - (a) requests showing a significant benefit to the Regional District of Nanaimo or a specific area within the Regional District including, but not limited to:
 - the promotion of volunteer participation and citizen involvement;
 - the use of new approaches and techniques in the solution of community needs;
 - activities/programs which are accessible to a large portion of the community's residents such as special events;
 - (b) start-up costs for new organizations or new programs;
 - (c) one-time costs for a specific program or project such as supplies or equipment;
 - (d) volunteer training;
 - (e) capital costs for equipment or improvements to organization owned facilities, this includes improvements that provide additional service to the community or that extend the life of the facility and may include permanent fixtures attached to the facility.
2. To be eligible for grant funding the organization must:
 - (a) be a registered non-profit organization;
 - (b) be a local organization within the Regional District of Nanaimo;
 - (c) demonstrate that the grant request is for a specific service or use, and will provide a social enrichment service to the community;
 - (d) demonstrate that the service provided fills a need in the community.
3. In addition to the completed Community Grants application form, the applicant must also provide the following information for the organization with the application package:
 - (a) current year budget;
 - (b) full financial statements for its operation;
 - (c) details regarding the specific use for the grant funds requested, and a breakdown of all expenses for the use of the grant;
 - (d) information regarding other sources of funding and other grant applications that have been made.
4. The following services and/or functions are not eligible for community grant funding:
 - (a) annual operating expenses such as leases, rent, utility bills, insurance and office operating costs;
 - (b) wages, salaries or other fees for service (remuneration);
 - (c) capital improvements to rented or leased premises;
 - (d) private enterprise.
5. Applications received after the deadline will not be accepted and will be returned to the applicant.
6. Applications that do not meet the criteria will not be recommended for approval.

REGIONAL DISTRICT OF NANAIMO

**COMMUNITY GRANTS COMMITTEE
TERMS OF REFERENCE**

June 2017

PURPOSE:

The role of the Community Grants Committee is to review grant applications received from registered non-profit organizations in the Regional District of Nanaimo (RDN), once a year, and make recommendations to the RDN Board. (See RDN Board Policy No. A1.30)

COMMITTEE ROLES AND RESPONSIBILITIES:

The Community Grants Committee will meet to review and provide comments and recommendations to the RDN Board of Directors concerning individual Community Grant applications received from registered non-profit organizations that provide a social enrichment service to the community.

Applications are submitted for grants as per the approved RDN Community Grants Policy.

MEMBERSHIP:

- The Committee is comprised of three RDN directors from the RDN Board.
- The Committee members and Chair will be appointed annually by the RDN Board Chair.

MEETINGS:

- The Committee will meet annually in October.
- A quorum of two of the Committee membership is required to conduct Committee business.
- Staff will be assigned to support the Committee including the coordination of agendas, minutes and staff contacts for Committee members.

Identifying the appropriate comparable regional districts will be an important component of the consultant's research. A review of data from other regional districts (RDs) throughout the province provides few other RDs that have similar population, budget and complexity of services that are necessary for a suitable comparison. Therefore, including both RDs and municipalities as comparators would provide a more fulsome picture of the local government sector.

The following list of local governments is similar to one which has been used recently by the Capital Regional District (CRD) as comparators. This list contains comparators that the consultant could use in their review of the RDN's Directors' remuneration.

Capital Regional District	City of Kamloops
Regional District of Central Okanagan	City of Kelowna
Cowichan Valley Regional District	Township of Langley
Fraser Valley Regional District	City of Nanaimo
Metro Vancouver Regional District	District of North Vancouver
City of Abbotsford	City of Richmond
City of Coquitlam	District of Saanich
Corporation of Delta	City of Victoria

There are extensive hours required by RDN Directors to fulfil the responsibilities of their office. Bylaw No. 1317 provides for supplemental remuneration for Electoral Area Directors in recognition of the additional responsibilities of these Directors. Bylaw No. 1317 also provides for office equipment and internet services for Electoral Area Directors. The draft Terms of Reference directs the consultant to ensure that recommendations appropriately reflect the work of the Directors and the need to attract a broad range of candidates in the 2018 election.

As Directors are aware, the 2017 Federal budget proposes to:

“Remove the tax exemptions for non-accountable expense allowances paid to members of provincial and territorial legislative assemblies and to certain municipal office-holders.”

The consultant will be requested to consider opportunities to mitigate this loss, whether through increased remuneration or other enhanced perquisites.

ALTERNATIVES

1. That the attached Terms of Reference for the independent review of the Regional District of Nanaimo's Directors' remuneration by an independent consultant be approved.
2. That alternate direction be provided.

FINANCIAL IMPLICATIONS

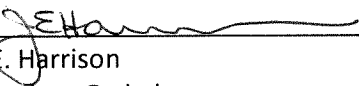
The 2017 Budget includes \$20,000 for the Directors' remuneration review.

STRATEGIC PLAN IMPLICATIONS

Governing Principles

Have Vision and Courage - an increasingly unpredictable future will require courage to take bold actions to realize our vision for a resilient region.

Show Fiscal Restraint - through enhanced financial planning, the Board will ensure long term viability of the RDN through prudent use of tax dollars, delivering services expected by residents of the Region as cost effectively as possible.



J.E. Harrison
jharrison@rdn.bc.ca
June 19, 2017

Reviewed by:

- P. Carlyle, Chief Administrative Officer

Attachments

1. Terms of Reference for Directors' Remuneration Review

**Directors' Remuneration Review
Terms of Reference**

Scope of Service

The RDN requires the following elements as part of the service to be provided:

1. Comparison of base remuneration from comparator group as follows:

Capital Regional District	City of Kamloops
Regional District of Central Okanagan	City of Kelowna
Cowichan Valley Regional District	Township of Langley
Fraser Valley Regional District	City of Nanaimo
Metro Vancouver Regional District	District of North Vancouver
City of Abbotsford	City of Richmond
City of Coquitlam	District of Saanich
Corporation of Delta	City of Victoria

2. Comparison of supplemental remuneration for Regional District electoral area directors from the comparator group.
3. Comparison of benefits provided in other local governments such as medical, dental, extended health, MSP premiums, vehicle allowance, short term disability, pension, insurance coverage, travel insurance, severance, hospitality, etc.
4. Comparison of other perquisites provided in other local governments such as per diem, incidentals, travel expenses, computer, printer, cell phone, internet connection, office supplies, local government association fees and membership dues, municipal publications, childcare, eldercare, etc.
5. Options for compensating for the future loss of the one-third tax free provision.
6. Recommendations to the Board that ensure fair compensation for responsibilities of both municipal and electoral area Directors and recognize the need to attract a broad range of candidates in future Regional District of Nanaimo elections.

Current Bylaws and policies attached for information:

1. Regional District of Nanaimo Board and Committee Member Remuneration, Expenses and Benefits Bylaw No. 1078
2. Regional District of Nanaimo Board Remuneration and Expenses (Electoral Areas Only) Bylaw No. 1317
3. Policy A1.15 - Fax Machines & Personal Computers for Board Members
4. Policy A2-01 – Board Expenses

REGIONAL DISTRICT OF NANAIMO

BYLAW NO. 1078

(consolidated for convenience only to include up to 1078.08)

**A BYLAW TO AUTHORIZE THE PAYMENT OF
REMUNERATION AND EXPENSES TO
DIRECTORS, ALTERNATE DIRECTORS
AND COMMITTEE MEMBERS**

WHEREAS Section 780 of the Municipal Act provides that a Board may by bylaw, provide for the remuneration, expenses and benefits of directors and committee members;

NOW THEREFORE, the Board of the Regional District of Nanaimo, in open meeting assembled, enacts as follows:

1. This bylaw may be cited for all purposes as "Regional District of Nanaimo Board and Committee Member Remuneration, Expenses and Benefits Bylaw No. 1078, 1997".
2. In this bylaw unless the context otherwise requires:

"Act" means the Municipal Act.

"Advisory Committee" means an Advisory Committee or Commission appointed by the Board, which includes at least one Board member, but does not include a Standing or Select Committee.

"Director" means a person appointed or elected to the Board as a Director and includes the Chairperson and Vice Chairperson but does not include an Alternate Director.

"Alternate Director" means a person appointed as an Alternate Director pursuant to the Municipal Act.

"Commission" means a commission appointed by the Board under Section 176(1)(g) of the *Local Government Act*.

"Committee Member" means a member of the public appointed by the Board to an Advisory Standing Committee or Commission as established by the Board, or to the Regional District of Nanaimo Board of Variance.

"Local Interest Group" means an advocacy group which does not exist outside of the Regional District of Nanaimo, whose membership consists primarily of residents and/or property owners of the Regional District, whose primary purpose is to provide educational material and resources related to its establishing purposes, to residents of the District and which does not act as or provide any commercial or business activities on a regular basis.

"Public Information Meeting" means a meeting scheduled pursuant to the "Coordinated Public Consultation/Communication Framework 2000" Policy.

"Scheduled Standing Committee" means a liaison committee of one as identified in the "Regional District of Nanaimo Board Procedure Bylaw No. 1512, 2006".

"Select Committee" means a Select Committee appointed under Section 795 of the *Local Government Act* comprised solely of Board members.

"Standing Committee" means a Standing Committee appointed by the Chairperson under Section 795 of the *Local Government Act* comprised solely of Board members.

3. Directors elected or appointed to the Board do so with the understanding that they will participate fully in the business of the Board. The remuneration rates established in this bylaw reflect the work of an elected member and members are expected to attend all regularly scheduled meetings unless there are extenuating circumstances.
4. The remuneration for Directors is established according to Schedule 'A' to this bylaw. Remuneration rates are effective commencing the pay period following the annual inaugural Board meeting.
5. One third of all remuneration paid pursuant to Schedule 'A' shall be considered to be an allowance for expenses incidental to the discharge of the duties of office other than those described under Section 6 and 7 of this bylaw.
6. In addition to the remuneration paid in Schedule 'A', the following expenditures made or expenses incurred by a Director or Alternate Director when the Director or Alternate Director is representing the Regional District, engaged in Regional District business or attending a meeting, course or convention in connection with the business of the Regional District, will be paid by the Regional District, at cost, including applicable taxes, unless otherwise specified, for:
 - (a) For transportation as described in Sections 6(b), (c), (g), (h) and (j), reimbursement will be only for the most direct and/or economical means of transportation.
 - (b) Mileage accumulated on a Director's or Alternate Director's own motor vehicle at the rate prescribed in Schedule 'B', incurred for:
 - (i) attendance at Regular or Special Board meetings.
 - (ii) attendance at Standing or Select Committee meetings.
 - (iii) attendance at seminars, conferences or conventions.
 - (iv) attendance at Public Hearings held pursuant to Section 956 of the Act.

- (v) attendance at Public Hearings called for by the Board for any other purpose.
- (vi) Attendance at Public Information meetings called for by the Board for any purpose.
- (vii) attendance at meetings outside of the members jurisdiction pursuant to a request from Regional District staff.
- (viii) attendance at public meetings arranged by the AVICC, UBCM, LGMA or other levels of Government.
- (ix) attendance at other meetings outside of the Director's electoral jurisdiction when appointed by the Board or the Board Chair to represent the Board.

but for greater clarity does not include:

mileage incurred within a Director's electoral or municipal area jurisdiction, including but not limited to neighbourhood association or residents association meetings or official ceremonies unless specifically authorized by the Board to attend the meeting on behalf of the Board.

- (x) for Alternate Electoral Area Directors, reimbursement is provided for mileage accumulated on their own vehicle for attendance at meetings in the absence of the elected Director when staff are in attendance at the meeting.
- (c) For the Chairperson, in addition to amounts reimbursed under 5(b), mileage accumulated on his/her own motor vehicle at the rate prescribed in Schedule 'B' for travel while representing the District or engaged in Regional District business.
- (d) Accommodation for a Director or Alternate Director based on single occupancy, at a facility most convenient to the location of the seminar, convention or meeting.
- (e) Accommodation for a Director or Alternate Director and their spouse/partner at a facility most convenient to the location of the annual UBCM and AVIM conventions.
- (f) For the Director of Electoral Area 'B', where returning home on the same day from a Board or Standing or Select Committee meeting is not possible as a result of the duration of the meeting, accommodation based on single occupancy and breakfast at the rate prescribed in Schedule 'B'.

- (g) Return airfare for trips based on single economy fare:
- (i) for Electoral Area Directors or Alternate Electoral Area Directors to attend the Union of British Columbia Municipalities annual convention;
 - (ii) for the Chairperson and authorized Board members to attend the Federation of Canadian Municipalities annual convention;
 - (iii) for Directors or Alternate Directors, with prior Board approval, and in all cases for the Chairperson to travel to Victoria or the Lower Mainland for purposes related to Regional District business in addition to subparagraph (i);
 - (iv) for Directors and/or the Chairperson for purposes of urgent Regional District business and attendance at administrative, tribunal or court proceedings related to the Regional District.
- (h) Ferry fares for vehicle and one driver or one foot passenger;
- (i) Taxis or shuttle bus rides;
- (j) Rental motor vehicles;
- (k) Parking fees;
- (l) Long distance telephone charges for calls on Regional District business.
- (m) Meal allowances at the rates prescribed in Schedule 'B' will be paid to Directors and Alternate Directors while attending a meeting, a course or a convention as a representative of the Regional District, excluding the cost of any meal provided as part of the cost of registration to a meeting, convention or seminar;
- (n) For meal expenses incurred by the Chairperson, not to exceed the rates prescribed in Schedule 'B' times the number of persons in attendance, or the actual expense, whichever is less;
- (o) For meal expenses incurred by a Director or Alternate Director at the rate prescribed in Schedule 'B' where consecutive Board or Standing or Select Committee meetings make returning home for a meal impractical; and
- (p) Registration fees for conventions/seminars will be paid for Directors or Alternate Directors only.

7. Where a Board member uses a personal vehicle to drive to an annual conference location to which there is scheduled air service the following shall be used to calculate the maximum payable to the Board member in lieu of air travel. The amount payable shall be the lesser of:

The actual cost for:

Kilometers to/from event location x current mileage rate plus

Car and driver ferry fare plus

Hotel parking fees

or

Single economy airfare based on 21 days advance booking plus

Kilometers driven to/from departure airport x current mileage rates plus

Airport parking fees at departure airport plus

Estimated taxi fares to/from airport at event location.

8. Mileage or travel expenses including ferry expenses, incurred by a Committee member or Alternate Committee member while engaged in Regional District business related to the attendance at an Advisory Committee, Commission or Board of Variance meeting will be paid by the Regional District at cost, including applicable taxes, as provided for in Schedule 'B'.
9. The provisions of Sections 6 and 7 shall be administered by the Manager of Accounting Services of the Regional District of Nanaimo who shall be responsible for the application of its provisions and the review and adjudication of expense claims submitted. In the event of a conflict of interpretation, the matter shall be referred to an Administrative Committee comprised of the Treasurer, the Chief Administrative Officer, and the Chairperson of the Board. Where this Committee is unable to resolve the conflict to the satisfaction of the Director, the matter shall be referred to the Board for adjudication.
10. (a) Directors and Alternate Directors are, subject to insurance carrier requirements, eligible for medical, extended health, dental and group life insurance benefits for themselves and their dependents on the same basis that the Regional District provides those benefits to its employees;
- (b) The Regional District may obtain and pay the premiums for accident insurance coverage for Directors and Alternate Directors while on Regional District business;
- (c) All premiums for insurance under Section 10 (a) shall be fully paid by Directors and Alternate Directors and not by the Regional District.

11. Bylaws 948, 948.01 and 948.02 are hereby repealed.

12. Schedules 'A' and 'B' are a part of and enforceable in the same manner as this bylaw.

Introduced and read three times this 11th day of February, 1997.

Adopted this 11th day of February, 1997.

CHAIRPERSON

SECRETARY

Chairperson

Sr. Mgr., Corporate Administration

SCHEDULE 'A'

1. Remuneration rates effective commencing the pay period following the Inaugural Board Meeting in each year shall be as follows:

	<u>Dec. 2014</u>	<u>Dec. 2015</u>	<u>Dec. 2016</u>	<u>Dec. 2017</u>
All Directors	\$11,855 plus CPI adjustment plus \$1,350	Prior year plus CPI adjustment	Prior year plus CPI adjustment	Prior year plus CPI adjustment
Chairperson – allowance	\$19,500	Prior year plus CPI adjustment	Prior year plus CPI adjustment	Prior year plus CPI adjustment

- (a) The base remuneration shall cover up to four regularly scheduled Board or Committee meetings, Ideas and Updates meetings and up to one additional informational seminar per month.

Note: CPI shall be based on the British Columbia Consumer Price Index as published at November 30th each year.

2. In addition to the remuneration rates shown at (1) above, there shall be paid the following rates:

Vice Chairperson of the Board	\$160 per meeting when acting as Chairperson of the Board
Committee Chairperson (Standing, Select, Advisory, Public Hearing or Public Information Meeting)	\$110 per meeting chaired
Committee Vice Chairperson (has the same meaning as Committee Chairperson)	\$85 per meeting chaired
Alternate Director	\$80 per meeting when attending in the regular Director's place
Select Committees	\$70 per meeting attended
Scheduled Standing Committees	\$70 per meeting attended
Advisory Standing Committees	\$70 per meeting attended
Public Hearings	\$70 per meeting attended
Public Information Meeting	\$70 per meeting attended
Other meetings	\$70 per meeting for Directors appointed by the Board or the Chairperson to represent the Regional District at other Regional District business meetings

- (a) Where a Committee meeting, Public Hearing, Public Information meeting or Other Business meeting, exceeds half a day or four hours in length, the per diem shall be \$110.
- (b) The Chair and/or a Director designated by the Chair shall receive a meeting per diem of \$110 when attending meetings with senior levels of government or when representing the Regional District at locations outside of the Regional District unless otherwise remunerated as a representative of another organization attending the meeting.
- (c) Meeting per diems shall be paid for sub-committee work only where the committee appointment is to an organization constituted under Provincial legislation or is directly related to the Regional District's service responsibilities.

3. The rates above shall be reviewed by a Committee appointed by the Board in the year of Local Government elections and any changes shall be effective from the pay period following the December inaugural Board meeting of that year.

Chairperson

Sr. Mgr., Corporate Administration

SCHEDULE 'B'

1. Meal Expenses

- a) Breakfast to a maximum of \$15.00 without a receipt
- b) Lunch to a maximum of \$20.00 without a receipt
- c) Dinner to a maximum of \$30.00 without a receipt

If a receipt is submitted, the actual cost will be reimbursed provided that:

- (i) The cost of the meal excluding taxes but not including a gratuity does not exceed the maximum cost under a), b) or c); and,
 - (ii) The gratuity if any, does not exceed 15% of the total meal cost including taxes.
- d) Where travel occurs outside of Canada the meal expense maximums shall be converted at prevailing exchange rates.
 - e) There will be no reimbursement for alcoholic beverages.

2. Overnight Travel

An overnight per diem of \$75 shall be paid to cover the costs of meals, gratuities and incidentals. This per diem shall be paid in lieu of the standard meal per diems above and receipts are not required.

3. Mileage

The mileage rate will be amended on January 1 of each year by an adjustment equal to the consumer price index for Vancouver Island (or equivalent) as at November 30 of the prior year.

Mileage rates will be reviewed in July each year for adjustments which may be warranted as a result of increased fuel costs over the preceding period.

REGIONAL DISTRICT OF NANAIMO

BYLAW NO. 1317

(Consolidated for convenience only to include up to 1317.04)

**A BYLAW TO AMEND THE SUPPLEMENTAL
REMUNERATION RATES FOR ELECTORAL AREA DIRECTORS**

WHEREAS Section 788 of the *Local Government Act* provides that a Board may by bylaw, provide for the remuneration, expenses and benefits of directors;

NOW THEREFORE, the Board of the Regional District of Nanaimo, in open meeting assembled, enacts as follows:

1. This bylaw may be cited for all purposes as "Regional District of Nanaimo Board Remuneration and Expenses (Electoral Areas Only) Bylaw No. 1317, 2002".

2. In this bylaw unless the context otherwise requires:

"**Act**" means the Local Government Act.

"**Electoral Area Director**" means a person appointed or elected to the Board as a Director from an unincorporated Electoral Area but does not include an Alternate Director.

"**Alternate Director**" means a person appointed as an Alternate Director to an Electoral Area Director pursuant to this bylaw and the Local Government Act.

"**Regional Allowance**" means an amount paid to an Electoral Area Director in addition to amounts authorized under "Regional District of Nanaimo Board and Committee Member Remuneration, Expenses and Benefits Bylaw No.1078".

3. The rate for the Regional Allowance for Electoral Area Directors is established according to Schedule 'A' to this bylaw.

4. One third of all remuneration paid pursuant to Section 1 shall be considered to be an allowance for expenses incidental to the discharge of the duties of office.

5. In addition to the remuneration paid in Section 1, the following expenditures made or expenses incurred by an Electoral Area Director will be paid by the Regional District, at cost, including applicable taxes, unless otherwise specified, for:

- a) Operating costs for fax machines and computer equipment, including, but not limited to paper supplies, printer cartridges and toner
- b) Installation and repair costs for fax machines and computer equipment
- c) Dedicated telephone lines for fax machines

- d) Internet service for the purposes of establishing e-mail accounts, such service to be the minimum required to establish a reasonable communications link with the Regional District of Nanaimo
- 6. The provisions of Sections 3 shall be administered by the Manager of Accounting Services of the Regional District of Nanaimo who shall be responsible for the application of its provisions and the review and adjudication of expense claims submitted. In the event of a conflict of interpretation, the matter shall be referred to an Administrative Committee comprised of the Treasurer, the Chief Administrative Officer and the Chairperson of the Board. Where this Committee is unable to resolve the conflict to the satisfaction of the Electoral Area Director, the matter shall be referred to the Board for adjudication.
- 7. Schedule 'A' is a part of and enforceable in the same manner as this bylaw.

Introduced and read three times this 13th day of August, 2002.

Adopted this 13th day of August, 2002.

CHAIRPERSON

GENERAL MANAGER CORPORATE SERVICES

Chairperson

Corporate Officer

SCHEDULE 'A'

1. Remuneration rates effective commencing the pay period following the Inaugural Board Meeting in each year shall be as follows:

	<u>Dec. 2014</u>	<u>Dec. 2015</u>	<u>Dec. 2016</u>	<u>Dec. 2017</u>
Regional Allowance – Electoral Areas only	\$10,985	Prior year plus CPI adjustment	Prior year plus CPI adjustment	Prior year plus CPI adjustment

Note: CPI shall be based on the British Columbia Consumer Price Index as published at November 30th each year.

2. The rates above shall be reviewed by a Committee appointed by the Board in the year of Local Government elections and any changes shall be effective from the pay period following the December inaugural Board meeting of that year.

Chairperson

Sr. Mgr., Corporate Administration

SCHEDULE 'B'

1. Meal Expenses

- a) Breakfast to a maximum of: \$15.00 without a receipt
- b) Lunch to a maximum of: \$20.00 without a receipt
- c) Dinner to a maximum of: \$30.00 without a receipt
- d) If a receipt is submitted, the actual cost will be reimbursed provided that:
 - (i) The cost of the meal excluding taxes but not including a gratuity does not exceed the maximum cost under a), b) or c); and,
 - (ii) The gratuity if any, does not exceed 15% of the total meal cost including taxes.
- e) Where travel occurs outside of Canada the meal expense maximums shall be converted at prevailing exchange rates.
- f) There will be no reimbursement for alcoholic beverages.

2. Overnight Travel

An overnight per diem of \$75 shall be paid to cover the costs of meals, gratuities and incidentals. This per diem shall be paid in lieu of the standard meal per diems above and receipts are not required.

3. Mileage

The mileage rate will be amended on January 1st of each year by an adjustment equal to the consumer price index for Vancouver Island (or equivalent) as at November 30th of the prior year.

Mileage rates will be reviewed in July each year for further adjustment which may be warranted as a result of increased fuel costs over the preceding period.

4. Extended Health, Dental and MSP Premiums

The extended health, dental and MSP premiums will be paid for any Electoral Area Director who requests this coverage.

REGIONAL DISTRICT OF NANAIMO

POLICY

SUBJECT: <i>Fax Machines & Personal Computers for Board Members</i>	POLICY NO: A1.15 CROSS REF.:
EFFECTIVE DATE: May 10, 1994	APPROVED BY: Board
REVISION DATE: October 12, 1999 January 14, 2003 August 26, 2008	April 10, 2001 July 2005 March 2010 PAGE: 1 of 2

PURPOSE

To establish the terms and conditions for providing fax machines and personal computers to Board members.

POLICY

1. Fax Machines

At the request of a Director, the Regional District will provide a fax machine to the Director for use in their residence for the purpose of carrying on Regional District business during their term of office. The Regional District will pay, or reimburse Directors, for the cost of installation, setup and maintenance of the equipment, as required. The Regional District shall where requested provide paper, supplies and toner cartridges necessary for the operation of the fax machine for Regional District business only or reimburse a Director for the out of pocket cost of such supplies.

Fax machines will not be provided to Alternate Directors.

2. Dedicated Fax Line

The Regional District will pay, or reimburse Directors, for the cost of installation and setup of a dedicated fax line for Directors who have fax machines in their residence. A monthly allowance for the cost of the dedicated fax line shall be provided on or about the first day of the month.

In order to mitigate Director long distance charges, the Regional District shall provide a 1-800 fax line for the use of the Directors only. The 1-800 number shall not to be made available to the general public.

3. Personal Computers

Upon initial election an Electoral Area Director shall have the option to have the Regional District provide a desktop computer, monitor and printer to the Director for use in their residence for the purpose of carrying on Regional District business during their term of office. The Regional District will pay for the initial installation, setup and maintenance costs as required and shall where requested provide paper for Regional District business only or reimburse a Director for the out of pocket cost of such supplies.

Desktop computers will include basic word processing and internet/email communication software. The Regional District will contract with a local service provider for hardware and software support. Desktop computers will not be provided to Alternate Directors.

At the option of a Director, upon initial election, the Director may choose to receive a taxable cash allowance of \$2,000 for the purchase of computer/printer equipment.

Where a Director is re-elected to a further term, a taxable cash allowance of \$2,000 shall be paid on January 1 in the year following the election. The Regional District shall have no further responsibility for the repair or upgrading of computer/printer/fax equipment beyond a Director's first term of office.

4. Internet Service

The Regional District will pay, or reimburse Electoral Area Directors, for the cost of installation and setup of internet access (high speed where available) for Electoral Area Directors who have desktop computers in their residence. An allowance for the monthly cost of basic internet service shall be provided on or about the first day of the month.

5. Mobile Telecommunication Devices

At the option of an Electoral Area Director, the Regional District will either provide the Director with a Blackberry or a monthly allowance of \$50 as reimbursement for a mobile telecommunication device. The allowance shall be provided on or about the first day of the month.

6. Annual Eligibility for Communication Services Allowances

In December of each year a Director shall report on request which types of communication services are in use by the Director. The monthly allowances shall be amended in accordance with that report commencing January 1 of each calendar year.

7. Equipment disposition at the end of a Director's term of office

In consideration of the extensive use of fax machines and computer/printer equipment during a term of office, any equipment purchased by a Director using a cash allowance or supplied by the Regional District to a Director as outlined in this policy, shall remain the property of the Director once they are no longer holding office.

8. Non-Taxable Benefit

Where the Regional District purchases and provides fax machines and personal computers under this Policy in order to provide a benefit to the Regional District, the equipment is deemed to be a non-taxable benefit in accordance with Canada Customs and Revenue Agency rules and regulations.

Cash allowances provided under this policy shall be treated as taxable benefits in accordance with Canada Customs and Revenue Agency rules and regulations.

REGIONAL DISTRICT OF NANAIMO

P O L I C Y

SUBJECT:	<i>Board Expenses</i>	POLICY NO:	A2.1
		CROSS REF.:	
EFFECTIVE DATE:	June 22, 1982	APPROVED BY:	Board
REVISION DATE:	May 12, 1987 March 14, 1989 September 11, 1990 June 14, 1994 October 11, 1994	PAGE:	1 of 1

PURPOSE

To describe the requirements for submitting expense claims pursuant to "Regional District of Nanaimo Board and Committee Members Remuneration Expenses and Benefits Bylaw No. 948, 1994".

POLICY

Detailed receipts will be required for the following expenses:

1. **Meals** - except when claiming the per diem rate, a receipt detailing meal costs and the names of the persons attending the meal.
2. **Transportation** - for all means of transportation excluding personal vehicle mileage.
3. **Accommodation** - except when paid by/billed to the Regional District.
4. **Parking costs**
5. **Long distance telephone charges**
6. **Conference/Seminar registration fees** - except when paid by/billed to the Regional District.

CLAIMS PROCEDURE

Mileage - Claims shall be submitted on the Regional District standard mileage claim form at the end of the month in which expenses were incurred.

Conventions/Seminars/Other - Claims may be submitted immediately subsequent to the Director's/ Alternate Director's return using the Regional District standard expense claim form.

All expense claims will be processed following regular accounts payment procedures.

Expense claims shall be deemed payable only if submitted within 90 days of the month end in which they are incurred. No claim for a previous year will be paid if submitted after February 15th of the following year.

ALTERNATIVES

1. Provide three readings to Bylaw No. 1762 and Bylaw No. 1763 as presented.
2. That the Board provide alternative direction.

FINANCIAL IMPLICATIONS

The 2017-2021 Financial Plan includes the borrowing and the repayment of the debt for the secondary treatment capital project. The City of Nanaimo and the District of Lantzville are the participants in the Southern Community Sewer Local Service.

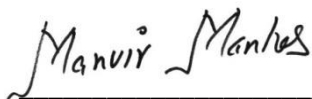
The loan authorization bylaw was issued for \$48 million. The project construction is currently underway and based on the cash flow projections \$15 million is estimated to be spent in 2017.

The Regional District of Nanaimo has applied for \$6 million in grant funding from the Strategic Priorities Fund under the Gas Tax funding programs. Any grant funding that becomes available will be used to reduce future borrowing on this project.

The interest rates are anticipated to increase in the near future. Borrowing long term this fall while interest rates are still low will help in securing a lower interest rate for the next ten years. The Financial Plan anticipates an interest rate of 3.5%; however, it is likely that the Municipal Finance Authority will be able to borrow at a lower rate. Assuming an actual interest rate of 3.0%, annual debt servicing payments would be \$1,008,235 combined for interest and principal.

STRATEGIC PLAN IMPLICATIONS

Borrowing at a time of reduced interest rates reflects the governing principle to “Show Fiscal Restraint” through financial planning to provide services to the community at a cost effective manner as possible.



Manvir Manhas
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June 20, 2017

Reviewed by:

- T. Moore, Acting Director of Finance
- P. Carlyle, Chief Administrative Officer

Attachments

1. Bylaw 1762
2. Bylaw 1763

REGIONAL DISTRICT OF NANAIMO

BYLAW NO. 1762

**A BYLAW TO AUTHORIZE THE ENTERING INTO OF AN
AGREEMENT RESPECTING FINANCING BETWEEN THE
REGIONAL DISTRICT OF NANAIMO (THE "REGIONAL
DISTRICT") AND THE MUNICIPAL FINANCE AUTHORITY
OF BRITISH COLUMBIA (THE "AUTHORITY")**

WHEREAS the Authority may provide financing of capital requirements for regional districts and for their member municipalities by the issue of debentures, or other evidence of indebtedness of the Authority and lending the proceeds therefrom to the Regional District on whose request the financing is undertaken;

AND WHEREAS, pursuant to the provisions of Section 411 of the *Local Government Act*, the amount of borrowing authorized by the following Loan Authorization Bylaw, the amount already borrowed under the authority thereof, the amount of authorization to borrow remaining thereunder and the amount being issued under the authority thereof by this bylaw is as follows:

Regional District	L/A Bylaw No.	Purpose	Amount Borrowing Authorized	Amount Already Borrowed	Borrowing Authority Remaining	Term of Issue (Yrs.)	Amount of Issue
Nanaimo	1756	Southern Community Sewer Local Service Secondary Treatment Capital Improvements	\$48,000,000	Nil	\$48,000,000	20	\$15,000,000

Total Financing pursuant to Section 411

\$15,000,000

AND WHEREAS the Regional Board, by this bylaw, hereby requests that such financing shall be undertaken through the Authority;

NOW THEREFORE, the Regional Board of the Regional District of Nanaimo, in open meeting assembled, enacts as follows:

1. The Authority is hereby requested and authorized to finance from time to time the aforesaid undertakings at the sole cost and on behalf of the Nanaimo Regional District and its municipalities hereinbefore referred to, in Canadian Dollars or in such other currency or currencies as the Authority shall determine so that the amount realized does not exceed Fifteen Million Dollars (\$15,000,000) in Canadian Dollars and/or the equivalent thereto and at such interest and with such discounts or premiums and expenses as the Authority may deem consistent with the suitability of the money market for sale of securities of the Authority.
2. Upon completion by the Authority of financing undertaken pursuant hereto, the Chair and Director of Finance of the Regional District, on behalf of the Regional District and under its seal shall, at such time or times as the Trustees of the Authority may request, enter into and deliver to the Authority one or more agreements which said agreement or agreements shall be substantially in the form annexed hereto as Schedule 'A' and made part of this bylaw (such agreement or agreements as may be entered into, delivered or substituted hereinafter referred to as the "Agreement") providing for payment by the Regional District to the Authority of the amounts required to meet the obligations of the Authority with respect to its borrowings undertaken pursuant hereto, which Agreement shall rank as debenture debt of the Regional District.
3. The Agreement in the form of Schedule 'A' shall be dated and payable in the principal amount or amounts of money in Canadian Dollars or as the Authority shall determine and subject to the *Local Government Act*, in such other currency or currencies as shall be borrowed by the Authority pursuant to Section 1 and shall set out the schedule of repayment of the principal amount together with interest on unpaid amounts as shall be determined by the Treasurer of the Authority.
4. The obligations incurred under the said Agreement shall bear interest from a date specified therein, which date shall be determined by the Treasurer of the Authority and shall bear interest at a rate to be determined by the Treasurer of the Authority.
5. The Agreement shall be sealed with the seal of the Regional District and shall bear the signatures of the Chair and Director of Finance.
6. The obligations incurred under the said Agreement as to both principal and interest shall be payable at the Head Office of the Authority in Victoria and at such time or times as shall be determined by the Treasurer of the Authority.
7. If during the currency of the obligations incurred under the said Agreement to secure borrowings in respect of Southern Community Sewer Local Service Secondary Treatment Capital Improvements Loan Authorization Bylaw No. 1756, the anticipated revenues accruing to the Regional District from the operation of the said Southern Community Sewer Local Service are at any time insufficient to meet the annual payment of interest and the repayment of principal in any year, there shall be requisitioned an amount sufficient to meet such insufficiency.

8. The Regional District shall provide and pay over to the Authority such sums as are required to discharge its obligations in accordance with the terms of the Agreement, provided however that if the sums provided for in the Agreement are not sufficient to meet the obligations of the Authority, and deficiency in meeting such obligations shall be a liability of the Regional District to the Authority and the Regional District shall make provision to discharge such liability.
9. At the request of the Treasurer of the Authority and pursuant to Section 15 of the *Municipal Finance Authority Act*, the Regional District shall pay over to the Authority such sums and execute and deliver such promissory notes as are required pursuant to said Section 15 of the *Municipal Finance Authority Act*, to form part of the Debt Reserve Fund established by the Authority in connection with the financing undertaken by the Authority on behalf of the Regional District pursuant to the Agreement.
10. This bylaw may be cited as "Southern Community Sewer Local Service Secondary Treatment Capital Improvements Security Issuing Bylaw No. 1762, 2017".

Introduced and read three times this _____ day of _____, 2017.

Adopted this _____ day of _____, 2017.

CHAIR

CORPORATE OFFICER

Schedule 'A' to accompany "Southern
Community Sewer Local Service Secondary
Treatment Capital Improvements Security
Issuing Bylaw No. 1762, 2017".

Chair

Corporate Officer

C A N A D A
PROVINCE OF BRITISH COLUMBIA

AGREEMENT
REGIONAL DISTRICT OF NANAIMO

The Regional District of Nanaimo (the "Regional District") hereby promises to pay to the Municipal Finance Authority of British Columbia (the "Authority") at its Head Office in Victoria, British Columbia, the sum of _____ in lawful money of Canada, together with interest thereon from the _____, at varying rates of interest, calculated semi-annually in each and every year during the currency of this Agreement; and payments of principal and interest shall be as specified in the table appearing on the reverse hereof commencing on the _____, provided that in the event the payments of principal and interest hereunder are insufficient to satisfy the obligations of the Authority undertaken on behalf of the Regional District, the Regional District shall pay over to the Authority such further sums as are sufficient to discharge the obligations of the Regional District to the Authority.

Dated at _____ British Columbia, this ____ of _____, 20__.

IN TESTIMONY WHEREOF and under the authority of Bylaw No. 1762 cited as "Southern Community Sewer Local Service Secondary Treatment Capital Improvements Security Issuing Bylaw No. 1762, 2017", this Agreement is sealed with the Corporate Seal of the Regional District and signed by the Chair and the Director of Finance thereof.

Chair

Director of Finance

Pursuant to the *Local Government Act*, I certify that the within Agreement has been lawfully and validly made and issued and that its validity is not open to question on any ground whatever in any court of the Province of British Columbia.

Dated this ____ day of _____, 20__.

Inspector of Municipalities of British Columbia

REGIONAL DISTRICT OF NANAIMO

BYLAW NO. 1763

**A BYLAW TO AUTHORIZE TEMPORARY BORROWING
OF MONEY PENDING THE ISSUANCE OF SECURITIES
WHICH HAVE BEEN AUTHORIZED**

WHEREAS pursuant to Section 409 of the *Local Government Act* a regional district may, where it has adopted a loan authorization bylaw, borrow temporarily without further assents or approvals, from any person under the conditions therein set out;

AND WHEREAS by "Southern Community Sewer Local Service Secondary Treatment Capital Improvements Loan Authorization Bylaw No. 1756, 2017" ("Bylaw No. 1756"), the Board of the Regional District of Nanaimo was authorized to borrow upon the credit of the Regional District a sum not exceeding \$48,000,000.00 for the purpose of undertaking and carrying out the secondary treatment capital improvement and upgrades requirements to the sewage collection, treatment and disposal system of the Greater Nanaimo Pollution Control Centre;

AND WHEREAS the remaining authorized borrowing power under the said Bylaw No. 1756 stands at \$48,000,000.00;

AND WHEREAS the Board wishes to borrow temporarily before entering into long term debt;

NOW THEREFORE, the Board of the Regional District of Nanaimo, in open meeting assembled, enacts as follows:

1. The Board of the Regional District of Nanaimo is hereby authorized and empowered to borrow temporarily from any person or body corporate, sums not exceeding \$15,000,000.00 solely for the purposes specified in Bylaw No. 1756.
2. The form of obligations, to be given to the lender in acknowledgement of the liability of the said Regional District Board shall be a promissory note, or notes, bearing the Corporate Seal of the Regional District of Nanaimo and signed by the Chair and Director of Finance of the Regional District.
3. The proceeds from the sale of debentures or so much thereof as may be necessary shall be used to repay the money so borrowed.
4. This bylaw may be cited as "Southern Community Sewer Local Service Secondary Treatment Capital Improvements Interim Financing Bylaw No. 1763, 2017".

Introduced and read three times this _____ day of _____, 2017.

Adopted this _____ day of _____, 2017.

CHAIR

CORPORATE OFFICER

Findings from the Research Report indicate that 98% of residents across all the communities of District 69 view recreation opportunities as important. Residents view recreational opportunities important at an individual level but they also the value and attractiveness these opportunities bring to the region overall.

Overall satisfaction with recreation services and facilities in District 69 is 80%. This has increased from 67% in 2006 when the last master plan was developed.

Reasons for participating in recreation activities vary but predominantly are for: health and exercise, entertainment, relaxation and time with family and friends. Barriers that limit participation of District 69 residents have also been identified. The top six barriers to participation in descending order are: lack of facilities, age/health issues, inconvenient times, location of facilities, cost and lack of time.

BACKGROUND

The Draft State of Recreation in District 69 (Oceanside) Research Report provides the research findings in the areas of: facility inventory, recreation programming, operation and utilization of key RDN facilities and programs, financial plan summaries, usage and participation by geographic area, accomplishments, trends and finally a summary with key findings.

In June 2016 the RDN Board approved the Terms of Reference for the District 69 (Oceanside) Recreation Services Master Plan. Deliverables within these terms included four areas that require particular attention (Ravensong Aquatic Centre expansion feasibility and demand, possible alternative uses for the District 69 Community Arena, demand and feasibility for an outdoor multi-sport complex, current and future demand for the District 69 Community Arena to operate as a curling club). These four items will be addressed in more detail in the draft of the Master Plan.

The key findings presented and summarized in the Executive Summary of Attachment 1 are based on information collected from: residents via a community survey, interview and discussion sessions with participants representing a variety of community organizations and a community group questionnaire. These findings as well as other information presented in the attachment will be further explored as recommendations and strategic directions are presented to the Board for approval.

RC Strategies + PERC (Consultant) Summary and Key Findings – Draft State of Recreation in District 69 (Oceanside) Research Report

Areas of Strength

Residents place a high value on recreational opportunities. Ninety-eight percent of respondents view recreation opportunities as important to their household's quality of life, community and attractiveness/appeal to the region.

An extensive number and variety of community organizations exist in the Oceanside area. Consultation findings suggest that most current organizations are successfully achieving their mandates and expect to remain viable into the future.

Overall satisfaction levels are high at 80%. Most notably pertaining to programming and customer service related functions.

While a "hub" facility (see *Specific Infrastructure Considerations and Issues* of the report for example) for recreation programming in District 69 does not exist, this circumstance has resulted in a number of successful partnerships, collaborations and a strong community level presence.

Strong maintenance and management practices are in place for RDN operated facilities and programming.

Operational roles and responsibilities between the RDN, municipalities within District 69, and community partner organizations are generally well understood and seamless.

The RDN has invested resources into the promotions and marketing of programs and opportunities.

Service Delivery Challenges

There is a level of demand among residents and community organizations for new and/or enhanced facility development. Fifty one percent of respondents believe there is a need for new or enhanced indoor space while 49% believe there is a need for new or enhanced outdoor space. It is unlikely that resources will exist to meet all (or most) demands.

The service area is diverse; the RDN will be required to determine appropriate levels of service provision within available resources.

A lack of youth “critical mass” was identified as a barrier to program provision and may impact the viability of executing new opportunities.

Some residents continue to face a variety of challenges that impact their ability to access recreation opportunities. A number of these challenges, in no particular priority or order, are complex and may be difficult to fully address (e.g. transportation, cost, and physical limitations).

Specific Infrastructure Considerations and Issues

Demand may exist for an indoor multi-purpose “hub” facility. Typically such a facility provides community space for a number of services ranging from recreational opportunities (pool, arena, community centre) to other community services such as library, community policing and local social services. The development of a facility of this nature would also align with observed trends in recreation provision and create efficiencies for the RDN and partner organizations. However, the benefits of developing this type of facility will need to be carefully weighed with the impacts on existing community infrastructure and resident accessibility.

The Ravensong Aquatic Centre remains a highly utilized and in demand recreation amenity. Resident survey findings reveal that Ravensong was the most utilized indoor recreation facility by District 69 residents. Utilization of the Aquatic Centre by survey respondents indicates that 64% of them used the facility at least once in the last 12 months with 37% of them making between 10 and 21+ visits in the last year. Consultation findings reflect that improvements to indoor aquatics are among the highest infrastructure priorities for residents and user groups. Sixty-five percent of those surveyed who feel new or enhanced indoor space is needed indicate it should be for indoor aquatics. However varying viewpoints exist on the best move forward approach to improve indoor aquatic provision in District 69 (e.g. enhancements to the existing facility vs. new development). The option(s) recommended by the Master Plan will need to take into account a variety of factors which include capital and operating costs, benefits, impacts on existing facilities and opportunities to address other identified recreational needs.

Although overall resident demand for an outdoor multipurpose or “multi-plex” type of sport facility (e.g. rubberized track, artificial turf field) is lower than some other facility types at 13%, demand for this type of facility among potential primary user groups is high. Thirty-six of the 60 community groups surveyed indicated a need for new or enhanced sport field and/or track and field facility. While it is likely that a facility of some type will be required at a point in the future, the Master Plan will need to further clarify

potential timing, site and amenity requirements and the overall financial impacts of developing such a facility in District 69.

In contrast to broader national trends, curling participation in the area is high at 10% and is experiencing continued growth. It is possible that there will be a community desire to sustain the current level of curling facility capacity (e.g. total number of curling sheets in the area).

Current indoor ice arena provision in District 69 appears to be sufficient as only 19% of those indicating a need for new or enhanced ice arena facilities.

While department operational and day to day roles and responsibilities of recreation services are well understood, less clarity exists around roles and responsibilities related to future facility planning and potential new development. Specifically, the role, partnerships and responsibilities of other local governments and the RDN within District 69 and local school district in the planning and provision of recreation infrastructure.

Trails and pathways are a significant leisure amenity for District 69 residents. While the provision of this amenity is not the responsibility of RDN Recreation Services, opportunities to provide input and add a recreational “lens” to planning and usage discussions led by RDN Parks Services should continue and be further enhanced.

As the Recreation Master Plan project moves through its fourth and final phase (draft and completion of final Plan), comment and input from both the District 69 Recreation Commission and Recreation Services Master Plan Advisory Committee on the attached report is sought.

Upon approval from the Board, both the Advisory Committee and Commission members would be provided a copy of the report on July 12, 2017 and it will be included as an item on the agendas of both groups’ future meetings. Discussion, comment and possible recommendation(s) for Board consideration would then occur and be considered in the draft of the District 69 Recreation Services Master Plan. Feedback on a draft of the Master Plan will include public open houses, web based community engagement and comment from the Recreation Services Master Plan Advisory Committee, District 69 Recreation Commission and stakeholders. All these feedback sessions will be occurring in October and November 2017.

ALTERNATIVES

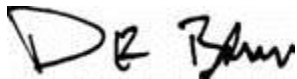
1. That the Draft State of Recreation in District 69 (Oceanside) Research Report be presented to the District 69 Recreation Commission and Recreation Services Master Plan Advisory Committee for information and comment prior to inclusion in the Master Plan as a reference document.
2. That the Draft State of Recreation in District 69 (Oceanside) Research Report be received and alternative direction be provided to staff on obtaining feedback from the District 69 Recreation Commission on the document.

FINANCIAL IMPLICATIONS

There are no financial implications. The State of Recreation in District 69 (Oceanside) Research Report is part of the development of the Recreation Services Master Plan for District 69 (Oceanside). This project was budgeted for in 2017 and approved through the current Five Year Financial Plan.

STRATEGIC PLAN IMPLICATIONS

Providing the Draft State of Recreation in District 69 (Oceanside) Research Report to both the District 69 Recreation Commission and Recreation Services Master Plan Advisory Committee is consistent with the Board's strategic priorities. Specifically in the areas of two way communication, partnership opportunities and recreational amenities as core services. Strategic plan implications are relevant both in the methods of how information such as community feedback should be collected as well as guiding the process to be followed when considering the report's findings.



Dean Banman
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June 26, 2017

Reviewed by:

- T. Osborne, General Manager, Recreation and Parks
- P. Carlyle, Chief Administrative Officer

Attachments

1. Draft State of Recreation in District 69 (Oceanside) Research Report

DISTRICT 69 (OCEANSIDE) RECREATION SERVICES MASTER PLAN

THE STATE OF RECREATION IN DISTRICT 69 (OCEANSIDE) RESEARCH REPORT

JULY 2017 (DRAFT)

DOCUMENT # 1 OF 2 (RECREATION SERVICES MASTER PLAN TO BE PRODUCED AS A SEPARATE DOCUMENT.)





EXECUTIVE SUMMARY

The State of Recreation in District 69 Research Report (contained herein) encompasses the research and engagement findings that will inform the new District 69 Recreation Services Master Plan. The findings provided in this report document are the product of numerous forms of research and engagement as outlined below.

While all of the research and engagement is important and will be considered in the development of the Master Plan, a number of key findings emerged and are summarized below.

SATE OF RECREATION REPORT: ENGAGEMENT INPUTS

Consultation Mechanism	Responses/ Participants
Resident Survey	1,687
Community Group Questionnaire	60
Stakeholder Interviews/ Discussions	29 <i>(interviews/discussion sessions)</i>

SATE OF RECREATION REPORT: OTHER RESEARCH INPUTS

- Trends and leading practices
- Strategic planning and policy documents (e.g. 2016 – 2020 RDN Board Strategic Plan).
- Data analysis (utilization, financial)
- Population and demographics
- Programming analysis
- Facility inventory

- Residents value recreation and understand the benefits that recreation services provide to both their household and the community in which they live. Sixty-nine percent (69%) of households indicated that recreation is “very important” to their household’s quality of life and 82% indicated that recreation is “very important” to the community in which they live.
- The majority (80%) of District 69 households expressed satisfaction with recreation services. This figure represents a 13% improvement from 2006.
- Operational and day-to-day roles and responsibilities are well understood between the RDN and its partners (e.g. community organizations, School District 69, local municipalities); however opportunities exist to further clarify roles and responsibilities related to future facility planning and potential new development.
- Key trends in recreation include: multi-use facilities, physical literacy, evolving nature of volunteerism, importance of partnerships, and social inclusion. The RDN is generally well aligned with these trends in the provision of recreation in District 69.
- Demographics and community characteristics are diverse across District 69. Residents and community organizations have an array of needs, demands and perspectives on recreation.

EXECUTIVE SUMMARY

Related to future recreation infrastructure needs in District 69, some demand exists for new or enhanced facilities. The resident survey found that 51% of households believe new or enhanced indoor recreation facilities are needed in District 69; while 49% believe new or enhanced parks and outdoor recreation facilities are needed. Of note, a fairly significant proportion of residents are “unsure” if new or enhanced facilities are needed (30% answered “unsure” for indoor facilities; 29% answered “unsure” for outdoor facilities). The adjacent charts present the ranked order of indoor and outdoor amenity priorities from the household survey.¹

It is also important to note that while this report document provides valuable information that will be critical to developing future strategic direction for recreation in District 69, the Master Plan will also need to consider a number of other factors such as available resources and capacity, timing, and existing service responsibilities (e.g. sustaining current infrastructure). The Master Plan will provide recommendations, tools, and options that will further priorities, potential projects, and initiatives.

Indoor Facility Priorities			
#	Type	Want New	Want Existing Enhanced
1	Indoor Swimming Pool	39%	26%
2	Health and Wellness/ Fitness Centre	35%	19%
3	Multi-purpose Recreation Facility	33%	14%
4	Performing Arts Centre	18%	16%
5	Teen/Youth Centre	22%	11%
6	Seniors Centre	14%	18%
7	Ice Arena	2%	17%

Outdoor Facility Priorities			
#	Type	Want New	Want Existing Enhanced
1	Walking/Hiking Trails	45%	39%
2	Natural Parks and Protected Areas	36%	32%
3	Picnic Areas and Passive Parks	27%	30%
4	Bicycle/Roller Blade Paths	31%	20%
5	Playgrounds	14%	20%
6	Track and Field Facility	13%	13%
7	Sport Fields	8%	15%

¹ Based only on the resident survey findings. Rank is based on the combined % of “want new” and “want existing enhanced”.



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ONE

INTRODUCTION AND PROJECT CONTEXT

INCLUDED IN THIS SECTION:

- Overview of District 69 Recreation (historical context and areas of responsibility).
- Project background and purpose.
- Overview of the project process and methodology being used to develop the updated Recreation Services Master Plan.

OVERVIEW: DISTRICT 69 RECREATION

The Regional District of Nanaimo (RDN) has delivered recreation services in District 69 since 1984. District 69 encompasses the City of Parksville, Town of Qualicum Beach and Electoral Areas E, F, G, and H. Guidance and recommendations are provided by the District 69 Recreation Commission which reports to the RDN Board of Directors. The following chart summarizes areas of responsibility for RDN recreation provision in District 69. **Note: Additional analysis of District 69 Recreation facility operations, utilization, and financial requirements is provided in Section 3.**

Function	Description
Major Facility Operations	The RDN directly operates Oceanside Place (includes 2 arenas, leisure ice, and program rooms) and the Ravensong Aquatic Centre.
Direct Recreation Programming	The RDN directly provides numerous recreation programs for children, youth, adults, and seniors in District 69 (under the Northern Community Recreation Program Services). The RDN currently utilizes a variety of community facilities for this programming which includes RDN operated facilities, decommissioned school buildings (Craig Street Commons, Qualicum Commons) and not-for-profit operated facilities.
Sports Field Bookings and Allocations	The RDN is responsible for the bookings and allocations of sport fields in Parksville and Qualicum Beach. <i>*The City of Parksville, Town of Qualicum Beach, and School District 69 are responsible for maintenance.</i>
Facilitation and In-Direct Provision	The RDN also facilitates recreation opportunities in a number of other ways, which include: <ul style="list-style-type: none">• Agreements with community organizations to provide programming in their communities.• Grants for community projects and initiatives• Provision of subsidized facility time to community organizations for programming and events (e.g. ice at Oceanside Place, pool time at the Ravensong Aquatic Centre)• Allocation of resources (staff and financial) to support programming offered by organizations (e.g. RDN staff fulfilling bookings and scheduling functions on behalf of community groups)• Ongoing facility lease arrangements with community organizations (Parksville Curling Club)

AN UPDATED RECREATION SERVICES MASTER PLAN

The RDN initiated the development of a new Recreation Services Master Plan for District 69 in the fall of 2016. The Master Plan will provide the RDN with a long-term strategic plan for the delivery of recreation opportunities in District 69 and will help guide future decision making and actions in a number of key areas including the management of current facilities, future infrastructure needs, and programming partnerships. The RDN last completed a Master Plan for District 69 Recreation in 2006, which provided valuable direction over the past decade in a number of areas and helped set priority initiatives (a number of which have been successfully executed upon). In some instances, the updated Master Plan will refresh and reset future priorities while also further embedding current practices that work well. Key areas of focus for the updated Master Plan include:

- Clarifying RDN roles and responsibilities for the provision of recreation (and related) opportunities in District 69.
- Identifying the future role of partnerships and collaborations in recreation provision.
- Identifying programming focus areas and tactics for addressing new and emerging trends.
- Identifying opportunities to optimize efficiency and the overall use of existing facilities.

The Master Plan is also tasked with providing guidance related to the following three (3) specific infrastructure issues.

1. Ravensong Aquatic Centre Expansion: demand and feasibility analysis
2. Outdoor Multi-Sport Complex: demand and feasibility analysis
3. District 69 Community Arena (curling facility):
 - a. current and future demand to operate as a curling facility; and
 - b. exploration of potential alternative use (if future demand/viability determined to be in question)

PROJECT PROCESS

Research and engagement is critical to the development of the updated District 69 Recreation Services Master Plan. The Master Plan project has been organized into four (4) distinct project phases as illustrated by the following graphic. **The information gathered and analyzed through Phases 1 – 3 of the project is summarized in this report document and will be used to inform the strategies and recommendations outlined in the Master Plan.** This approach ensures that the Master Plan is grounded in sound and well-rounded research and engagement and is ultimately reflective of community needs.



TWO

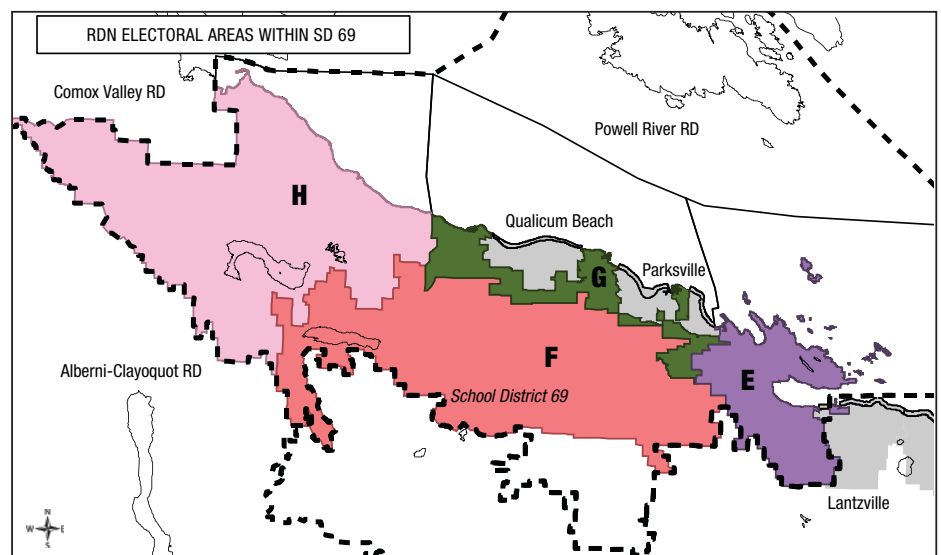
DISTRICT 69 (OCEANSIDE) OVERVIEW

INCLUDED IN THIS SECTION:

- Profile and overview of the District 69 (Oceanside) area.
- Analysis of key population characteristics and indicators.
- Inventory of recreation facilities in District 69.
- Overview of recreation programming in District 69.
- Planning review summary.

AREA PROFILE

District 69, commonly referred to as Oceanside, spans a linear oriented area on the eastern coast of Vancouver Island within the Regional District of Nanaimo. District 69 is located immediately north of the City of Nanaimo/Lantzville area and extends to the southern boundary of the Comox Valley Regional District. The region is known for its natural beauty and abundant outdoor recreational opportunities, which continues to attract both visitors and residents. The accompanying map provides a visual overview of District 69.



Also important to understand within the context of recreation planning and overall provision is that District 69 encompasses a diverse area which includes a mix of urban and rural communities. The following chart summarizes each of the jurisdictions (municipality or electoral area) included within District 69. As reflected in the chart, the total population of District 69 is 46,665 residents. This population figure represents approximately 30% of the RDN's overall population of 155,698.¹

Jurisdiction	Communities	Population (2016)
City of Parksville	Parksville	12,514
Town of Qualicum Beach	Qualicum Beach	8,943
Area E	Nanoose Bay	6,125
Area F	Errington, Coombs, Hilliers, Whiskey Creek, Meadowood	7,724
Area G	San Pareil, French Creek, Surfside, Dashwood	7,465
Area H	Qualicum Bay, Bowser, Deep Bay, Dunsmuir, Horne Lake, Spider Lake	3,884
Total		46,665

POPULATION AND DEMOGRAPHICS

Note: Complete 2016 Statistics Canada Census data is not currently available. As such, the majority of demographic and population characteristics data reflected is from the 2011 Statistics Canada Census.

As previously mentioned, the population of District 69 is 46,665 which is an increase of 5.0% since 2011. Each jurisdiction experienced growth over the past five years including a 10.7% increase in Area H, bringing its population up to 3,884. The Electoral Areas comprise 54% of District 69's population while the municipalities of Parksville and Qualicum Beach make up the remaining 46%.

Jurisdiction	Population (2016)	Percentage of District 69 Population	Percent Growth Since 2011
Parksville	12,514	27%	4.5%
Qualicum Beach	8,943	19%	2.9%
Area E (Nanoose Bay)	6,125	13%	7.9%
Area F (Errington, Coombs, Hilliers, Whiskey Creek, Meadowood)	7,724	17%	4.1%
Area G (San Pareil, French Creek, Surfside, Dashwood)	7,465	16%	4.3%
Area H (Qualicum Bay, Bowser, Deep Bay, Dunsmuir, Horne Lake, Spider Lake)	3,884	8%	10.7%
Total	46,665		

¹ Population figures from Statistics Canada, 2016 Census of the Population.

Population Growth Scenarios

Three rudimentary growth scenarios are presented below to show that there is a possibility of having to provide recreation services to over 50,000 residents by 2026. The scenarios are based on previous growth increases. For example, from 2011 to 2016, the average annual increase in population was 1.0%; if this rate were to be applied to the next ten years, the 2026 population would be 51,536.

Growth Scenario	Annual Growth	Scenario Based on Growth Experienced From	Projected District 69 Population in 2026
High	1.8%	2001 to 2011	55,767
Moderate	1.6%	2001 to 2016	54,681
Low	1.0%	2011 to 2016	51,536

Age Distribution

Based on the 2011 Census Profile, District 69 has lower proportions of people in each age segment under 50 years old compared to the province as whole (39% of District 69's population is under the age of 50 compared to 62% in BC). Nearly two-thirds (61%) of District 69's population is above the age of 50 and the 60 – 69 age category is District 69's largest (21%).²

Age Category	District 69 (2011) ²	BC (2011)
Age 0 – 4 Years	3%	5%
Age 5 – 9 Years	3%	5%
Age 10 – 19 Years	9%	12%
Age 20 – 29 Years	6%	13%
Age 30 – 39 Years	7%	13%
Age 40 – 49 Years	11%	15%
Age 50 – 59 Years	17%	15%
Age 60 – 69 Years	21%	11%
Age 70 – 79 Years	14%	7%
Age 80+ Years	9%	4%

² 2011 Census Profile does not include age distribution data for Area H.

Immigration (2001 – 2011)

From 2001 to 2011, District 69 received an influx of 820 immigrants which totaled 1.9% of the population in 2011. Area E received the highest percentage of immigrants (3.5%) while Area G received the least (0.8%).

Jurisdiction	Percentage of Population that Immigrated from 2001 to 2011
Parksville	1.9%
Qualicum Beach	1.8%
Area E	3.5%
Area F	1.2%
Area G	0.8%
Area H	3.4%
District 69	1.9%

Household Income and Unemployment Rate (2011)

Area E has the highest median after-tax household income (\$61,854) while Area F has the lowest (\$41,161) followed by Area H (\$44,661). District 69's unemployment rate is 7.8%.³

Jurisdiction	Median After-Tax Household Income	Unemployment Rate
Parksville	46,207	8.9%
Qualicum Beach	51,236	6.8%
Area E	61,854	7.0%
Area F	44,161	6.5%
Area G	55,137	10.1%
Area H	44,661	6.3%
District 69	50,543	7.8%

³ 50,543 is the average median after-tax household income of each jurisdiction.

Renters and Spending on Shelter Costs (2011)

Area F and Parksville have the highest percentage of renters (24% and 22% respectively). Area F has the highest percentage of households that spend 30% or more of their household income on shelter costs (32%).

Jurisdiction	Percentage of Households that are Rented	Percentage of Households that Spend 30% or More of Household Income on Shelter Costs
Parksville	22%	26%
Qualicum Beach	10%	17%
Area E	9%	21%
Area F	24%	32%
Area G	8%	22%
Area H	20%	24%
District 69	16%	24%

Active Transportation Commuters (2011)

Of those who commute to a usual workplace, 7.8% of District 69 commuters do so by way of walking or cycling. Ten percent of commuters in Parksville and Qualicum Beach bike or walk to work.

Jurisdiction	Percentage of Commuters that Walk or Bike to Work
Parksville	10.4%
Qualicum Beach	10.1%
Area E	6.0%
Area F	6.0%
Area G	7.5%
Area H	3.5%
District 69	7.8%



FACILITY INVENTORY

The RDN operates two major indoor recreation facilities; Oceanside Place and the Ravensong Aquatic Centre. Identified as follows is an overview of the main amenity spaces at each facility.

Oceanside Place	Ravensong Aquatic Centre
<ul style="list-style-type: none"> • 2 regulation size ice arenas • Leisure skating area • Multipurpose program room • Lobby space and customer service desk (registration point for RDN programming) 	<ul style="list-style-type: none"> • 6 lane program tank • Leisure swimming pool • Sauna • Steam room • Whirl pool • Lobby space and customer service desk (registration point for RDN programming) <p><i>* Located adjacent to the Qualicum Beach Civic Centre (Town operated facility).</i></p>

Also located throughout District 69 are numerous community and recreation facilities that provide valuable space for programs, activities and events offered by community organizations and the Regional District of Nanaimo. In some instances, the RDN provides financial or in-kind support for facilities (e.g. assistance with promotions, staff resources).

Presented in the chart below is an overview of **publically provided** (RDN, municipal or community organization operated) recreation and related infrastructure in District 69.

Indoor

Facility/Amenity Type	Location(s)	# of Facility/Amenity Type in District 69
Indoor Ice Arenas	• Parksville (Oceanside Place)	2 (indoor ice sheets)
Indoor Aquatic Facilities	• Qualicum Beach (Ravensong Aquatic Centre)	1
Community Type Gymnasium Spaces^A	<ul style="list-style-type: none"> • Parksville (Parksville Community and Conference Centre, Craig Street Commons) • Qualicum Beach (Civic Centre, Qualicum Commons) • Area E (Nanoose Place) • Area H (Lighthouse Community Centre) 	6
Curling Facilities	<ul style="list-style-type: none"> • Parksville (Parksville Curling Club, 5 ice sheets) • Qualicum Beach (Qualicum and District Curling Club, 4 ice sheets) 	2 (facilities) 9 (total sheets of ice)
Multi-Purpose Program Spaces (including halls)	<ul style="list-style-type: none"> • Parksville (Parksville Community and Conference Centre, Craig Street Commons, Oceanside Place, Parksville Society of Organized Services, Shelly Road Centre) • Qualicum Beach (Civic Centre, Qualicum Commons, Community Hall) • Area E (Nanoose Place) • Area F (Errington War Memorial Hall, Bradley Centre, Arrowsmith Hall, Coombs Rodeo Hall) • Area G (Little Qualicum Hall) • Area H (Lighthouse Community Centre/Qualicum Bay Lions Hall) 	15 (facility locations) ^B

Indoor (Continued)

Facility/Amenity Type	Location(s)	# of Facility/Amenity Type in District 69
Indoor Lawn Bowling Facilities	• Qualicum Beach (Qualicum Beach Lawn Bowling Club)	1
Dedicated Visual Arts Facilities	• Parksville (Oceanside Community Art Gallery) • Qualicum Beach (The Old School House)	2
Performing Arts Facilities	• Parksville (Chrysler Theatre- Parksville Community and Conference Centre) • Qualicum Beach (E.C.H.O. Village Players Theatre)	2

A Not including operational school facilities which have varying levels of community gymnasium access.

B A number of the 15 locations identified have multiple program rooms and spaces. Does not include school classroom spaces that can be booked for some programs and classes.

Outdoor

Facility/Amenity Type	Location(s)	# of Facility/Amenity Type in District 69
Sports Field Sites (playfields and ball diamonds)	• Parksville (Community Park, Springwood Park, Ballenas Secondary, Craig Street Commons, Winchelsea Elementary) • Qualicum Beach (Community Park, Kwalikum Secondary, Qualicum Middle School, Arrowview Elementary, Qualicum Beach Elementary) • Area E (Jack Bagley Field) • Area F (French Creek Community School) • Area G (Errington Elementary, Oceanside Middle School) • Area H (Bowser Elementary)	16 total sites: 3 major/multi-field sport field sites (Parksville Community Park, Qualicum Beach Community Park, Springwood Park) 13 school sites with sport fields (including the Jack Bagley Field) ^C
Lacrosse Boxes	• Parksville (Community Park)	1
Skateboard Parks	• Parksville (Community Park) • Qualicum Beach (Community Park)	2
Tennis Courts	• Parksville (Springwood Park: 6 courts; Community Park: 2 courts) ^D • Qualicum Beach (3 courts) • Area H (Bowser: 4 courts)	14
Track and Field Spaces	• Parksville (Ballenas Secondary School)	1 ^E

C School fields have varying levels of public use due to size of field, condition or lack of amenities.

D The court spaces at Ballenas Secondary School have been re-surfaced for multi-use and are no longer available for tennis (lines and nets have been removed).

E While included in the inventory, it is notable that the track is not rubberized or of regulation size.

In addition to the facilities identified in the charts above, there exists a number of playground and cement sport court spaces (e.g. basketball courts) located throughout District 69. The continued growth of pickleball has also resulted in a number of the above spaces being adapted to accommodate this emerging sport. The Lacrosse Box in the Parksville Community Park is used for pickleball and a number of the tennis court sites identified in the chart now have pickleball lines on selected courts. The area also includes an abundance of trails and pathways, community parks, and natural space areas which contribute to recreation and leisure opportunities.

Private Sector and Regional Provision

The private sector and other municipalities in the Nanaimo region also provide recreation facilities and amenities that are accessed by District 69 residents. Identified in the following chart are major recreation facility and amenity types that are not currently provided by the RDN or not-for-profit organizations in District 69, but are available locally or regionally through private sector providers or municipalities located outside of District 69.

Facility/Amenity Type	Other Local Providers/Regional Provision
Indoor Artificial Turf Field Facility	• Arbutus Meadows (located in Area E of District 69)
Outdoor Artificial Turf Fields	• Provided by the City of Nanaimo (Merle Logan and Beban fields)
Fitness Centres	<ul style="list-style-type: none"> • Private facilities and studios are located throughout the study area and broader region. • Public facilities provided in Nanaimo by the City of Nanaimo
Major Aquatics Facility (50 metre program tank, specialty leisure aquatics amenities)	• Provided by the City of Nanaimo (Nanaimo Aquatic Centre)
Major Track and Field Facility (rubberized track, support amenities)	• Provided by the City of Nanaimo (Rotary Bowl recently transferred to the City)



RECREATION PROGRAMMING

Programs by Service Area

In 2015, the RDN provided 243 programs in District 69 including 40 at Oceanside Place (skating) and 57 at the Ravensong Aquatic Centre (swimming). RDN staff directly delivers programs, events, and services through its service area called Northern Community Recreation Program Services. 146 programs were offered through this service area in 2015 and 119 were offered in 2016.

2015 Program Statistics		
RDN Service Area	Programs	Registrations
Oceanside Place	40	690 ^F
Ravensong Aquatic Centre	57	2,539
Northern Community Recreation Services	146	6,444
Total	243	9,673

^F RDN programming only. Does not include programs offered by youth or adult sport organizations.

Northern Community Recreation Program Services

As seen in the chart above, 146 programs were offered by the RDN (Northern Community Recreation Program Services) in 2015. This number increased from 96 programs offered in the previous year. Opportunities are available for residents of all age groups within the six District 69 jurisdictions such as sports and fitness, arts and crafts, and summer camps. This service area also coordinates the delivery of the financial assistance program and inclusions services and manages the service agreement for the provision of recreation opportunities provided in Area F by the Arrowsmith Community Recreation Association.



Events

The RDN hosts or provides assistance to a variety of events and awareness weeks. Examples include Active Aging Week, Qualicum Beach Day, Qualicum Beach Family Day, Kite Festival, Kidfest, Terry Fox Run, Youth Week, Hi Neighbour Day, Nanoose Family Day, Volunteer Week, Storybook Village, and Winter Wonderland.

Financial Assistance Program

The Financial Assistance Program is available for low-income residents who live in District 69 and want to participate in recreation programs. Over 100 households received access to department programs and facilities in 2015, with the majority being for public swim admissions. This program is provided in collaboration with the Society of Organized Services (SOS) as the RDN and SOS offer complementary programs and refer clients to each other depending on eligibility.

Inclusion Services

At no charge to the participant, the RDN provides inclusion services to ensure that all people have the opportunity to participate in programs. This service focuses on including people with disabilities in the general recreation programs provided. The most requested programs have been swimming, skating, and summer camps. In 2015, over 1,000 hours of inclusion service was provided to 25 individuals. Support workers are accommodated with free registration or admission when directly working with a client.

Arrowsmith Community Recreation Association

Area F programs are provided by the Arrowsmith Community Recreation Association and supported by the RDN. There are three part-time program coordinators that work with members of the community to develop and deliver local programs and events. Each program is community-driven and flexible to accommodate the needs of Area F residents. Most of the opportunities take place at Errington Hall, Coombs Fairgrounds, Bradley Centre, and Errington Elementary School.

Free Admission

Children 3 years and under and adults 80 years and older receive free admission at Oceanside Place Arena and Ravensong Aquatic Centre.

Leaders in Training

Leaders In Training is a program for youth to develop leadership skills through training and volunteer experience. Workshops are provided in leadership, teamwork, and child management along with 45 volunteer hours in RDN summer camps and events. In 2015, a total of 51 youth were trained for leadership volunteer opportunities, each completing 16 hours of training and totaling a combined 1,575 hours of volunteering.

Program Types

A variety of program offerings are available to residents in District 69. The following chart provides an overview of current program offerings by typology and age category using the most recent Active Living Guide published by the RDN (Spring/Summer 2017). As reflected in the chart, introductory and recreational sport, education and skill development, aquatic safety, and arts and culture programs are available for each age category. Aquatic fitness is only available for adults and seniors and more specialized sport training opportunities are only offered for youth via specific sport camps. However, it is important to note that the identification of these gaps does not necessarily suggest that additional programming is required. Other factors to consider in this regard include the appropriateness of programming (e.g. does the age category warrant programming based on the Canadian Sport for Life framework), demand, and facility availability.

Program Type	Preschool	Children	Youth	Adults and Seniors
Introductory Sport/ Recreational Sport	✓	✓	✓	✓
Fitness (classes excluding aquatics)			✓	✓
Fitness (aquatics)				✓
Sport Training			✓	
Aquatics Safety	✓	✓	✓	✓
Arts and Culture	✓	✓	✓	✓
Education and Skill Development	✓	✓	✓	✓
Nature Education		✓	✓	✓

PLANNING REVIEW

The consulting team reviewed a number of previous RDN planning and guiding documents that are pertinent to recreation in District 69. Reviewing these background documents is important in order to ensure that the updated Master Plan leverages previous data and takes into account the historical context for recreation service delivery in District 69. Summarized below are the documents that were reviewed.

- Regional District of Nanaimo Board Strategic Plan 2016 – 2020
- Recreation Services Master Plan for Oceanside (2006)
- RDN 2014 Community Survey
- Ravensong Aquatic Centre Expansion Update (2013)
- District 69 Arena (Parksville Curling Club) Building Assessment (2014)
- District 69 Track and Field Facility Feasibility Study (2008)
- RDN Operational and Efficiency Review and Recommendation Worksheets (2015)
- Youth Recreation Strategic Plan (2011 – 2016)
- Recreation Program Rationale Checklist (2013)
- District 69 Fees and Charges Report (2014)

The following documents developed by the City of Parksville and Town of Qualicum Beach were also reviewed.

- City of Parksville Vision, Mission, and Core Values (2015)
- Qualicum Beach Vision Statement (2011)

The planning review also included the following provincial and national frameworks and guiding documents. Reviewing and identifying these documents reflects an understanding of broader leading practices and perspectives in the delivery of recreation opportunities.

- A Framework for Recreation in Canada 2015: Pathways to Wellbeing
- Active People, Active Places—BC Physical Activity Strategy (2015)
- The Way Forward—A Strategic Plan for the Parks, Recreation, and Culture Sector of BC (2008)
- Canadian Sport for Life (CS4L) and Long Term Athlete Development (LTAD)



THREE

OPERATIONS AND UTILIZATION ANALYSIS

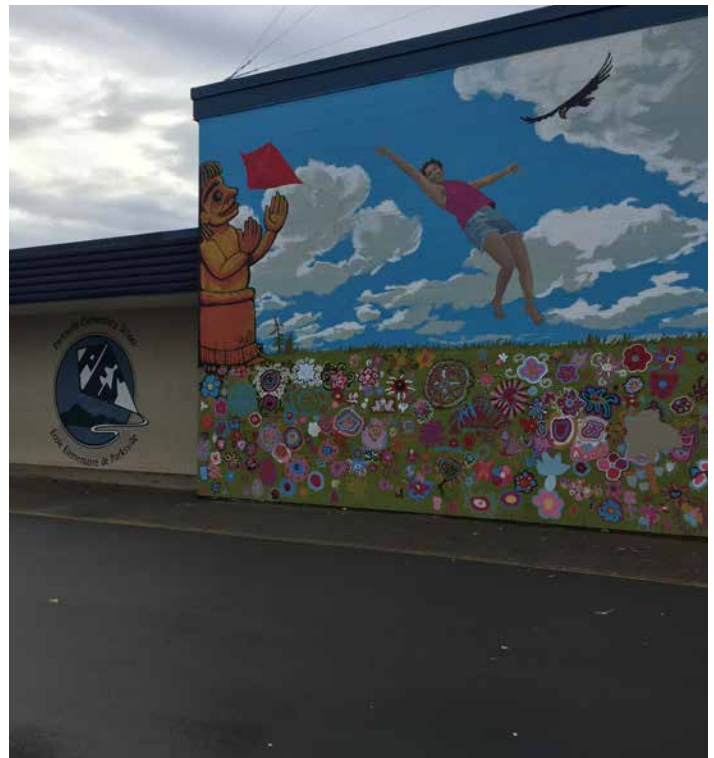
INCLUDED IN THIS SECTION:

- Utilization analysis for Oceanside Place and the Ravensong Aquatic Centre.
- Financial overview of major District 69 Recreation functions (annual operating cost analysis).

The RDN directly manages the following recreation services in District 69:

- Oceanside Place
- Ravensong Aquatic Centre
- Northern Community Recreation Program Services

Current and projected financials are presented for each service area as they have their own budgets. Operating expenditures and revenues are compared to calculate a cost recovery percentage. The amount of taxes for each service area is presented along with capital asset expenditures and capital financing charges. A consolidated review of past business plans and external assessments provide insight into utilization. Oceanside Place is well used however additional capacity does exist to increase utilization while the Ravensong Aquatic Centre is used to full capacity during many peak hours.



OCEANSIDE PLACE

Facility Context

Oceanside Place is a facility containing two regulation sized ice arenas, a leisure ice surface, and a variety of meeting and gathering spaces. Spaces in the facility are rented to community groups and used for directly delivered RDN programming.

Financial Plan 2017 – 2021

The RDN developed five-year financial projections for each of the three service areas. Through property taxes and revenues, Oceanside Place generates between \$2.5M to \$2.8M each year to cover operating expenditures, capital expenditures, and capital financing charges. For each of the next five years, the RDN will allocate \$273,052 to Oceanside Place's capital financing charges.

Oceanside Place	2017	2018	2019	2020	2021
Taxes and Revenues (property taxes, recreation fees, rentals, concession, etc.)	\$2,572,978	\$2,630,521	\$2,688,371	\$2,747,563	\$2,808,128
Operating Expenditures	\$2,250,986	\$2,302,006	\$2,293,216	\$2,329,993	\$2,368,655
Capital Expenditures	\$119,875	\$109,871	\$346,825	\$142,840	\$145,500
Capital Financing Charges	\$273,052	\$273,052	\$273,052	\$273,052	\$273,052
Net Surplus/(Deficit) for the Year	\$(69,935)	\$(54,408)	\$(22,722)	\$1,678	\$20,921
Surplus Applied to Future Years	\$158,572	\$104,164	\$81,442	\$83,120	\$104,041

In the chart below, property taxes were removed from the revenues row in order to calculate a recovery rate. From an operating standpoint in 2017, Oceanside Place will bring in \$639,079 while operating expenses will total \$2.25M. Using these figures (operating revenues divided by operating expenditures), the cost recovery for Oceanside Place is 28% and over \$1.6M is required to subsidize operations.

Oceanside Place	2017	2018	2019	2020	2021
Operating Revenues					
Operations	\$18,600	\$18,600	\$18,600	\$18,600	\$18,600
Recreation Fees	\$48,000	\$49,440	\$50,923	\$52,451	\$54,024
Facility Rentals	\$458,650	\$472,410	\$486,582	\$501,179	\$516,215
Vending Sales	\$3,000	\$3,000	\$3,000	\$3,000	\$3,000
Concession	\$5,000	\$5,000	\$5,000	\$5,000	\$5,000
Recreation Other	\$88,150	\$90,795	\$93,518	\$96,324	\$99,213
Interdepartmental Recoveries	\$17,579	\$17,579	\$17,579	\$17,579	\$17,579
Miscellaneous	\$100	\$100	\$100	\$100	\$100
Total Revenues	\$639,079	\$656,924	\$675,302	\$694,233	\$713,731

Operating Expenditures					
Administration	\$144,251	\$145,694	\$147,150	\$148,622	\$150,108
Legislative	\$500	\$500	\$500	\$500	\$500
Professional Fees	\$15,000	\$15,000	\$15,000	\$20,000	\$15,000
Building Ops.	\$338,045	\$341,425	\$344,840	\$348,288	\$355,254
Veh. and Equip. Ops.	\$73,226	\$73,959	\$74,698	\$75,445	\$76,200
Operating Costs	\$91,265	\$93,090	\$94,952	\$96,851	\$98,788
Program Costs	\$33,600	\$33,936	\$34,275	\$34,618	\$34,964

Oceanside Place	2017	2018	2019	2020	2021
Wages and Benefits	\$1,147,029	\$1,169,970	\$1,193,369	\$1,217,237	\$1,229,409
Contributions to Reserve Funds	\$95,540	\$115,900	\$75,900	\$75,900	\$95,900
Debt Interest	\$312,530	\$312,532	\$312,532	\$312,532	\$312,532
Total Expenditures	\$2,250,986	\$2,302,006	\$2,293,216	\$2,329,993	\$2,368,655
Cost Recovery					
Revenues/Expenditures	28%	29%	29%	30%	30%
Required Operating Subsidy					
Expenditures – Revenues	\$1,611,907	\$1,645,082	\$1,617,914	\$1,635,760	\$1,654,924

Utilization

In 2016, Oceanside Place accommodated 8,215 hours of ice usage. The percentage of ice booked has ranged from 62% to 85% since 2012. Over 20,000 public skate admissions were tallied each year.

Oceanside Place	2012	2013	2014	2015	2016
Total Hours of Ice Available	11,800	12,050	9,978	9,725	9,620
Total Hours of Ice Booked	9,360	7,417	7,350	7,300	8,215
Percentage of Total Ice Booked	79%	62%	74%	75%	85%
Program Registrants	800	818	730	690	479
Public Skate Admissions	23,000	20,866	21,700	21,900	21,900

RAVENSONG AQUATIC CENTRE

Facility Context

Ravensong Aquatic Centre contains a 25 metre pool and a leisure pool. The pools are used by community groups and for RDN programming.

Financial Plan 2017 – 2021

The Ravensong Aquatic Centre's debt has recently been paid off and no further capital financing charges are required as displayed below in the 2017-2021 Financial Plan. Over the next five years, nearly \$1.3M is expected to be allocated to capital expenditures.

Ravensong Aquatic Centre	2017	2018	2019	2020	2021
Taxes and Revenues (property taxes, recreation fees, rentals, concession, etc.)	\$2,637,699	\$2,676,846	\$2,736,675	\$2,777,600	\$2,819,349
Operating Expenditures	\$2,629,527	\$2,666,231	\$2,703,642	\$2,771,779	\$2,715,124
Capital Expenditures	\$107,050	\$620,235	\$254,325	\$102,040	\$207,500
Capital Financing Charges	\$0	\$0	\$0	\$0	\$0
Net Surplus/(Deficit) for the Year	\$(98,878)	\$(9,620)	\$(21,292)	\$(11,219)	\$(3,275)
Surplus Applied to Future Years	\$137,777	\$128,157	\$106,865	\$95,646	\$92,371

Cost recovery for the Ravensong Aquatic Centre is expected to increase from 25% to 28% over the next five years. The required operating subsidy is approximately \$2M each year as operating revenues are expected to range from \$667,370 to \$748,716 while operating expenditures are projected around \$2.6M to \$2.7M.

Ravensong Aquatic Centre	2017	2018	2019	2020	2021
Operating Revenues					
Operations	\$2,740	\$2,740	\$2,740	\$2,740	\$2,740
Recreation Fees	\$199,720	\$205,712	\$211,883	\$218,239	\$224,787
Facility Rentals	\$83,145	\$85,639	\$88,209	\$90,855	\$93,580
Vending Sales	\$1,500	\$1,500	\$1,500	\$1,500	\$1,500
Recreation Other	\$365,265	\$376,223	\$387,510	\$399,135	\$411,109
Miscellaneous	\$15,000	\$15,000	\$15,000	\$15,000	\$15,000
Total Revenues	\$667,370	\$686,814	\$706,842	\$727,469	\$748,716
Operating Expenditures					
Administration	\$172,190	\$172,190	\$172,190	\$172,190	\$172,190
Legislative	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000
Professional Fees	\$20,000	\$20,000	\$20,000	\$20,000	\$20,000
Building Ops.	\$249,315	\$254,301	\$259,387	\$264,575	\$269,867
Veh. and Equip. Ops.	\$28,580	\$28,580	\$28,580	\$28,580	\$28,580
Operating Costs	\$157,363	\$158,937	\$160,526	\$162,131	\$163,753
Program Costs	\$87,475	\$88,350	\$89,233	\$90,126	\$91,027
Wages and Benefits	\$1,463,424	\$1,492,693	\$1,522,546	\$1,552,997	\$1,568,527
Contributions to Reserve Funds	\$450,180	\$450,180	\$450,180	\$480,180	\$400,180
Total Expenditures	\$2,629,527	\$2,666,231	\$2,703,642	\$2,771,779	\$2,715,124
Cost Recovery					
Revenues/Expenditures	25%	26%	26%	26%	28%
Required Operating Subsidy					
Expenditures – Revenues	\$1,962,157	\$1,979,417	\$1,996,800	\$2,044,310	\$1,966,408

Utilization

The Ravensong Aquatic Centre was in use for 95% of available hours in 2016 which is considered very high and nearing (or at) full capacity. The number of program registrants has remained relatively constant since 2012 and the pool facilitated over 93,000 public swims in 2016.

Ravensong Aquatic Centre	2012	2013	2014	2015	2016
Percentage of Hours Used	98%	93%	93%	93%	95%
Program Registrants	2,412	2,700	2,539	2,539	2,550
Total Program Attendance	23,242	22,650	21,427	21,427	25,500
Total Public Swim Admissions	85,000	90,490	89,127	89,127	93,724

NORTHERN COMMUNITY RECREATION PROGRAM SERVICES

Service Delivery Context

The purpose of Northern Community Recreation Program Services is to plan, develop and coordinate the delivery of a range of recreation programs and services to all age groups within the communities of Parksville, Qualicum Beach and Electoral Areas E, F, G and H. This includes services such as recreation grants, financial assistance program, inclusion support for individuals with disabilities, summer programs, support for community events, and community development initiatives. The department acts as the booking agent for sports fields within the City of Parksville and the Town of Qualicum Beach and School District 69. The department also oversees a service contract for additional local programming in Electoral Area F with Arrowsmith Community Recreation Association. Regional District staff act in a resource capacity and monitor the outcomes and performance of the Association.

Financial Plan 2017 – 2021

Over the next five years combined, \$22,426 is allocated to capital expenditures while no financing charges are expected. Operating expenditures are projected to surpass \$2M in 2021 and therefore taxes/revenues will rise to match it.

Northern Community Recreation Program Services	2017	2018	2019	2020	2021
Taxes and Revenues (property taxes, municipal agreements, recreation fees, etc.)	\$1,866,745	\$1,909,893	\$1,948,303	\$1,990,002	\$2,020,512
Operating Expenditures	\$1,824,164	\$1,910,736	\$1,942,531	\$1,977,794	\$2,006,729
Capital Expenditures	\$2,325	\$1,536	\$2,825	\$11,540	\$4,200
Capital Financing Charges	\$0	\$0	\$0	\$0	\$0
Net Surplus/(Deficit) for the Year	\$40,256	\$(2,379)	\$2,947	\$668	\$9,583
Surplus Applied to Future Years	\$69,775	\$67,396	\$70,343	\$71,011	\$80,594

Northern Community Recreation Program Services requires \$1.4M to \$1.5M in operating subsidies each year. Cost recovery is projected to remain around 22% until 2021.

Northern Community Recreation Program Services	2017	2018	2019	2020	2021
Operating Revenues					
Operations	\$5,945	\$6,123	\$6,307	\$6,496	\$6,691
Recreation Fees	\$360,436	\$365,558	\$371,041	\$376,313	\$381,664
Operating Grants	\$58,000	\$58,000	\$58,000	\$58,000	\$58,000
Miscellaneous	\$1,000	\$1,000	\$1,000	\$1,000	\$1,000
Total Revenues	\$425,381	\$430,681	\$436,348	\$441,809	\$447,355
Operating Expenditures					
Administration	\$114,617	\$114,617	\$114,617	\$114,617	\$114,617
Professional Fees	\$22,300	\$12,300	\$12,300	\$18,300	\$12,300
Building Ops.	\$14,282	\$14,282	\$14,282	\$14,282	\$14,282
Veh. and Equip. Ops.	\$14,386	\$14,386	\$14,386	\$14,386	\$16,449
Operating Costs	\$102,727	\$102,727	\$102,727	\$102,727	\$102,727
Program Costs	\$504,452	\$511,179	\$518,024	\$524,991	\$532,080

Northern Community Recreation Program Services	2017	2018	2019	2020	2021
Wages and Benefits	\$668,185	\$681,548	\$695,181	\$709,083	\$716,174
Transfer to Other Gov./Org.	\$373,035	\$389,517	\$400,834	\$409,228	\$417,920
Contributions to Reserve Funds	\$10,180	\$70,180	\$70,180	\$70,180	\$80,180
Total Expenditures	\$1,824,164	\$1,910,736	\$1,942,531	\$1,977,794	\$2,006,729
Cost Recovery					
Revenues/Expenditures	23%	23%	22%	22%	22%
Required Operating Subsidy					
Expenditures – Revenues	\$1,398,783	\$1,480,055	\$1,506,183	\$1,535,985	\$1,559,374

Utilization

Northern Community Recreation Program Services provided organized programming for 5,782 people in 2016, to produce a total program attendance of 27,016. A range of 116 to 234 households have been supported by the Financial Assistance Program over the past five years and at least 20 individuals have received inclusion support each year.

Northern Community Recreation Program Services	2012	2013	2014	2015	2016
Program Registrants	3,741	3,800	2,841	6,444	5,782
Total Program Attendance	14,979	14,300	16,776	17,000	27,016
Households supported by Financial Assistance Program	145	180	125	116	234
Inclusion Support: Individuals	31	35	22	25	22
Inclusion Support: Hours	992	1,020	800	1,008	860

SUMMARY: FINANCIAL PLAN SUMMARY (2017)

In 2017, the combined cost recovery for the three services areas is expected to be 26%. Nearly \$5M will be required to subsidize the operations of the service areas.

Service Area	Oceanside Place	Ravensong Aquatic Centre	Northern Community Recreation Program Services	Total
Operating Revenues	\$639,079	\$667,370	\$425,381	\$1,731,830
Operating Expenditures	\$2,250,986	\$2,629,527	\$1,824,164	\$6,704,677
Cost Recovery	28%	25%	23%	26%
Required Operating Subsidy	\$1,611,907	\$1,962,157	\$1,398,783	\$4,972,847

USE BY GEOGRAPHIC RESIDENCY

Recreation Facility and Field Use Analysis (2015 Review)

In 2015, a review was conducted to analyze the geographic residency of the users of specific public recreation facilities that are supported by RDN taxpayers. The purpose of the information and analysis was for general management information, to guide marketing campaigns, to provide a basis for apportioning the net public subsidy to specific members of the RDN, and to fulfill the requirements of cost sharing agreements. Based on usage from each area, the percentage of tax payer subsidy from each facility type is presented below. *Note: Findings from the household survey fielded as part of the Master Plan project also provides utilization data for a number of recreation facilities and amenities. Please see Section 5 for these findings.*

Analysis of Pool Use (Ravensong Aquatic Centre)

Electoral Area/Municipality	E	F	G	H	PV	QB
Percent of Facility Usage ^A	3.9% ^B	22%	21%	7%	27%	24%

A Not including out-of-area users/visitors.

B Area E is not a member of the cost sharing agreement for Ravensong Aquatic Centre.

Analysis of Arena Use (Oceanside Place)

Electoral Area/Municipality	E	F	G	H	PV	QB
Percent of Facility Usage ^C	11%	13%	22%	4%	34%	15%

C Not including out-of-area users/visitors.

Analysis of Sports Field Use

Electoral Area/Municipality	E	F	G	H	PV	QB
Percent of Facility Usage ^D	13%	16%	22%	5%	30%	14%

D Not including out-of-area users/visitors.



ACCOMPLISHMENTS

Over the course of each year, the RDN keeps notes of recreation accomplishments. While the whole list is not displayed below, the following snapshot highlights the operational successes of recreation services in District 69.

Northern Community Recreation Program Services

2013

- Renewed agreement with VIHA–Integrated Health Network (IHN) to provide seated fitness programs to IHN (and public) clients. VIHA–IHN also sponsored their clients with two or more designated chronic illnesses with access to RDN recreation services.
- Development of new youth recreation website and social media platforms.
- Five Canada Summer Jobs students were placed with the department.

2014

- Offered an expanded afterschool drop in sports program in Qualicum Beach that has been well attended
- Developed and launched the Grade Five Activity Pass and Grade Six Activity Card to help promote physical fitness in this age group.
- Developed and launched the Corporate and Volunteer Group Recreation Pass.

2015

- Leaders In Training (LITs): 35 youth were trained for summer leadership volunteer opportunities, LITs completed a total of 16 training hours each, and completed 1,575 combined hours of volunteering in July and August.
- Final year of implementation of the Youth Recreation Strategic Plan involving grant funding available to secondary schools and rural recreation organizations.
- Co-hosted forum with Island Health open to local governments, School District and First Nation Band members to increase mutual understanding of the organizations and explore potential partnerships.

2016

- Co-hosted forum with Island Health open to local governments, School District and First Nation Band members to increase mutual understanding of the organizations and explore potential partnerships.
- Distributed \$47,260 in grant funding from Island Health in the intervention of the five modifiable risk factors; unhealthy eating, overweight/obesity, physical inactivity, tobacco use and harmful alcohol use affecting wellbeing.
- Transitioned to new registration and facility booking system which involved the training of all reception and programming staff, transfer of existing active client database, transfer of all current memberships, review and update of procedures regarding inputting of programs, activity guide design and download process, reserving and registering clients, and an extensive communication campaign.
- Initiated a Seniors Round Table to enable community partner groups including PAGOSA, VIU Elder College, and others with the ability to collaborate on various projects and reduce the duplication of efforts in regards to services and activities for this demographic.
- Met all operating and capital financial plans.
- Recognized 48 local athletes, artist and performers through the District 69 Performance Recognition Program.

Ravensong Aquatic Centre

2013

- Provided learn to swim programs for 2,496 children.
- Completed implementation of vending changeover to Complete Vending and increase Healthy Food and Beverage Initiative.
- Replaced original (1994) atmospheric boilers with High Efficiency Condensing Boilers.

2014

- Provided higher level aquatic leadership instruction to 203 learners.
- Continued operation of the Aquatic Centre providing over 4,700 hours of use and 90,000 admissions for public sessions.
- Aquatic programs that were offered and supported away from Ravensong, within the community, included Qualicum Beach Mile Swim, School Salmon Observation, Polar Bear Swim at Parksville Beach, various School District 69 outings to the beach, Horne Lake Summer First Aid, and Little Qualicum River Hatchery.

2015

- Provided swim lessons for 2,575 children and adults.
- Established a FTE Team Leader to lessen the work load on the Aquatic Programmer as per the Operational and Efficiency Review recommendations.
- Celebrated the 20th Anniversary of Ravensong Aquatic Centre.

2016

- Provided swim lessons to over 2,000 local children and youth.
- Provided Swim to Survive lessons for all grade seven students in District 69.
- Open to the public for over 5,400 hours.
- Ran over 340 aquafit and water based exercise programs.
- Site location was used for filming Hallmark Channel television production Chesapeake Shores.
- Met all operating and capital financial plans.

Oceanside Place

2013

- Implementation of P.A.D. (Public Access Defibrillator) Program.
- Renewed facility advertising agreement after RFP process.
- Ten year anniversary celebration for Oceanside Place held.

2014

- Extended Winter Wonderland and developed a New Year's event for the Community.
- Continued to coordinate energy and sustainability to develop and implement a comprehensive energy management strategy for RDN recreation facilities.
- Implemented training sessions for use of PAD (AED) for public user groups.

2015

- Implemented pickle ball program and orientation sessions for all ages as a dry floor activity.
- Reviewed all arena services policy and procedures and developed new tracking system.
- Enhanced facility concession services with establishing a seating area and in accordance with the Healthy Food and Beverage Initiative.

2016

- Continued development and support of programs for Female and Co-ed Hockey, drop in hockey for youth, birthday parties for youth, and public skate sessions for adults.
- Continued with the Annual Winter Wonderland and New Year's event for the Community.
- Participated in Asset Management Plan development for Recreation.
- Continued to host local, regional and provincial tournaments/events involving youth, adults and seniors in hockey, lacrosse and figure skating.
- Continued to develop a Pickleball program, orientation sessions, and tournaments for all ages as a dry floor activity.
- Entered into new agreements for Vending and Concession services in accordance with the Healthy Food and Beverage Initiative.
- Met all operating and capital financial plans.
- Continued to work with Parksville and District 69 Curling Club on state of good repair in the operation of the District 69 Arena.



A photograph of children ice skating in an indoor rink. They are wearing helmets and winter gear. The word "FOUR" is overlaid in large green letters.

FOUR

TRENDS AND LEADING PRACTICES

INCLUDED IN THIS SECTION:

- Overview of trends in recreation participation, infrastructure and service provision.
- Pertinent leading practices with potential application in District 69.

A review of trends can help identify leading practices in the delivery of recreation services as well as emerging or evolving interests that may be important to consider when developing programming and infrastructure. Summarized in the following section are selected trends related to participation, infrastructure, and public sector provision of recreation opportunities (service delivery). The data presented in this section has been taken from a variety of publicly available provincial and national research databases and sources as noted.



PARTICIPATION TRENDS

Physical Activity and Wellness Levels

The **BC Physical Activity Strategy**, published in 2015, identified a number of participation indicators that reveal both encouraging and troubling physical activity trends. Summarized below are key findings outlined in the Strategy.

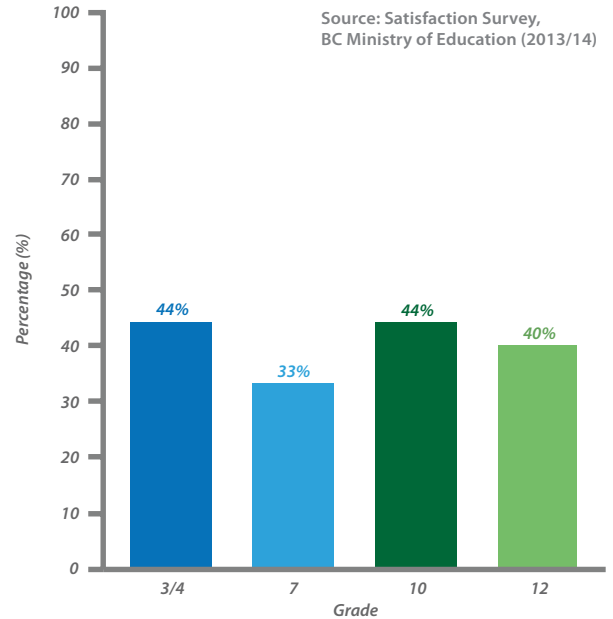
- **British Columbia is the most active province in Canada.** Almost 64% of British Columbians (age 12 and over) are active in their leisure time, highest among all provinces in Canada. However, about 1.5 million British Columbians are classified as inactive, and many of those who report being active do not do enough activity to achieve health benefits.
- **Physical activity levels among children and youth are concerning.** While 88% of students in Grades 3 and 4 report that they get physical activity at school, only 44% report doing at least 30 minutes of moderate or vigorous activity each day.

ParticipACTION is a national non-profit organization that strives to help Canadians sit less and move more. **The Report Card on Physical Activity for Children and Youth** is a comprehensive assessment of child and youth physical activity, taking data from multiple sources, including the best available peer-reviewed research, to assign grades for indicators such as overall physical activity, active play, sleep, and others. The most recent report card (2016) is a “wake-up call” for children and youth activity levels.

- Only 9% of Canadian kids aged 5 to 17 get the 60 minutes of heart-pumping activity they need each day.
- Only 24% of 5 to 17-year-olds meet the Canadian Sedentary Behaviour Guidelines recommendation of no more than 2 hours of recreational screen time per day.
- In recent decades, children’s nightly sleep duration has decreased by about 30 to 60 minutes.
- Every hour kids spend in sedentary activities delays their bedtime by 3 minutes. And the average 5 to 17-year-old Canadian spends 8.5 hours being sedentary each day.
- 33% of Canadian children aged 5 to 13, and 45% of youth aged 14 to 17, have trouble falling asleep or staying asleep at least some of the time.
- 36% of 14 to 17-year-olds find it difficult to stay awake during the day.
- 31% of school-aged kids and 26% of adolescents in Canada are sleep-deprived.

Percentage of Students Who Report Meeting the Daily Physical Activity (DPA) Policy Requirements

Source: BC Physical Activity Strategy (2015)



Overall Physical Activity

70% of children aged 3 to 4 meet the recommendation of 180 minutes of daily activity at any intensity. However, as the guidelines change to 60 minutes of moderate- to vigorous-intensity physical activity per day for those aged **5 to 17, only 9%** are meeting the guidelines. ^{2012-13 CHMS}

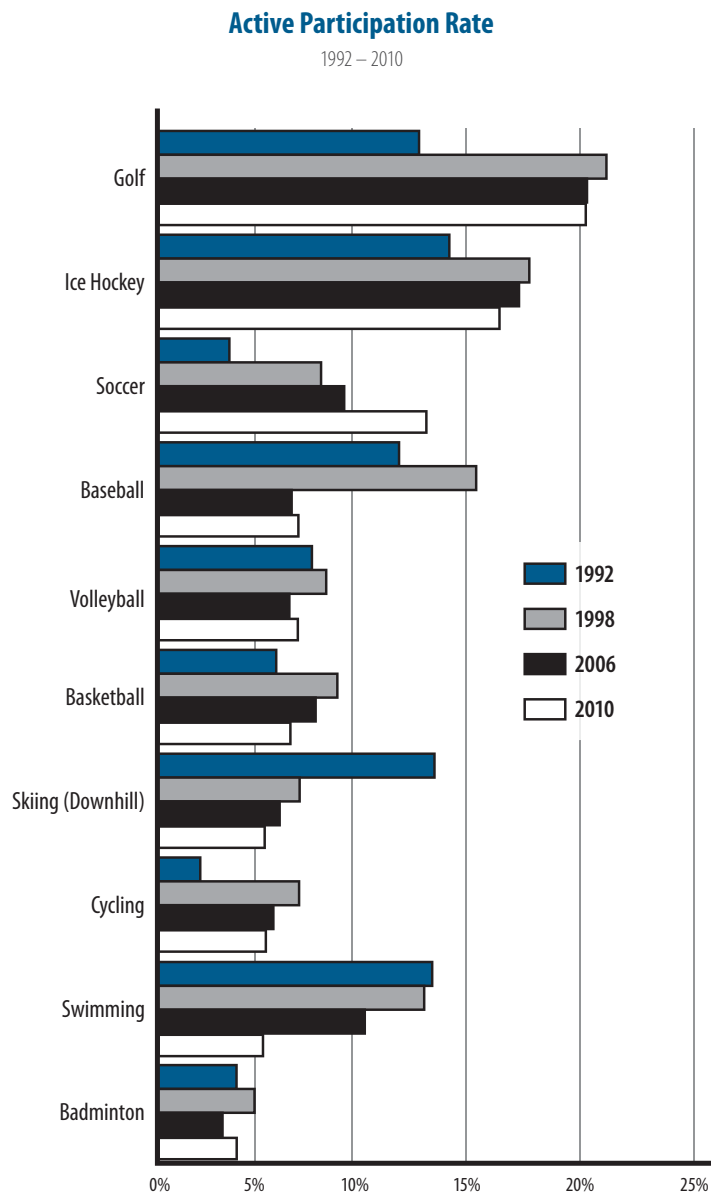
Physical Activity Preferences

The 2013 Canadian Community Health Survey reveals data that provides some insight into the recreation and leisure preferences of Canadians. The top 5 most popular adult activities identified were walking, gardening, home exercise, swimming and bicycling. The top 5 most popular youth activities were walking, bicycling, swimming, running/jogging and basketball.¹

Participation levels and preferences for sporting activities continue to garner much attention given the impact on infrastructure development and overall service delivery in most municipalities. The Canadian Fitness & Lifestyle Research Institutes 2011 – 2012 Sport Monitor Report identified a number of updated statistics and trends pertaining to sport participation in Canada.²

- The highest proportion of Canadians prefers non-competitive sports or activities. Nearly half (44%) of Canadians preferred non-competitive sports while 40% like both non-competitive and competitive sports. Only 8% of Canadians prefer competitive sports or activities and 8% prefer neither competitive nor non-competitive sports.
- Sport participation is directly related to age. Nearly three-quarters (70%) of Canadians aged 15 – 17 participate in sports, with participation rates decreasing in each subsequent age group. The largest fall-off in sport participation occurs between the age categories of 15 – 17 and 18 – 24 (~20%).
- In contrast to children and youth populations (in which gender participation rates are relatively equal), substantially more adult men (45%) than adult women (24%) participate in organized sport.
- Participation in sport is directly related to household income levels. Households with an annual income of greater than \$100,000 have the highest participation levels, nearly twice as high as households earning between \$20,000 and \$39,999 annually and over three times as high as households earning less than \$20,000 annually.
- The highest proportion of sport participants play in “structured environments.” Just under half (48%) of sport participants indicated that their participation occurs primarily in organized environments, while 20% participate in unstructured or casual environments; 32% do so in both structured and unstructured environments.
- Community sport programs and venues remain important. The vast majority (82%) of Canadians that participate in sport do so within the community. Approximately one-fifth (21%) participate at school while 17% participate in sports at work. A significant proportion (43%) also indicated that they participate in sporting activities at home.

A research paper entitled “Sport Participation 2010” published by Canadian Heritage also identified a number of trends pertaining to participation in specific sports. The following graph illustrates national trends in active sport participation from 1992 – 2010. As reflected in the graph, swimming (as a sport) has experienced the most significant decrease while soccer has had the highest rate of growth while golf and hockey remain the two most played sports in Canada. *Note: Data includes both youth, amateur, and adult sport participants.*³



1 Statistics Canada: <http://www.statcan.gc.ca/daily-quotidien/140612/dq140612b-eng.htm>

2 Canadian Fitness & Lifestyle Research Institutes 2011 – 2012 Sport Monitor: <http://www.cflri.ca/node/78>

3 Government of Canada: http://publications.gc.ca/collections/collection_2013/pc-ch/CH24-1-2012-eng.pdf

The Paper further identifies a number of broad participation trends related specifically to sport focused participation utilizing Statistics Canada data from the 2010 Federal Census and the General Social Survey. Broader trends effecting overall sport participation noted by the Paper include:

- National sport participation levels continue to decline. In 2010, 7.2 million or 26% of Canadians age 15 and older participated regularly in sport; this represents a 17% decline over the past 18 years.
- The gender gap in sport participation has increased.
- Sport participation decreases as Canadians age; the most significant drop off occurs after age 19.
- Education and income levels impacts impact sport participation. Canadians with a University education and those making more than \$80,000 annually have the highest rates of sport participation.
- Established immigrants participate in sport less than recent immigrants and Canadian born.
- Students (15 years and older) participate in sport in greater numbers than any labour force group.
- Participation is highly concentrated in a few sports. Participants in golf, ice hockey, and soccer tend to prefer these three sports and have less diversity in their overall sporting pursuits than participants of other sports.
- Women are more likely than men to have a coach. Female sport participants tend to use the services of a coach more often than male sport participants and this difference appears to increase with age.
- The most important benefit of sport participation is relaxation and fun. Relaxation and fun were ranked as being important by 97% of sport participants.
- A lack of time and interest are the main reasons for not participating in sport.

Unstructured Recreation

There is an increasing demand for more flexibility in timing and activity of choice for recreational pursuits. People are seeking individualized informal pursuits that can be done alone or in small groups, at flexible times, and often near or at home. This does not eliminate the need for structured activities, but instead suggests that planning for the general population is as important as planning for traditional structured use environments.

The **Canadian Fitness and Lifestyle Research Institute** conducts a **Physical Activity Monitor (PAM)** survey that tracks physical activity and sport participation among Canadians. Additionally, the telephone survey tracks changes in physical activity patterns over time, along with factors influencing participation. The 2014-15 PAM asked 18 and older Canadians about the type of physical activities they participated in 12 months prior to the survey. This is a breakdown of the 10 most common activities by gender.

Activity	Proportion participating in the previous 12 months	
	Men	Women
Walking for exercise	80%	88%
Gardening or yard work	80%	69%
Bicycling	55%	43%
Social Dancing	33%	45%
Ice Skating	34%	24%
Exercise classes or aerobics	15%	39%
Yoga or tai chi	15%	39%
Golfing	33%	13%
Baseball or softball	23%	12%
Basketball	21%	11%
Ice hockey	21%	4%
Football	18%	4%



Flexibility and Adaptability

Recreation and parks consumers have a greater choice of activity options than at any time in history. As a result, service providers are being required to ensure that their approach to delivery is fluid and is able to quickly adapt to meet community demand. Many municipalities have also had to make hard decisions on which activities they are able to directly offer or support, versus those which are more appropriate to leave to the private sector to provide.

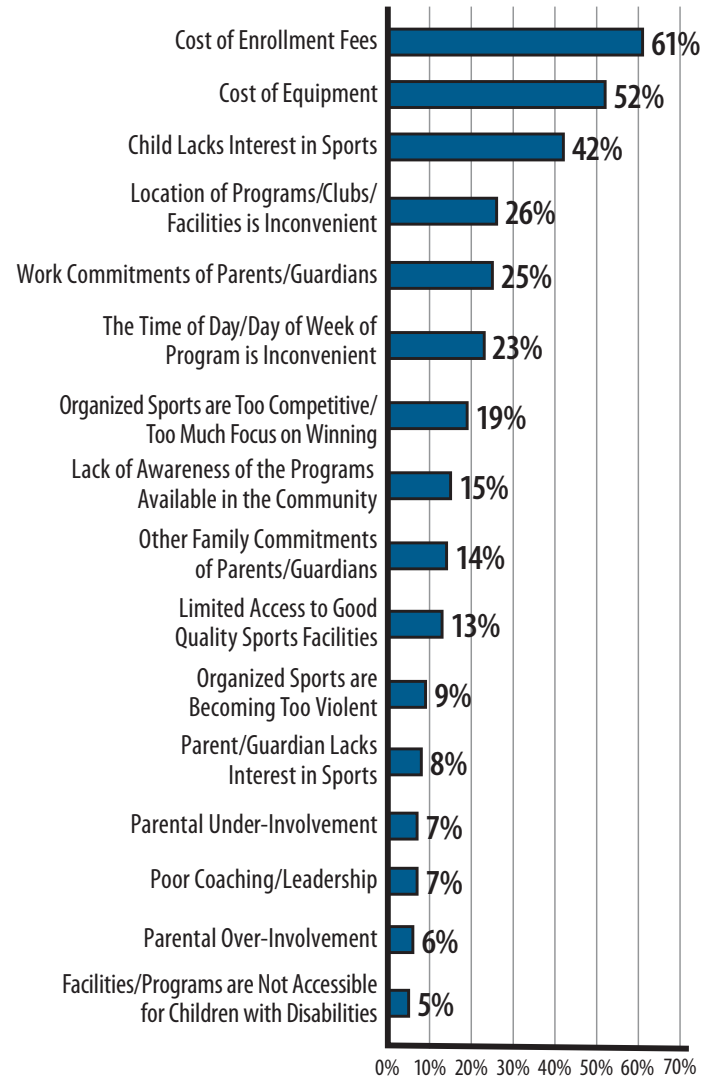
Ensuring that programming staff and management are current on trends is important in the identification and planning of programming. Regular interaction and data collection (e.g. customer surveys) from members are other methods that service providers use to help identify programs that are popular and in demand. The development of multi-use spaces can also help ensure that municipalities have the flexibility to adapt to changing interests and activity preferences.



Barriers to Participation

Research and available data supports that many Canadians face barriers that impact their ability to reap the numerous physical, social, and mental benefits that are accrued from participation in recreation and leisure pursuits. Understanding these barriers can help service providers identify strategies to mitigate issues and encourage participation.

The adjacent graph adapted from the 2014 CIBC – KidSport Report reflects barriers to participation in sport for 3 to 17 year olds in Canada. As reflected in the graph, the cost of enrollment, the cost of equipment, and a lack of interest were identified as the top 3 barriers.



INFRASTRUCTURE TRENDS

Managing Aging Infrastructure

A report published in 2009 by the **British Columbia Recreation and Parks Association** titled “A Time for Renewal” identified a number of statistics related to the aging condition of recreation infrastructure in the province. Findings published in the report included:

- 68% of BC’s indoor recreation facilities are 25 years or older, and 42% of facilities are 35 years or older.
- Recreation infrastructure development is not keeping up with current or projected population growth.
- An estimated \$4 billion dollars is needed for the rehabilitation of existing indoor facilities based on life-cycle stage assumptions.
- An estimated \$1.2 billion dollars is needed to build new indoor facilities to proportionately accommodate BC’s ten-year population growth predictions.

Another more recent report, the **Canadian Infrastructure Report Card⁴** included an assessment and analysis of the state of sport and recreation facilities across Canada. The report revealed a number of concerns and issues that will impact the delivery of sport and recreation infrastructure over the next number of years. Key findings from the report included the following.

- The Report Card demonstrates that Canada’s infrastructure, including sport and recreation facilities, is at risk of rapid deterioration unless there is immediate investment.
- The average annual reinvestment rate in sport and recreation facilities is currently 1.3% (of capital value) while the recommended target rate of reinvestment is 1.7% – 2.5%.
- Almost 1 in 2 sport and recreation facilities are in ‘very poor’, ‘poor’ or ‘fair’ condition and need repair or replacement.
- In comparison to other municipal infrastructure assessed in the Report Card, sport and recreation facilities were in the worst state and require immediate attention.

The Report Card indicated that the extrapolated replacement value of sport and recreation facilities in ‘poor’ or ‘very poor’ condition is \$9 billion while those in ‘fair’ condition require \$14 billion.

Multi-Use Spaces

Recreation and parks facilities are being designed to accommodate multiple activities and to encompass a variety of different components. The benefits of designing multi-use spaces include the opportunity to create operational efficiencies, attract a wide spectrum of users, and procure multiple sources of revenue. Providing the opportunity for all family members to take part in different opportunities simultaneously at the same location additionally increases convenience and satisfaction for residences.

Creating spaces within a facility that are easily adaptable and re-configurable is another growing trend observed in many newer and retrofitted facilities. Many performing arts venues are being designed in such a manner that staging, seating, and wall configurations can be easily changed as required. Similarly, visual arts spaces such as studios and galleries are being designed in a manner that allows them to be used for a multitude of different art creation and display purposes. Gymnasium spaces and field house facilities are being designed with adjustable barriers, walls, bleachers, and other amenities that can be easily set-up or removed depending on the type of activity or event.

Integrating Indoor and Outdoor Environments

A new concept in recreation infrastructure planning is to ensure that the indoor environment interacts seamlessly with the outdoor recreation environment. This can include such ideas as indoor/outdoor walking trails, indoor/outdoor child play areas, and indoor/outdoor aquatics facilities. Although there are a number of operational issues that need to be considered when planning indoor/outdoor environments (e.g. cleaning, controlled access, etc.) the concept of planning an indoor facility to complement the site it is located on (and associated outdoor amenities included) as well as the broader community parks and trail system is prudent and will ensure the optimization of public spending on both indoor and outdoor recreation infrastructure. Integrating indoor and outdoor environments can be as “simple” as ensuring interiors have good opportunities to view the outdoors.

4 http://www.canadainfrastructure.ca/downloads/Canadian_Infrastructure_Report_2016.pdf

Ensuring Accessibility

Many current recreation and cultural facilities are putting a significant focus on ensuring that user experiences are comfortable including meeting accessibility requirements and incorporating designs that can accommodate various body types. Programming is made as accessible as possible via “layering” to provide the broadest appeal possible to people of all abilities.

Meeting the needs of various user groups is also an important aspect of accessibility. Incorporating mobile technologies, rest spaces, child-friendly spaces, crafts areas, and educational multi-purpose rooms for classes and performances is an emerging trend. Accessibility guidelines set by governments, as well as an increased understanding of the needs of different types of visitors is fueling this trend. Technology is also being embraced as a modern communication tool useful for effectively sharing messages with younger, more technologically savvy audiences.

Revenue Generating Spaces

Facility operators of community facilities are being required to find creative and innovative ways to generate the revenues needed to both sustain current operations and fund future expansion or renovation projects. By generating sustainable revenues outside of regular government contributions, many facilities are able to demonstrate increased financial sustainability and expand service levels.

Lease spaces provide one such opportunity. Many facilities are creating new spaces or redeveloping existing areas of their facility that can be leased to food and beverage providers and other retail businesses. Short term rental spaces are another major source of revenue for many facilities. Lobby areas, programs rooms, and event hosting spaces have the potential to be rented to the corporate sector for meetings, team building activities, holiday parties, and a host of other functions.

Social Amenities

The inclusion of social amenities provides the opportunity for multi-purpose community recreation facilities to maximize the overall experience for users as well as to potentially attract non-traditional patrons to the facility. Examples of social amenities include attractive lobby areas, common spaces, restaurants and cafeterias, spectator viewing areas, meeting facilities, and adjacent outdoor parks or green space. It is also becoming increasingly uncommon for new public facilities, especially in urban areas, to not be equipped with public wireless Internet.

Another significant benefit of equipping facilities with social amenities is the opportunity to increase usage and visitation to the facility during non-peak hours. Including spaces such as public cafeterias and open lobby spaces can result in local residents visiting the facility during non-event or non-program hours to meet friends or is simply a part of their daily routine. Many municipalities and non-profit organizations have encouraged this non-peak hour use in order to ensure that the broader populace perceives that the facility is accessible and available to all members of the community.

SERVICE DELIVERY TRENDS

Partnerships

Partnerships in the provision of recreation and parks opportunities are becoming more prevalent. These partnerships can take a number of forms, and include government, not for profit organizations, schools and the private sector. While the provision of recreation and parks services has historically relied on municipal levels of the government, many local governments are increasingly looking to form partnerships that can enhance service levels and more efficiently lever public funds.

Examples of partnerships include facility naming and sponsorship arrangements, lease/contract agreements, the contracted operation of spaces, entire facilities, or delivery of programs. According to one study⁵ over three-quarters (76%) of Canadian municipalities work with schools in their communities to encourage the participation of municipal residents in physical activities. Just under half of Canadian municipalities work with local non-profits (46%), health settings (40%), or workplaces (25%) to encourage participation in physical activities amongst their residents. Seventy-six percent (76%) of municipalities with a population of 1,000 to 9,999 to 80% of municipalities over 100,000 in population have formed agreements with school boards for shared use of facilities. In fact since 2000, the proportion of municipalities that have reported working with schools, health settings, and local non-profit organizations has increased by 10% to 20%.

5 “Municipal Opportunities for Physical Activity” Bulletin 6: Strategic partnerships. 2010, Canadian Fitness & Lifestyle Research Institute.

Social Inclusion

The concept of social inclusion is becoming an issue communities are addressing. While always an important issue, its significance has risen as communities have become more diversified through immigration.

Social inclusion is about making sure that all children and adults are able to participate as valued, respected, and contributing members of society. It involves the basic notions of belonging, acceptance, and recognition. For immigrants, social inclusion would be manifested in full and equal participation in all facets of a community including economic, social, cultural, and political realms. It goes beyond including “outsiders” or “newcomers.” In fact social inclusion is about the elimination of the boundaries or barriers between “us” and “them.”⁶ There is a recognition that diversity has worth unto itself and is not something that must be overcome.⁷

Community Development

The combined factors of decreasing support from other levels of government, increasing demand for new and exciting recreation infrastructure and programs, and the changing nature of the volunteer has led many local government providers (e.g. municipalities and regional districts) to adopt a community development focus in service delivery. This, in addition to the direct delivery of recreation facilities and programs, includes the facilitation of empowering local non-profit groups to operate facilities and/or offer programs to residents thereby leveraging public resources and providing more value for public investment.

Community development is the process of creating change through a model of greater public participation; the engagement of the entire community from the individual up. The concept of community development has a broader reach than just the delivery of recreation and parks programs and facilities; it is commonly understood to be the broader involvement of the general public in decision making and delivery. Community development in recreation delivery encompasses supporting and guiding volunteer groups to ultimately become self-sufficient while providing facilities and programs.

6 Omidvar, Ratna, Ted Richmand (2003). Immigrant Settlement and Social Inclusion in Canada. The Laidlaw Foundation.

7 Harvey, Louise (2002). Social Inclusion Research in Canada: Children and Youth. The Canadian Council on Social Development’s “Progress of Canada’s Children”.

While issues of social inclusion are pertinent for all members of a community, they can be particularly relevant for adolescents of immigrant families. Immigrant youth can feel pulled in opposite directions between their own cultural values and a desire to “fit in” to their new home. This tension can be exacerbated in those situations in which parents are experiencing stress due to settlement. Children living in families which are struggling are more likely to be excluded from some of the aspects of life essential to their healthy development. Children are less likely to have positive experiences at school, less likely to participate in recreation, and less likely to get along well with friends, if they live in families struggling with parental depression, family dysfunction, or violence.⁸

Financial barriers to participation in recreation, sport, and cultural activities continue to exist for many British Columbia residents. Understanding the potential benefits that can result from engaging citizens in a broad range of activities and programs, municipalities have undertaken a number of initiatives aimed at removing financial barriers. Current initiatives being led or supported by many municipalities include the Canadian Parks and Recreation Association’s ‘Everybody Gets to Play’ program, KidSport, and JumpStart.

Sport Tourism

Sport Tourism is often a driver of partnerships and infrastructure development. Available Statistics Canada data (2014) indicates that the sports tourism industry in British Columbia is valued at \$300 million annually, and is the fastest growing segment of the tourism industry.⁹ *Note: The following chart has been adapted from the Canadian Sport Tourism Alliance.*

Sport Tourism	Volume: Person Visits		
	2011	2012	Change
Canada: Same-Day	9,235,000	8,598,000	-6.9%
Canada: Overnight	8,954,000	9,903,000	10.6%
Canada: Total	18,189,000	18,501,000	1.7%
U.S.A.	499,500	501,800	0.5%
Overseas	366,300	371,800	1.5%
Total	19,054,800	19,374,600	1.7%

8 Harvey, Louise (2002). Social Inclusion Research in Canada: Children and Youth. The Canadian Council on Social Development’s “Progress of Canada’s Children”.

9 Sport Tourism (Destination BC), Destination BC: Tourism Business Essentials: Sport Tourism Guide.

Many local governments (municipalities and regional districts) are reacting to the growth and opportunities associated with sport tourism by dedicating resources to the attraction and retention of events. The emergence of sport councils (or similar entities) is a trend that is continuing in many communities and regions. These organizations often receive public support and are tasked with building sport tourism capacity and working with community sport organizations and volunteers in the attraction and hosting of events. Some local governments have also decided to dedicate internal staff resources to sport tourism through the creation of new positions or re-allocation of roles.

Sport tourism generates non-local spending in a community and region (economic impact), can offset operating costs of facilities (through rentals), and can enhance community profile at the provincial, national, and international level. Sport tourism can also generate opportunities for local athlete development and can lead to varying forms of community legacy such as infrastructure development and endowment funds.

While sport tourism can be highly beneficial to a community, it is important to consider a number of factors when allocating resources in order to ensure that investment provides positive and long-lasting impacts. This is especially the case when considering the pursuit of larger scale events and competitions. Best practices that should be followed include:

- Infrastructure investment (enhancement or new development) needs to be sustainable and beneficial to a wide array of residents.
- Volunteer capacity needs to be accurately assessed and deemed appropriate.
- The pursuit of events needs to be strategically aligned with community values and goals.

Volunteerism

The **2010 Canadian Survey of Giving, Volunteering and Participating**¹⁰ helps reveal a number of current trends in individual volunteerism and the broader volunteer sector. Encouragingly, data from the Survey reflects that overall volunteerism is on the rise. Since 2007 (last available data) over 800,000 more Canadians have volunteered. In contrast to the commonly held perspective that youth aren't interested in volunteering, data from the Survey reflects that Canadians aged 15 – 24 volunteer more than any other age group.

10 Volunteer Canada: <http://volunteer.ca/content/canada-surveygiving-volunteering-and-participating>

However data from the Survey supports that the nature of volunteerism is changing. Between 2007 and 2010, the average annual volunteer hours contributed by Canadians decreased by approximately 6% from 166 to 156. Hours contributed to volunteerism on an annual basis appear to be highly influenced by age. While a higher proportion of Canadians aged 45 – 54 volunteer on an annual basis as compared to individuals aged 55 – 64, the number of hours they contribute is less.

The British Columbia sub-segment findings of the Survey further reveal a number of trends specific to the province.

- British Columbians volunteer at a higher rate than the national average. Nearly half (49.8%) of BC residents aged 15 and over volunteered in 2010 as compared to the national average of 47.0%.
- Some interesting contrasts exist between provincial and national averages with regards to volunteerism by age-segment. Residents aged 44 and younger as well those aged 55 and older volunteer at a higher proportion in British Columbia. However volunteerism is lower than national averages in the 45 – 54 age segment.
- Education and income levels appear to influence volunteer behaviour. British Columbians with a University degree had the highest rates of volunteerism. Rates of volunteerism also increase in lock-step with household income levels.
- The presence of school aged children in a household influence volunteerism. Nearly 60% of households with school aged children volunteer as compared to just 41% of households without children and 45% of households with children that are not school aged.

Volunteer Canada¹¹ also provides a resources which identifies additional trends related to volunteerism. Identified below are nine key trends that are currently impacting the volunteer sector provincial and nationally.

- **Much comes from the few.** While 47% of Canadians volunteer, over one-third (34%) of all volunteer hours were contributed by 5% of total volunteers.
- **The new volunteer.** Young people volunteer to gain work related skills (Canadians aged 15 – 24 volunteer more than any other age group). New Canadians also volunteer to develop work experience and to practice language skills. Persons with disabilities may volunteer as a way to more fully participate in community life.
- **Volunteer job design.** Volunteer job design can be the best defense for changing demographics and fluctuations in funding.

11 Volunteer Canada: volunteer.ca

- **Mandatory volunteering.** There are mandatory volunteer programs through Workfare, Community Service Order and school mandated community work.
- **Volunteering by contract.** The changing volunteer environment is redefining volunteer commitment as a negotiated and mutually beneficial arrangement rather than a one-way sacrifice of time by the volunteer.
- **Risk management.** Considered part of the process of job design for volunteers, risk management ensures the organization can place the right volunteer in the appropriate activity.
- **Borrowing best practices.** The voluntary sector has responded to the changing environment by adopting corporate and public sector management practices including standards, codes of conduct, accountability and transparency measures around program administration, demand for evaluation, and outcome measurement.
- **Professional volunteer management.** Managers of volunteer resources are working toward establishing an equal footing with other professionals in the voluntary sector.
- **Board governance.** Volunteer boards must respond to the challenge of acting as both supervisors and strategic planners.

Providing Recreation and Leisure Opportunities for Older Adults

By 2031, almost one in four people in British Columbia (approximately 1.3 million people) will be over the age of 65.¹² This trend will require all sectors of public health and wellness to ensure that adequate opportunities exist for older adults to be healthy and active.

The World Health Organization’s (WHO) *Global Strategy on Diet, Physical Activity and Health* identifies a number of benefits that can result due to the provision of quality and appropriate physical activity opportunities for older adults.

- Lower rates of all-cause mortality, coronary heart disease, high blood pressure, stroke, type 2 diabetes, colon cancer and breast cancer, a higher level of cardiorespiratory and muscular fitness, healthier body mass and composition;
- Biomarker profile that is more favourable for the prevention of cardiovascular disease, type 2 diabetes and the enhancement of bone health; and
- Exhibit higher levels of functional health, a lower risk of falling, and better cognitive function; have reduced risk of moderate and severe functional limitations and role limitations.

The WHO further outlines six specific guideline recommendations for older adult physical activity levels.

1. Older adults should do at least 150 minutes of moderate-intensity aerobic physical activity throughout the week or do at least 75 minutes of vigorous-intensity aerobic physical activity throughout the week or an equivalent combination of moderate- and vigorous-intensity activity.
2. Aerobic activity should be performed in bouts of at least 10 minutes duration.
3. For additional health benefits, older adults should increase their moderate-intensity aerobic physical activity to 300 minutes per week, or engage in 150 minutes of vigorous-intensity aerobic physical activity per week, or an equivalent combination of moderate-and vigorous-intensity activity.
4. Older adults, with poor mobility, should perform physical activity to enhance balance and prevent falls on 3 or more days per week.
5. Muscle-strengthening activities, involving major muscle groups, should be done on 2 or more days a week.
6. When older adults cannot do the recommended amounts of physical activity due to health conditions, they should be as physically active as their abilities and conditions allow.

Impact of the “Baby Boom” Generation

The baby boom generation is generally characterized as being born between the years of 1946-1965. Therefore, this age segment ranges between the ages of 52 and 71, comprising a significant portion of the “senior” population. Research has indicated that of all the generations within the older adult age group, the “baby boomer” generation will have the greatest impact on the future planning and delivery of recreation services. This is largely because of the size of this age cohort and the fact that their interests and behaviours will result in a new type of older adult.¹³

As the “baby boom” generation is a major contributor of the senior population expansion, it is interesting to note the accompanying social trends of this generation. Compared to preceding generations, “baby boomers” are found to be more highly educated, have longer life expectancy and more personal wealth. With higher education, more are recognizing the importance of physical activity, causing the recent decrease of inactivity in the senior population. However, inactivity and sedentary behaviour is still a consistent health issue for the senior population.

12 Seniors in British Columbia—A Healthy Living Framework.

13 Leisureplan International Inc. City of Vaughan Older Adult Recreation Strategy.

Identifying and Mitigating Barriers to Participation

As the senior population of Canada, British Columbia and Vancouver Island continues to grow, demand for recreation services will increase significantly for years to come. Therefore, a comprehensive understanding of senior behaviour and recreational preferences is essential to the effective delivery of recreational services and the prevention of sedentary behaviour. Although a lack of resources may be a contributing factor to inactivity in the senior population, other social and psychological factors are as much if not greater of a contributor to senior inactivity. The most common barriers confronting recreation and physical activity participants in the older adult age group are:

- Physical accessibility, which can include a lack of transportation to recreation spaces
- Safety concerns, including fear of injury
- Lack of available or accessible information of current programs and services provided to older adults, especially those that have cognitive or language limitations
- Lack of physical and emotional support from family or friends
- Social isolation
- Lack of motivation
- Cost
- Migration Factors

Meeting Evolving Recreation Demands and Preferences

Although many “traditional” activities such as bingo, bridge and shuffleboard remain popular among older adult populations, demands and preferences are evolving. Specifically, younger cohorts of older adults (notably the “baby boom” generation) have differing preferences than previous generations and are participating in more light to moderately vigorous forms of physical activity, such as:

- Pickleball
- Trekking
- Hiking
- Water aerobics
- Dancing
- Yoga

Participants and providers alike are also focusing on providing more opportunities for multi-generational activities and programming. This trend is driven both by participants demand (e.g. opportunities to engage in programming with younger family members and friends) as well as an increasing recognition of the social and community benefits that multi-generational interaction can provide.



FIVE

CONSULTATION FINDINGS

INCLUDED IN THIS SECTION:

- Overview of the project consultation program.
- Resident Survey findings.
- Community Group Questionnaire findings.
- Key themes and findings from the stakeholder interviews/discussion sessions.

OVERVIEW

Engagement with residents, community organizations and recreation stakeholders was identified as a key aspect of the project and provided the consulting team with valuable qualitative and quantitative information on the current state and future needs of recreation in District 69. To ensure that a diversity of feedback could be obtained, three different consultation mechanisms were used which included surveys and in-person discussions. The chart below provides an overview of the consultation mechanism and levels of participation.

Consultation Mechanism	Responses/ Participants
Resident Survey	1,687
Community Group Questionnaire	60
Stakeholder Interviews/Discussions	29 <i>(interviews/discussion sessions)</i>

Provided as follows in this section are the detailed consultation findings and analysis.



RESIDENT SURVEY

A household survey was conducted to gather the thoughts and perspectives of District 69 residents. Postcards were sent to 17,526 households in the study area. Each postcard contained a unique access code and instructions on how to access the online survey. Hardcopies were also available in case households did not receive the postcard. In total, 1,687 responses were submitted which results in a confidence level of $\pm 2.3\%$ nineteen times out of 20; a very high level of statistical reliability. Results from each jurisdiction are presented in addition to overall results and subsegment analysis.

Respondents by Area

Location	Household Responses	Margin of Error ^A	Percentage of Total Responses	Percentage of District 69 Residents ^B
Parksville	439	4.5%	26%	27%
Qualicum Beach	421	4.6%	25%	19%
Area E (Nanose Bay)	242	6.0%	14%	13%
Area F (Errington, Coombs, Hilliers, Whiskey Creek, Meadowood)	130	8.4%	8%	17%
Area G (San Pareil, French Creek, Surfside, Dashwood)	267	5.8%	16%	16%
Area H (Qualicum Bay, Bowser, Deep Bay, Dunsmuir, Home Lake, Spider Lake)	102	9.5%	6%	8%
Don't Know/Did Not Respond	86	—	5%	—
Total	1,687	2.3%	100%	100%

A Within the percentage 19 times out of 20.

B Private dwellings (2016 census data).

Respondent Profile

Do you own or rent your primary residence?	%
Own	95%
Rent	5%
How long have you lived in District 69 (Oceanside)?	%
Less than 5 years	29%
5 – 10 years	21%
More than 10 years	50%
Do you expect to be residing in the District 69 (Oceanside) area for the next five years?	%
Yes	94%
Unsure	4%
No	1%
Which of the following best describes the type of household in which you live?	%
Single Adult(s) with no Dependent Children	22%
Single Parent with Dependent Children	2%
Couple with no Dependent Children	58%
Couple with Dependent Children	18%

Age Category	Survey Profile	Census Profile ^C
Age 0 – 4 Years	3%	3%
Age 5 – 9 Years	4%	3%
Age 10 – 19 Years	7%	9%
Age 20 – 29 Years	3%	6%
Age 30 – 39 Years	6%	7%
Age 40 – 49 Years	8%	11%
Age 50 – 59 Years	14%	17%
Age 60 – 69 Years	31%	21%
Age 70 – 79 Years	20%	14%
Age 80+ Years	4%	9%

C 2011 census data; does not include Area H as data was not available.

Importance of Recreation

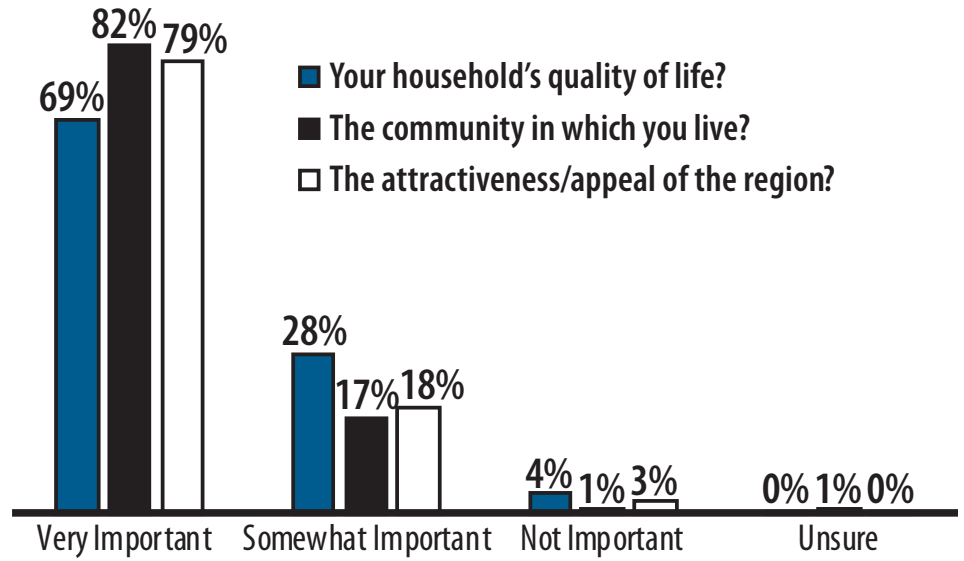
Overall Results

QUESTION:

Overall, how important are recreation opportunities (facilities and programs) to:

- Your household's quality of life?
- The community in which you live?
- The attractiveness/appeal of the region?

Respondents were asked to indicate the level of importance recreation is to their household's quality of life, to the community, and to the attractiveness of the region. 82% of households believe that recreation opportunities are "very important" to the community in which they live.

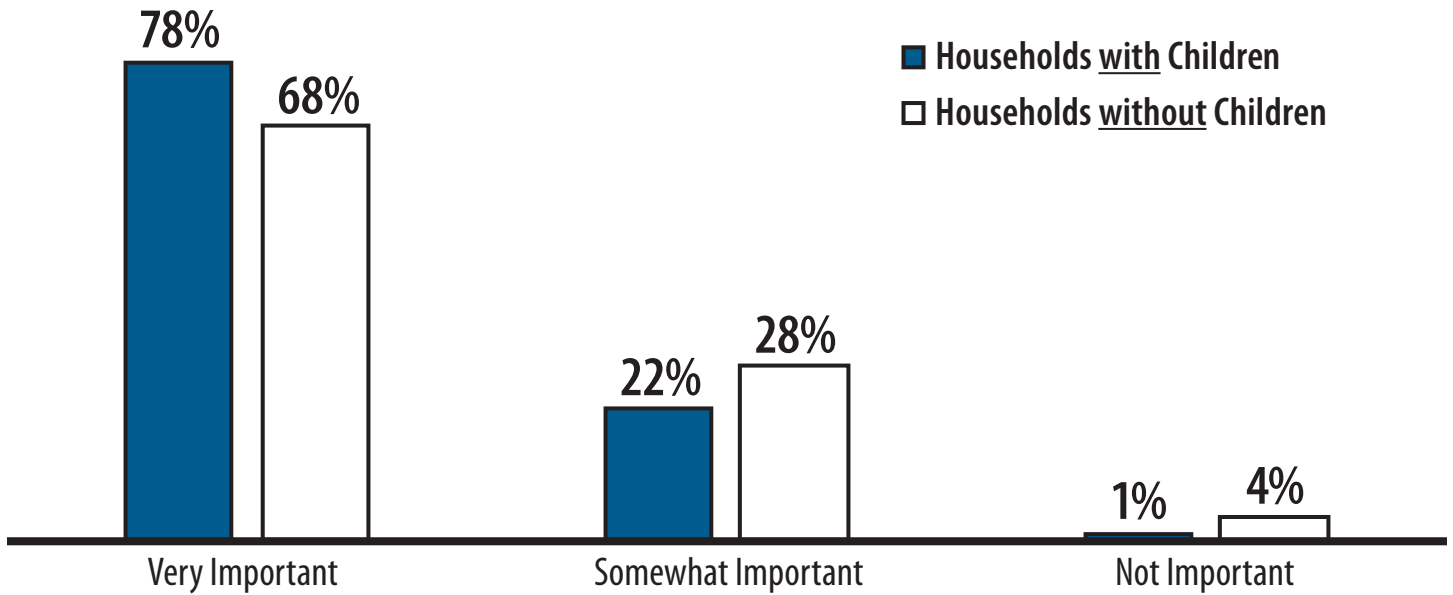


Results by Area

Your household's quality of life?	PV	QB	E	F	G	H
Very Important	70%	74%	63%	67%	71%	62%
Somewhat Important	27%	23%	30%	31%	27%	30%
Not Important	2%	2%	7%	2%	2%	7%
Unsure	0%	0%	0%	0%	0%	1%
The community in which you live?	PV	QB	E	F	G	H
Very Important	87%	87%	73%	78%	79%	75%
Somewhat Important	12%	12%	25%	21%	20%	19%
Not Important	1%	1%	2%	1%	0%	4%
Unsure	0%	0%	0%	1%	1%	3%
The attractiveness/appeal of the region?	PV	QB	E	F	G	H
Very Important	80%	83%	73%	72%	78%	73%
Somewhat Important	19%	15%	23%	21%	18%	21%
Not Important	1%	2%	4%	5%	2%	5%
Unsure	0%	0%	0%	2%	1%	1%

Households with Children VS. Households without Children

Overall, how important are recreation opportunities (facilities and programs) to your household's quality of life?



Additional Analysis

Households with members over the age of 60 years	Very Important	Somewhat Important	Not Important
Overall, how important are recreation opportunities (facilities and programs) to...			
Your household's quality of life?	70%	74%	63%
The community in which you live?	27%	23%	30%
The attractiveness/appeal of the region?	2%	2%	7%

Takeaways

- Residents appear to understand that recreation benefits individuals and the communities in which they live.
- This is clear indication that recreation is perceived as a public good.

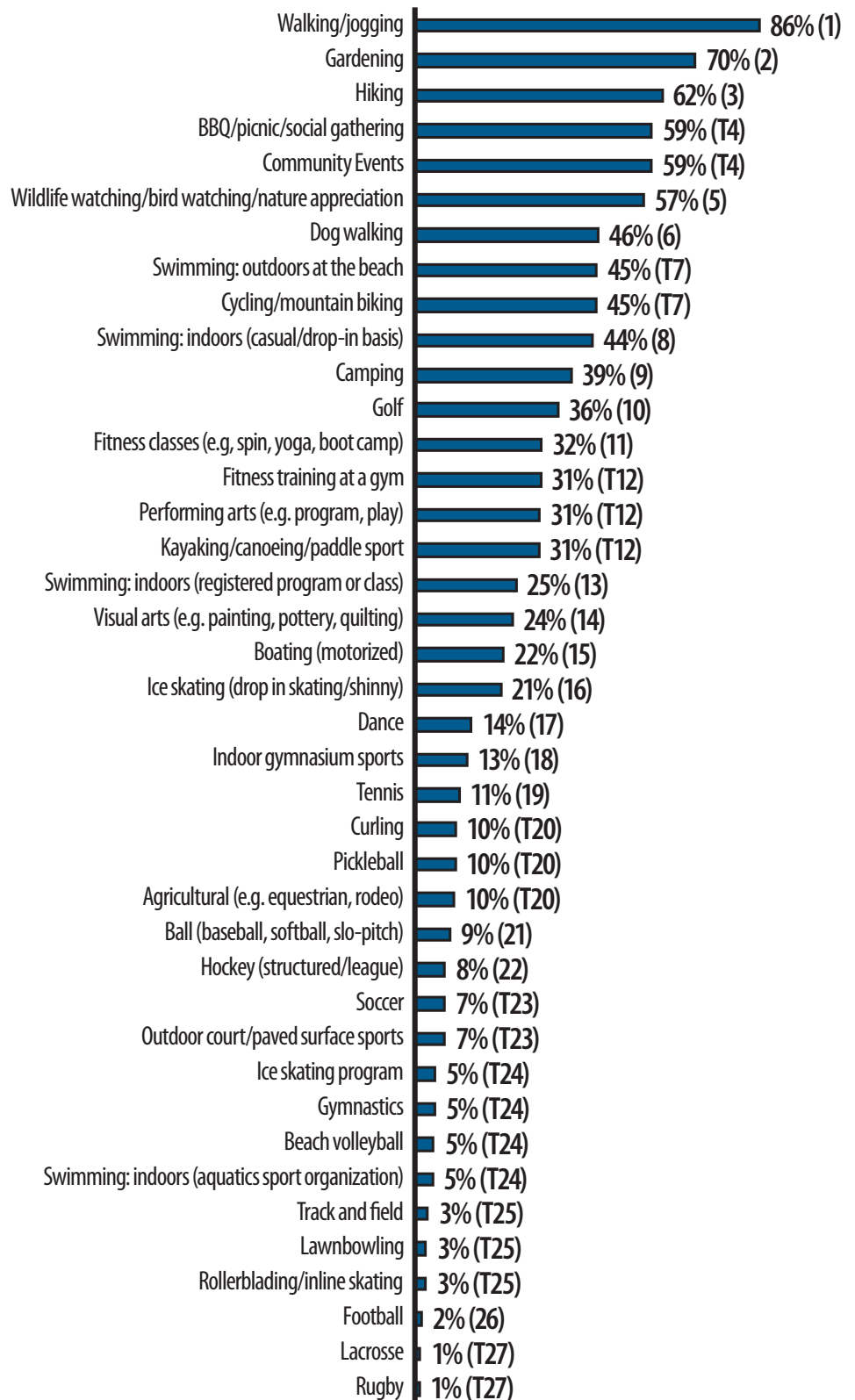
Recreation Activities

QUESTION:

Which of the following recreation (and related) activities did you and/or members of your household actively participate in during the past 12 months

Walking/jogging (86%), gardening (70%), and hiking (62%) are the top 3 activities in regard to the percentage of households participating in them. The top structured sports on the list include gymnasium sports (13%), tennis (11%), curling (10%), and pickleball (10%).

Overall Results



Results by Area

Activity	PV	QB	E	F	G	H
Walking/jogging	86%	88%	88%	84%	84%	86%
Gardening	64%	73%	69%	71%	76%	79%
Hiking	59%	60%	67%	72%	59%	72%
BBQ/picnic/social gathering	64%	58%	59%	58%	59%	64%
Community Events	65%	60%	52%	54%	63%	57%
Wildlife watching/bird watching/nature appreciation	53%	53%	62%	61%	61%	76%
Dog walking	41%	39%	54%	58%	46%	56%
Swimming: outdoors at the beach	44%	44%	45%	55%	45%	54%
Cycling/mountain biking	43%	46%	47%	43%	46%	52%
Swimming: indoors (casual/drop-in basis)	47%	46%	38%	54%	43%	45%
Camping	39%	26%	41%	57%	44%	53%
Golf	36%	40%	35%	22%	38%	32%
Fitness classes (e.g. spin, yoga, boot camp)	30%	38%	31%	32%	26%	30%
Fitness training at a gym	30%	31%	35%	32%	34%	27%
Performing arts (e.g. program, play)	30%	37%	23%	32%	34%	28%
Kayaking/Canoeing/Paddle Sport	27%	25%	39%	32%	31%	51%
Swimming: indoors (registered program or class)	28%	28%	18%	29%	23%	25%
Visual arts (e.g. painting, pottery, quilting)	25%	26%	17%	27%	23%	38%
Boating (motorized)	20%	14%	30%	28%	25%	35%
Ice skating (drop in skating/shinny)	24%	18%	19%	27%	25%	19%
Dance	14%	13%	13%	19%	16%	17%
Indoor gymnasium sports	13%	11%	11%	19%	15%	17%
Tennis	12%	11%	8%	9%	13%	12%
Curling	14%	8%	10%	6%	13%	4%
Pickleball	11%	10%	10%	4%	14%	6%
Agricultural (e.g. equestrian, rodeo)	9%	7%	11%	28%	5%	17%
Ball (baseball, softball, slo-pitch)	11%	8%	7%	7%	10%	7%
Hockey (structured/league)	9%	5%	10%	9%	10%	3%
Outdoor court/paved surface sports	8%	6%	6%	9%	8%	13%
Soccer	8%	6%	8%	9%	9%	8%
Gymnastics	5%	4%	6%	9%	5%	6%
Ice skating program	8%	3%	4%	9%	4%	4%
Beach Volleyball	7%	3%	4%	7%	5%	4%
Swimming: indoors (aquatics sport organization)	4%	4%	8%	4%	5%	5%
Track and field	3%	3%	5%	5%	3%	2%
Lawnbowling	4%	2%	1%	2%	4%	1%
Rollerblading/inline skating	4%	1%	2%	4%	4%	1%
Football	2%	1%	2%	4%	2%	0%
Lacrosse	2%	1%	1%	1%	2%	1%
Rugby	1%	1%	3%	0%	2%	1%

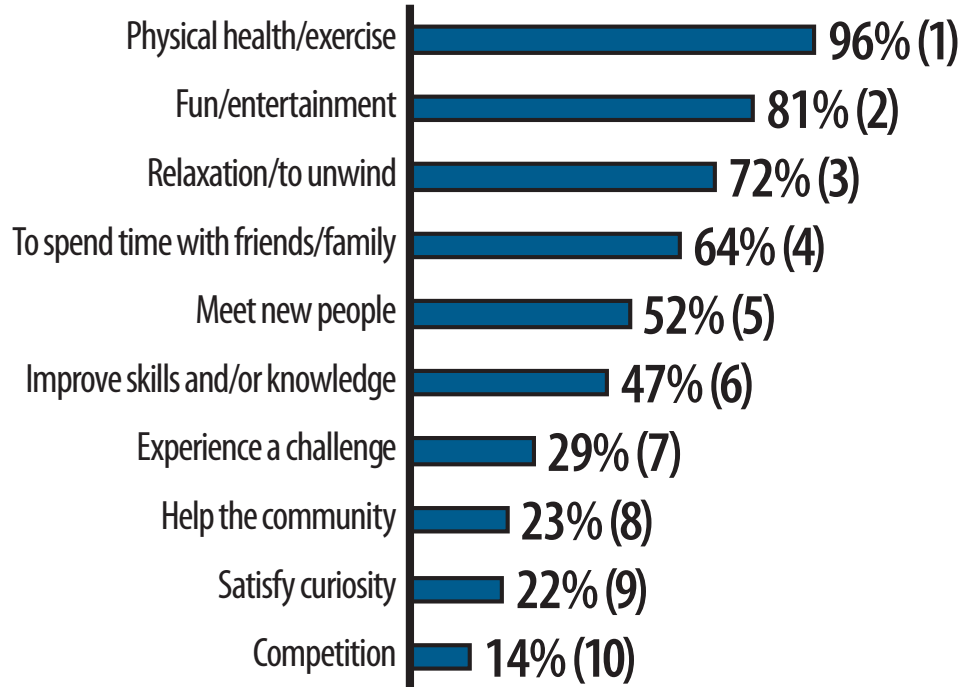
Reasons for Participating

QUESTION:

What are the main reasons you and/or members of your household participate in recreation and related activities?

Physical health/exercise (96%) is the top reason for recreation participation. This holds true for each electoral area as well.

Overall Results

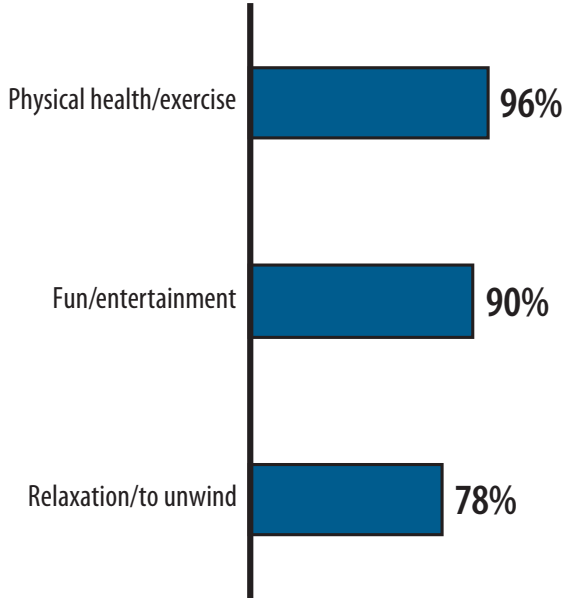


Results by Area

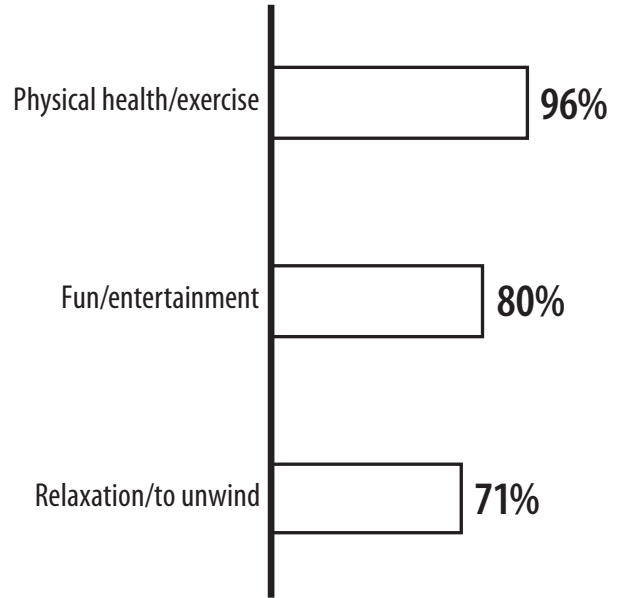
Reason	PV	QB	E	F	G	H
Physical health/exercise	95%	96%	96%	95%	97%	98%
Fun/entertainment	82%	81%	78%	78%	84%	90%
Relaxation/to unwind	73%	70%	70%	77%	71%	81%
To spend time with friends/family	64%	66%	62%	71%	65%	65%
Meet new people	55%	52%	49%	55%	50%	52%
Improve skills and/or knowledge	45%	44%	51%	52%	48%	49%
Experience a challenge	26%	29%	31%	31%	30%	37%
Help the community	22%	25%	22%	28%	19%	25%
Satisfy curiosity	23%	21%	20%	25%	23%	25%
Competition	14%	12%	18%	16%	16%	12%

Households with Children VS. Households without Children

**Households with Children:
Top 3 Reasons for Recreation Participation**



**Households without Children:
Top 3 Reasons for Recreation Participation**



Additional Analysis

Households with members over the age of 60 years	%
Top 3 reasons for recreation participation	
Physical Health/Exercise	96%
Fun/Entertainment	79%
Relaxation/unwind	69%
Households with members 9 years and younger	%
Top 3 reasons for recreation participation	
Fun/Entertainment	96%
Physical Health/Exercise	95%
To spend time with friends/family	84%

Takeaways

- Physical health/exercise is the top reason for participating in recreation.
- Fun/entertainment is the second most prevalent reason. This reason is especially high among households with members nine years and younger.

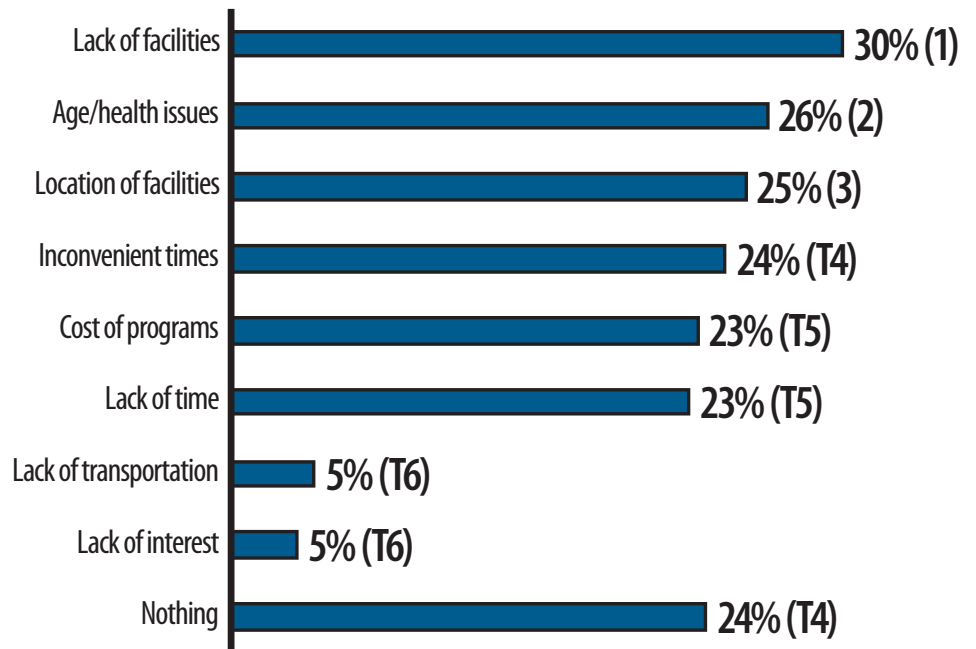
Barriers to Participation

Overall Results

QUESTION:

What, if anything, limits you and/or members of your household from participating in recreation opportunities?

Overall, lack of facilities (30%) is the number one barrier to recreation participation. Cost of programs is a higher barrier in Area F compared to the overall results. Lack of transportation is more prevalent in Area H compared to other areas.

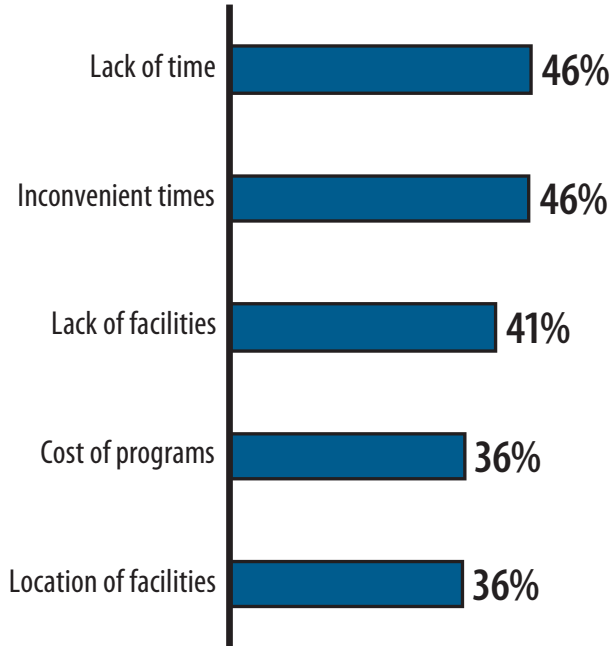


Results by Area

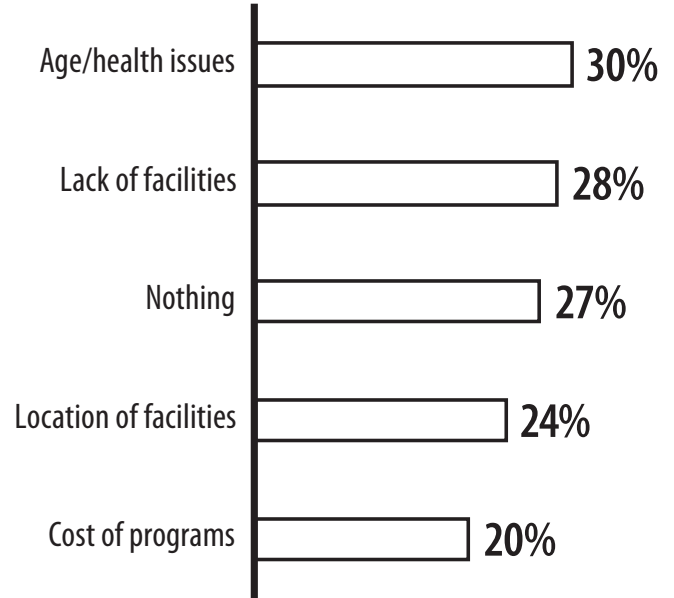
Barrier	PV	QB	E	F	G	H
Lack of facilities	31%	30%	28%	39%	31%	26%
Age/health issues	29%	28%	20%	20%	29%	21%
Location of facilities	32%	10%	36%	30%	23%	43%
Inconvenient times	26%	21%	23%	30%	29%	26%
Cost of programs	24%	22%	17%	38%	22%	25%
Lack of time	21%	19%	24%	34%	22%	29%
Lack of transportation	5%	4%	6%	8%	5%	12%
Lack of interest	5%	3%	5%	6%	4%	5%
Nothing	21%	27%	28%	14%	24%	19%
Competition	14%	12%	18%	16%	16%	12%

Households with Children VS. Households without Children

Households with Children: Top 5 Participation Barriers



Households without Children: Top 5 Participation Barriers



Additional Analysis

Household Type	Cost of Programs	Lack of Transportation	Location of Facilities
Single Adult(s) with no Dependent Children	25%	5%	24%
Single Parent with Dependent Children	30%	20%	40%
Couple with no Dependent Children	18%	3%	23%
Couple with Dependent Children	37%	11%	35%

Takeaways

- Lack of facilities is the top overall barrier.
- Area H residents see the location of facilities as their top barrier; lack of transportation is more of a barrier here than other jurisdictions.
- Cost of programs is a barrier for Area F residents.

Utilization: City of Parksville

Overall Results

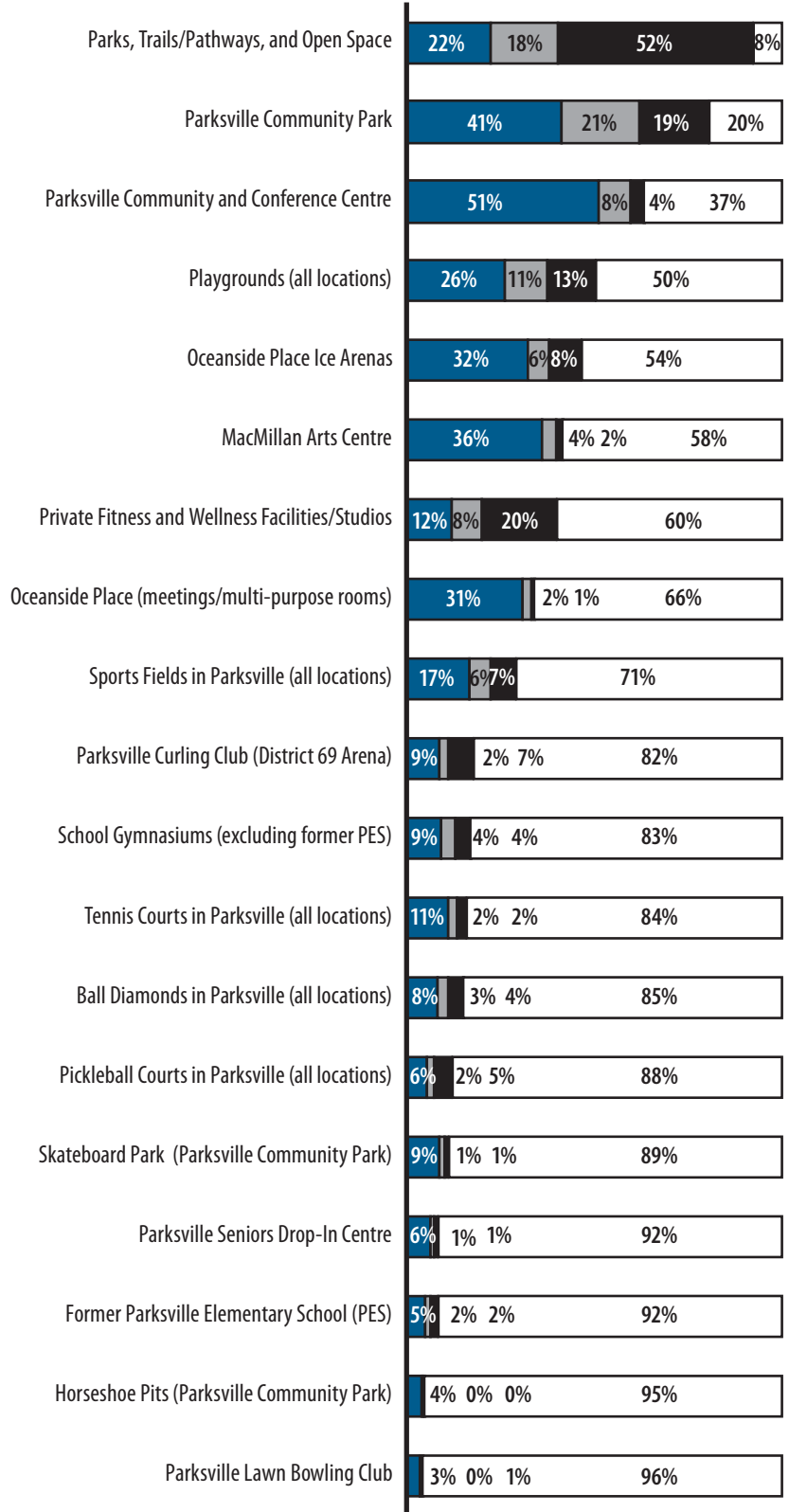
QUESTION:
 For each of the following recreation facilities and spaces in the **City of Parksville**, please estimate how frequently in the previous twelve (12) months someone in your household used or visited it.

92% of all respondent households have used the parks, trails, pathways, and open spaces in Parksville over the past year. Over half of Parksville households (53%) have use the Oceanside Place Ice Arenas in the past year.

Takeaways

- Parksville parks, trails/pathways, and open space are highly utilized by residents in each jurisdiction.
- Over half of Parksville, Area F, and Area G residents used Oceanside Place arenas while less Area H and E residents used the facility.
- About a quarter of Parksville and Area G residents used the District 69 Arena (curling club) while other jurisdictions were significantly lower.

■ 1 – 9 Total Household Uses/Visits
 ■ 21+ Total Household Uses/visits
■ 10 – 20 Total Household Uses/Visits
 □ Did Not Use of Visit



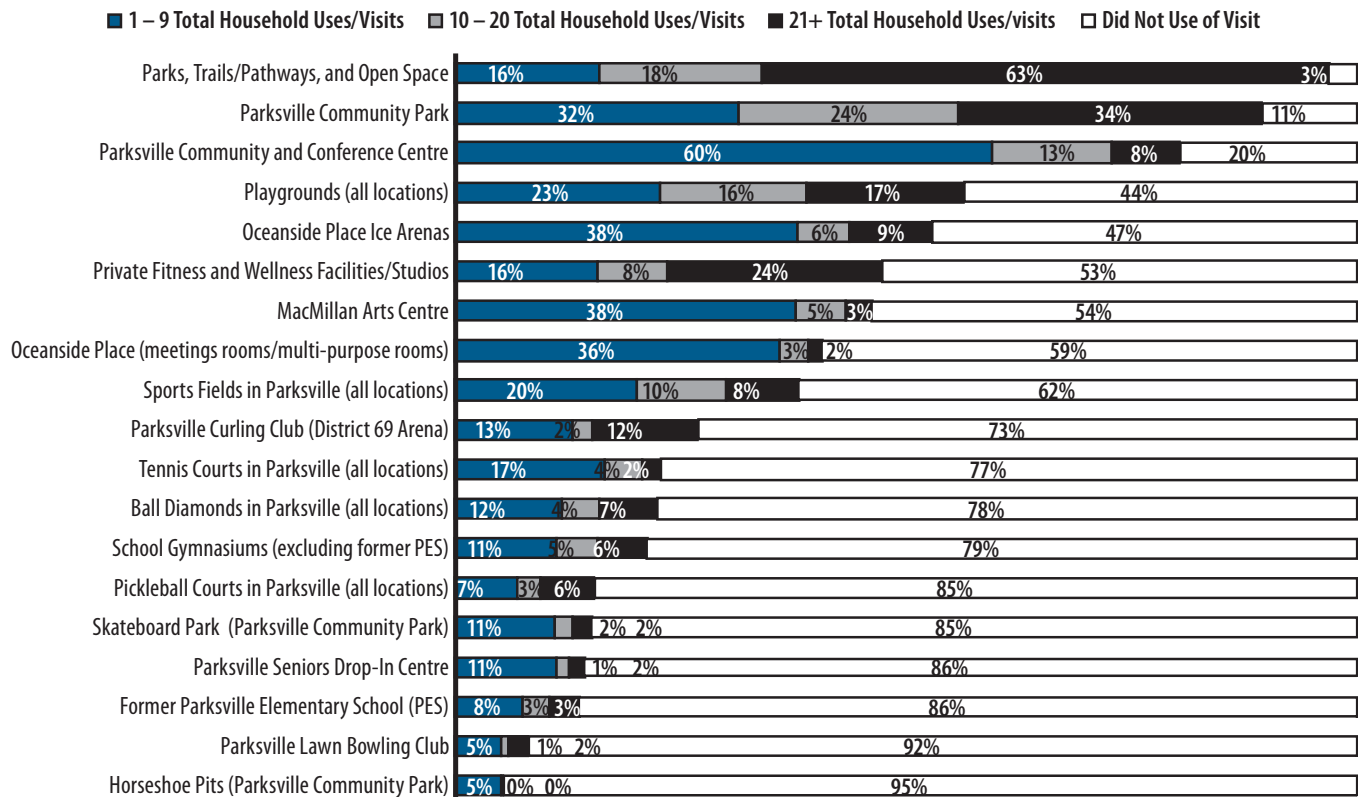
Results by Area

Percentage of households who used the space at least once in the past year.

Recreation Space	PV	QB	E	F	G	H
Parks, Trails/Pathways, and Open Space	97%	89%	94%	93%	91%	85%
Parksville Community Park	89%	76%	74%	85%	87%	55%
Parksville Community and Conference Centre	80%	58%	52%	64%	66%	33%
Playgrounds (all locations)	56%	43%	46%	59%	58%	37%
Oceanside Place Ice Arenas	53%	43%	35%	54%	57%	33%
MacMillan Arts Centre	46%	44%	29%	42%	43%	36%
Private Fitness and Wellness Facilities/Studios	47%	34%	42%	47%	44%	19%
Oceanside Place (meetings/multi-purpose rooms)	41%	32%	27%	30%	43%	17%
Sports Fields in Parksville (all locations)	38%	21%	27%	33%	33%	23%
Parksville Curling Club (District 69 Arena)	27%	10%	16%	12%	24%	4%
School Gymnasiums (excluding former PES)	21%	14%	13%	24%	21%	7%
Tennis Courts in Parksville (all locations)	23%	9%	13%	12%	22%	13%
Ball Diamonds in Parksville (all locations)	22%	12%	9%	15%	18%	5%
Pickleball Courts in Parksville (all locations)	16%	10%	12%	5%	19%	4%
Skateboard Park (Parksville Community Park)	15%	5%	6%	17%	18%	9%
Parksville Seniors Drop-In Centre	14%	5%	6%	4%	8%	5%
Former Parksville Elementary School (PES)	14%	3%	5%	18%	9%	4%
Horseshoe Pits (Parksville Community Park)	5%	3%	3%	3%	9%	4%
Parksville Lawn Bowling Club	8%	1%	1%	1%	10%	0%

Results from City of Parksville Households

Recreation Space Usage in the Past Year



Utilization: Town of Qualicum Beach

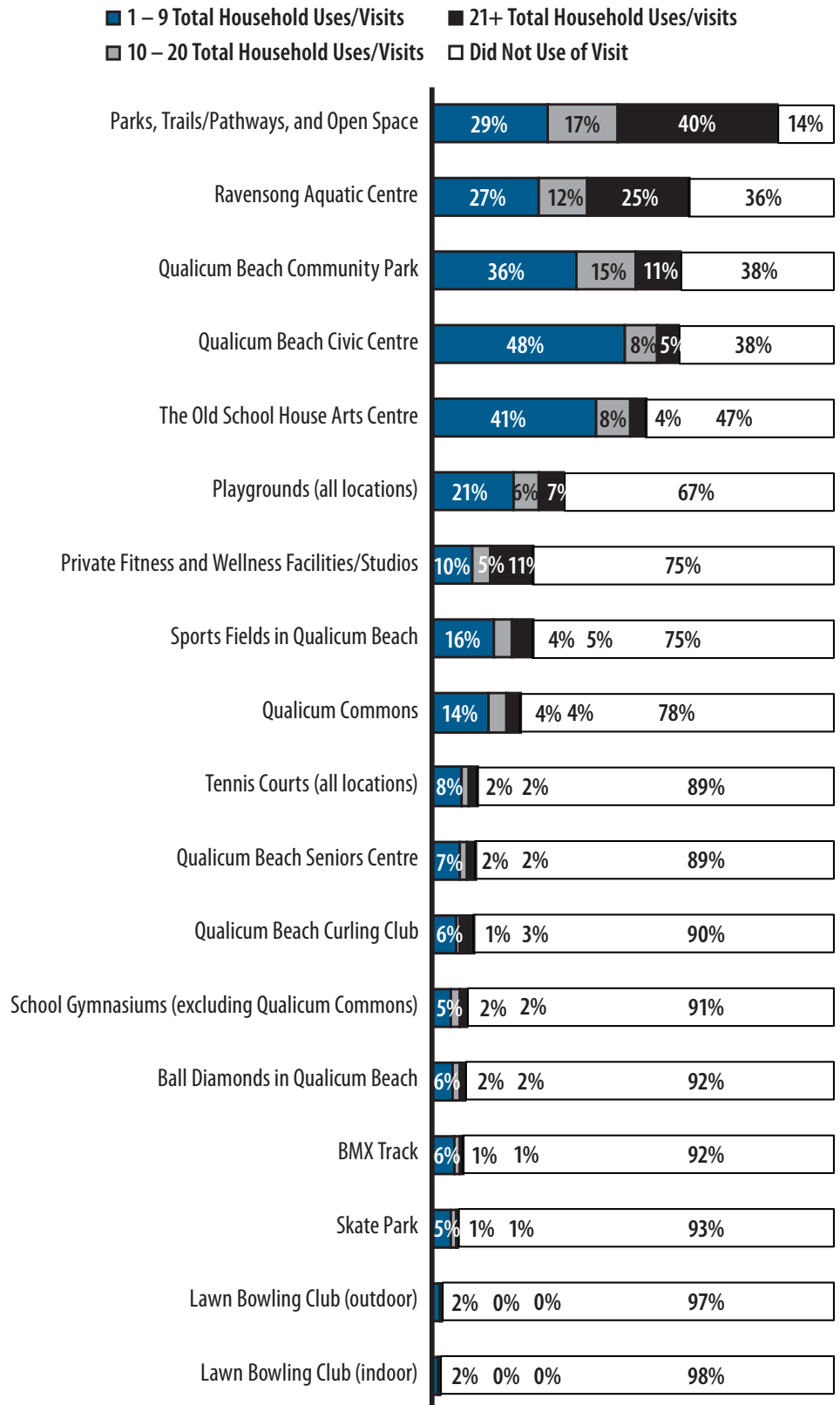
Overall Results

QUESTION:
 For each of the following recreation facilities and spaces in the **Town of Qualicum Beach**, please estimate how frequently in the previous twelve (12) months someone in your household used or visited it.

One-quarter of all respondents used Ravensong Aquatic Centre on over 21 occasions in the past year while 64% used it at least once.

Takeaways

- A lower proportion of Area E residents used Ravensong Aquatic Centre compared to other jurisdictions.



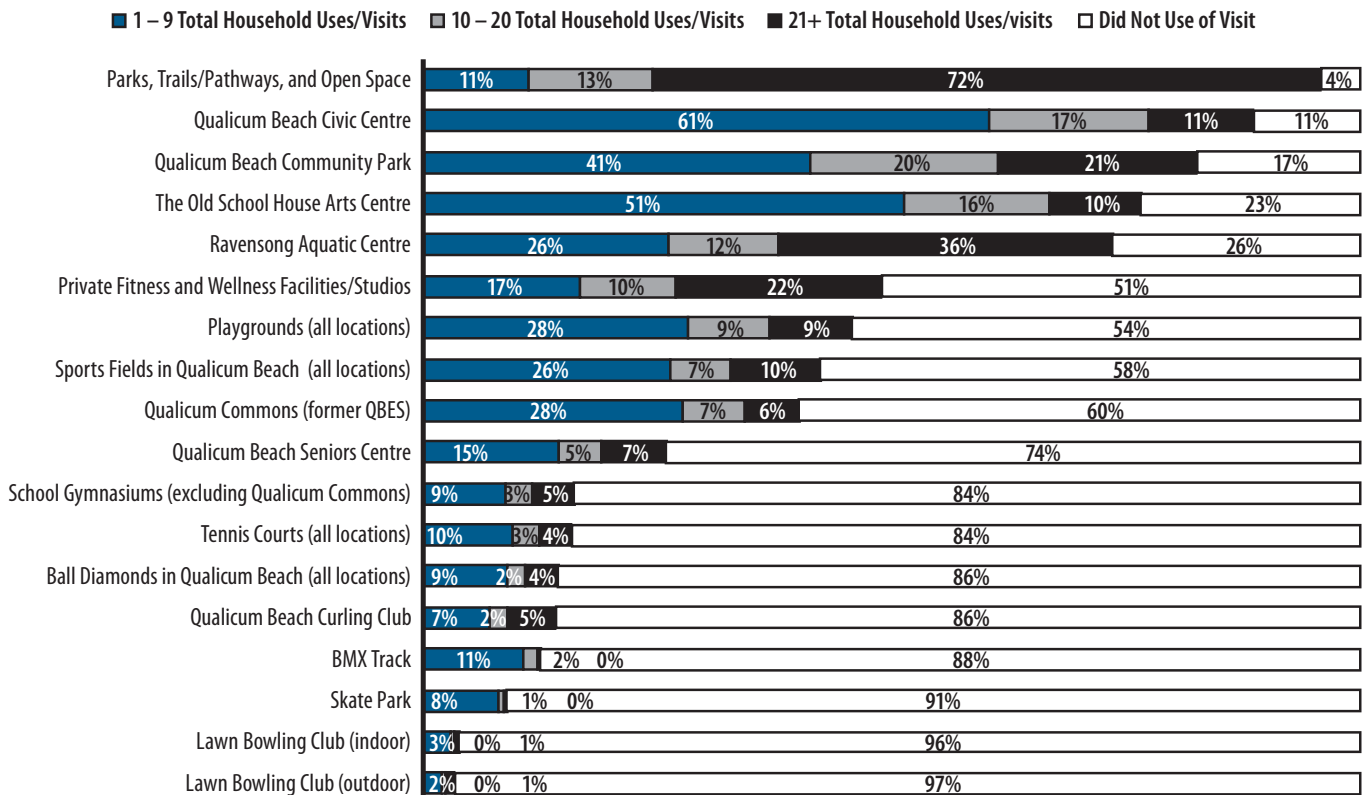
Results by Area

Percentage of households who used the space at least once in the past year.

Recreation Space	PV	QB	E	F	G	H
Parks, Trails/Pathways, and Open Space	83%	96%	75%	92%	84%	90%
Ravensong Aquatic Centre	68%	74%	35%	80%	64%	61%
Qualicum Beach Community Park	54%	83%	43%	72%	59%	54%
Qualicum Beach Civic Centre	50%	89%	30%	77%	64%	55%
The Old School House Arts Centre	45%	77%	30%	51%	54%	51%
Playgrounds (all locations)	30%	46%	17%	39%	33%	34%
Private Fitness and Wellness Facilities/Studios	13%	49%	6%	26%	26%	25%
Sports Fields in Qualicum Beach	17%	42%	13%	28%	25%	23%
Qualicum Commons	14%	40%	11%	35%	17%	16%
Tennis Courts (all locations)	8%	16%	6%	11%	17%	13%
Qualicum Beach Seniors Centre	5%	26%	3%	8%	8%	8%
Qualicum Beach Curling Club	12%	14%	5%	6%	13%	3%
School Gymnasiums (excluding Qualicum Commons)	6%	16%	5%	11%	10%	9%
Ball Diamonds in Qualicum Beach	7%	14%	2%	8%	10%	7%
BMX Track	3%	13%	4%	10%	11%	11%
Skate Park	4%	9%	3%	14%	7%	14%
Lawn Bowling Club (outdoor)	4%	3%	1%	0%	3%	2%
Lawn Bowling Club (indoor)	2%	4%	1%	0%	3%	2%

Results from Town of Qualicum Beach Households

Recreation Space Usage in the Past Year



Utilization: Area E

Overall Results

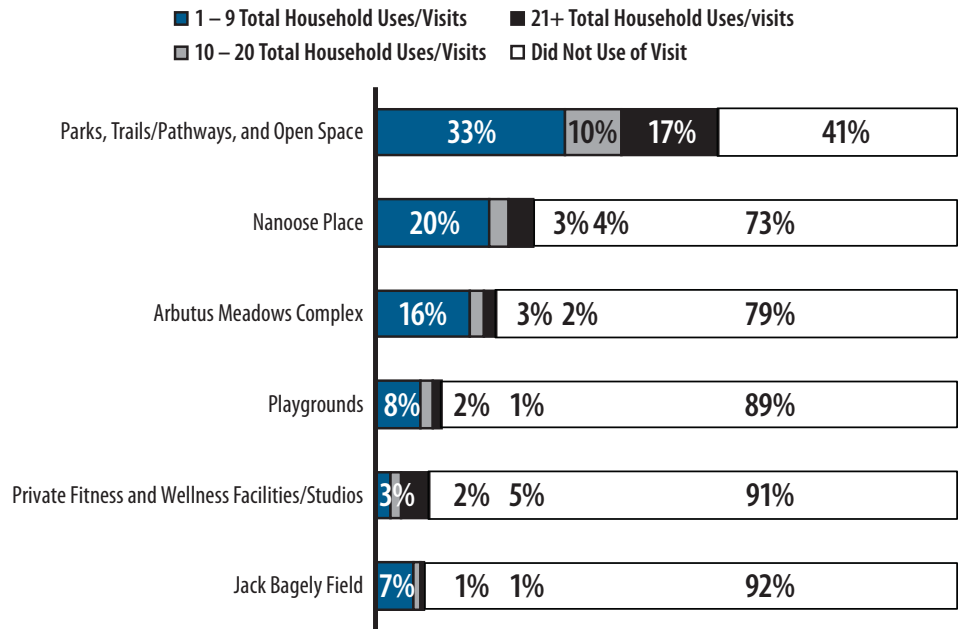
QUESTION:

For each of the following recreation facilities and spaces in **Electoral Area E (Nanoose Bay)**, please estimate how frequently in the previous twelve (12) months someone in your household used or visited it.

As seen on the second graph, 95% of Area E households used parks and outdoor spaces and 74% used Nanoose Place in the past year.

Takeaways

- Nanoose Place receives most of its usage by Area E residents
- With the exception of Area H residents, all jurisdictions made good use (at least 49%) of Parks, trails/pathways, and open space in Area E.



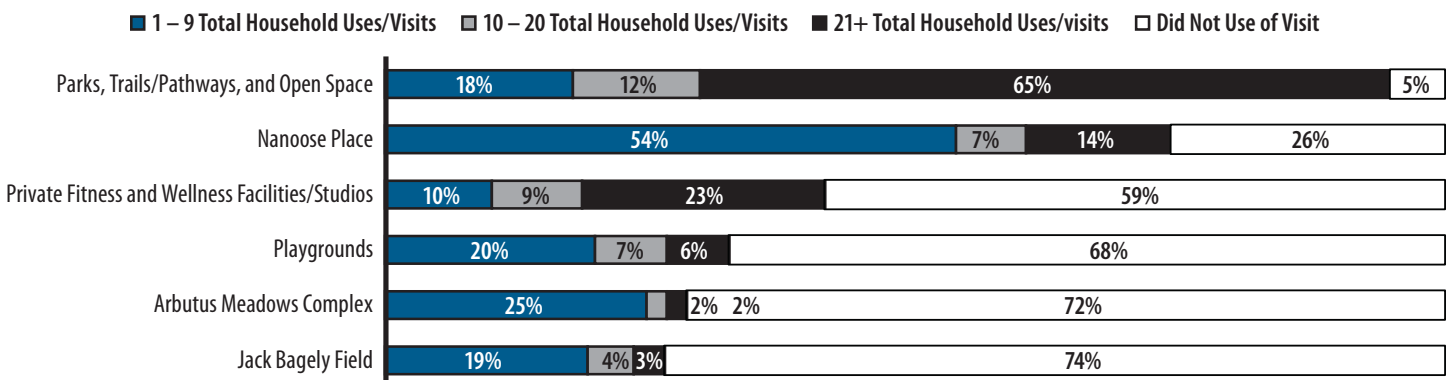
Results by Area

Percentage of households who used the space at least once in the past year.

Recreation Space	PV	QB	E	F	G	H
Parks, Trails/Pathways, and Open Space	57%	49%	95%	50%	53%	36%
Nanoose Place	24%	14%	74%	14%	17%	7%
Arbutus Meadows Complex	22%	16%	29%	26%	22%	9%
Playgrounds	10%	4%	32%	5%	9%	3%
Private Fitness and Wellness Facilities/Studios	3%	4%	41%	0%	2%	1%
Jack Bagely Field	6%	3%	26%	8%	3%	5%

Results from Area E Households

Recreation Space Usage in the Past Year



Utilization: Area F

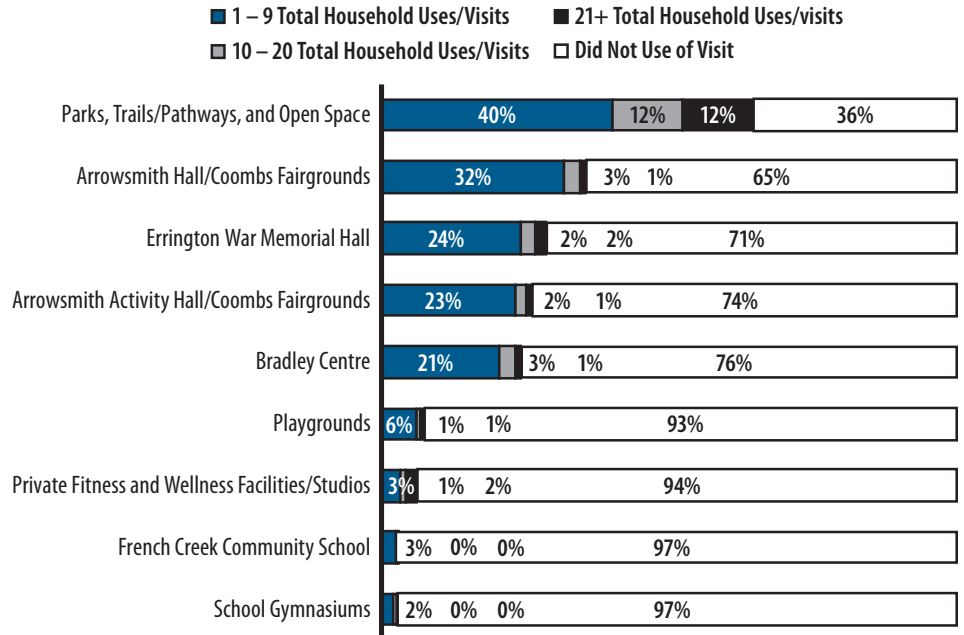
Overall Results

QUESTION:
For each of the following recreation facilities and spaces in **Electoral Area F (Errington, Coombs, Hilliers, Whiskey Creek, Meadowood)**, please estimate how frequently in the previous twelve (12) months someone in your household used or visited it.

Sixty-nine percent (69%) of Area F households used Arrowsmith Hall/ Coombs Fairgrounds in the past year.

Takeaways

- At least 59% of residents in each jurisdiction used parks, trails/ pathways, and open space in Area F.



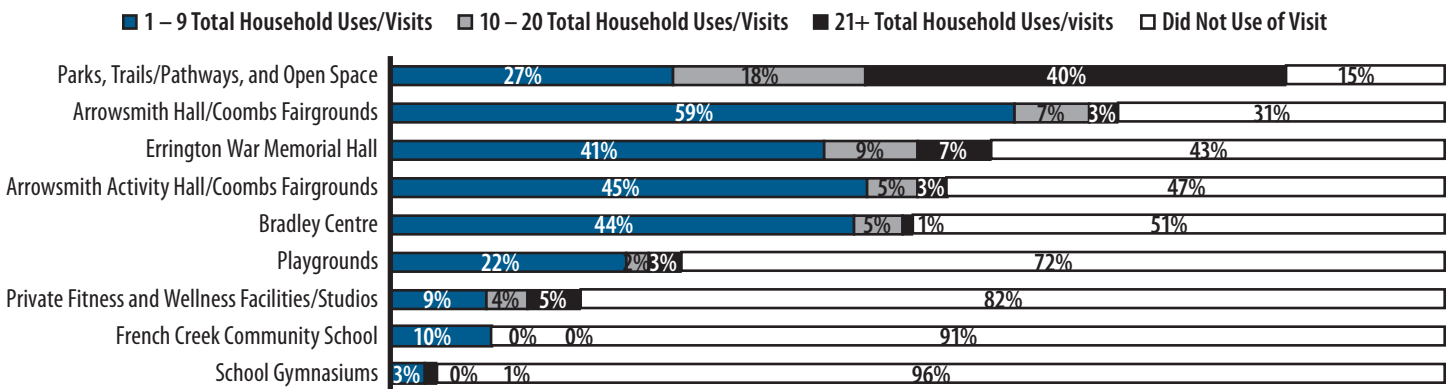
Results by Area

Percentage of households who used the space at least once in the past year.

Recreation Space	PV	QB	E	F	G	H
Parks, Trails/Pathways, and Open Space	66%	64%	59%	85%	62%	59%
Arrowsmith Hall/ Coombs Fairgrounds	37%	33%	24%	69%	35%	29%
Errington War Memorial Hall	30%	27%	14%	57%	30%	26%
Arrowsmith Activity Hall/ Coombs Fairgrounds	29%	26%	16%	53%	25%	18%
Bradley Centre	24%	21%	16%	50%	24%	25%
Playgrounds	6%	5%	5%	28%	6%	7%
Private Fitness and Wellness Facilities/Studios	4%	7%	3%	18%	7%	3%
School Gymnasiums	2%	4%	2%	4%	2%	2%
French Creek Community School	2%	1%	0%	10%	5%	2%

Results from Area F Households

Recreation Space Usage in the Past Year



Utilization: Area G

Overall Results

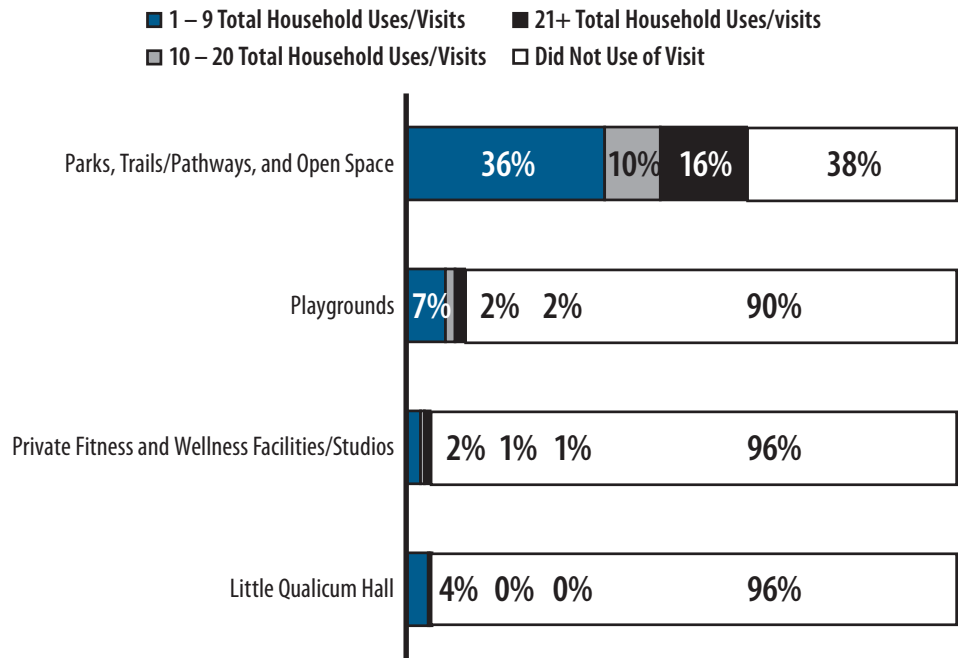
QUESTION:

For each of the following recreation facilities and spaces in **Electoral Area G (San Pareil, French Creek, Surfside, Dashwood)**, please estimate how frequently in the previous twelve (12) months someone in your household used or visited it.

Eighty-four percent (84%) of Area G households used parks and outdoor spaces in the past 12 months.

Takeaways

- Parks, trails/pathways, and open space are well utilized.



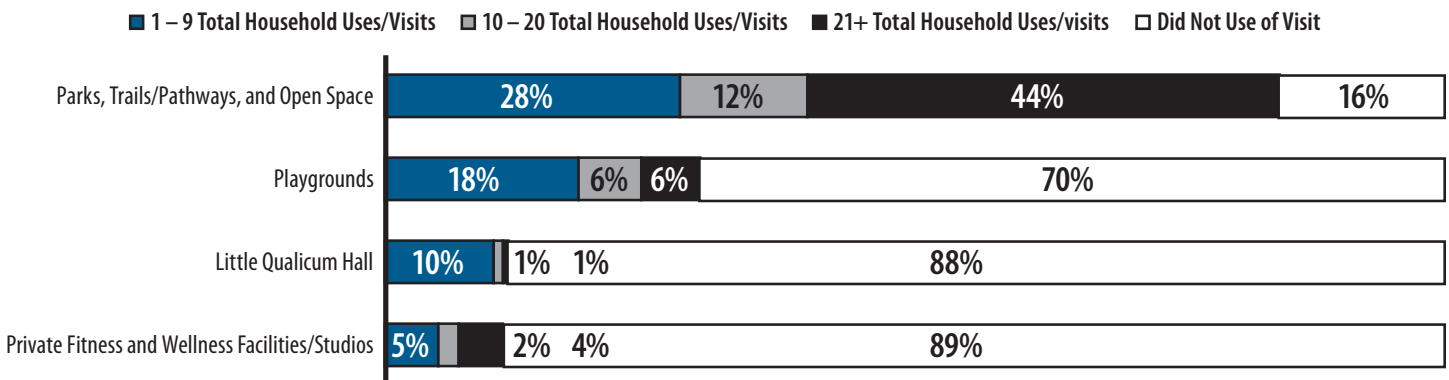
Results by Area

Percentage of households who used the space at least once in the past year.

Recreation Space	PV	QB	E	F	G	H
Parks, Trails/Pathways, and Open Space	60%	60%	48%	62%	84%	50%
Playgrounds	7%	7%	4%	11%	30%	5%
Private Fitness and Wellness Facilities/Studios	2%	5%	3%	1%	11%	3%
Little Qualicum Hall	3%	3%	1%	4%	12%	6%

Results from Area G Households

Recreation Space Usage in the Past Year



Utilization: Area H

QUESTION:

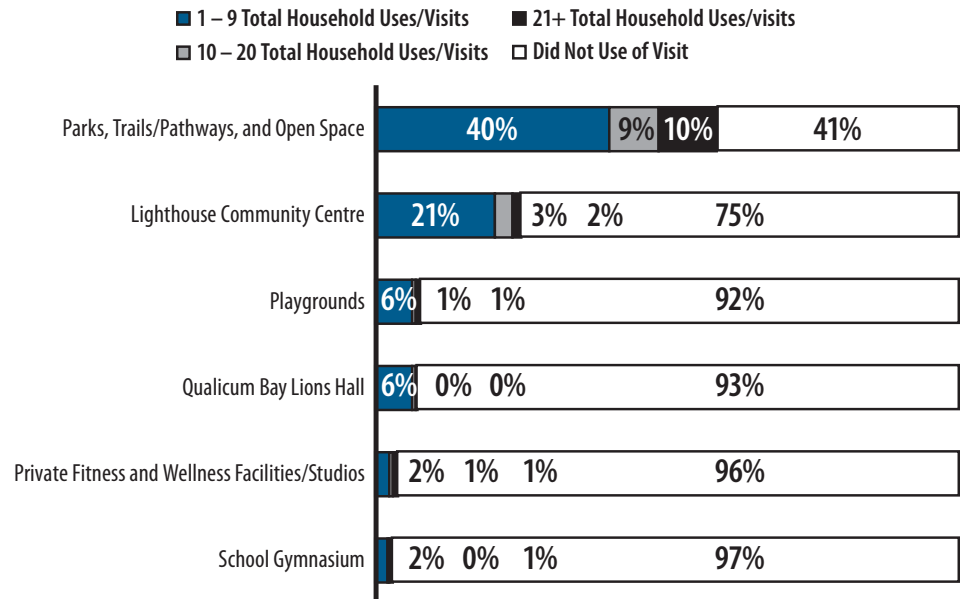
For each of the following recreation facilities and spaces in **Electoral Area H (Qualicum Bay, Bowser, Deep Bay, Dunsmuir, Horne Lake, Spider Lake)**, please estimate how frequently in the previous twelve (12) months someone in your household used or visited it.

In regard to Area H households, 82% used the Lighthouse Community Centre in the past year.

Takeaways

- At least 45% of residents in other jurisdictions used parks, trails/pathways, and open space in Area H.
- One-third of Area F residents used the Lighthouse Community Centre.

Overall Results



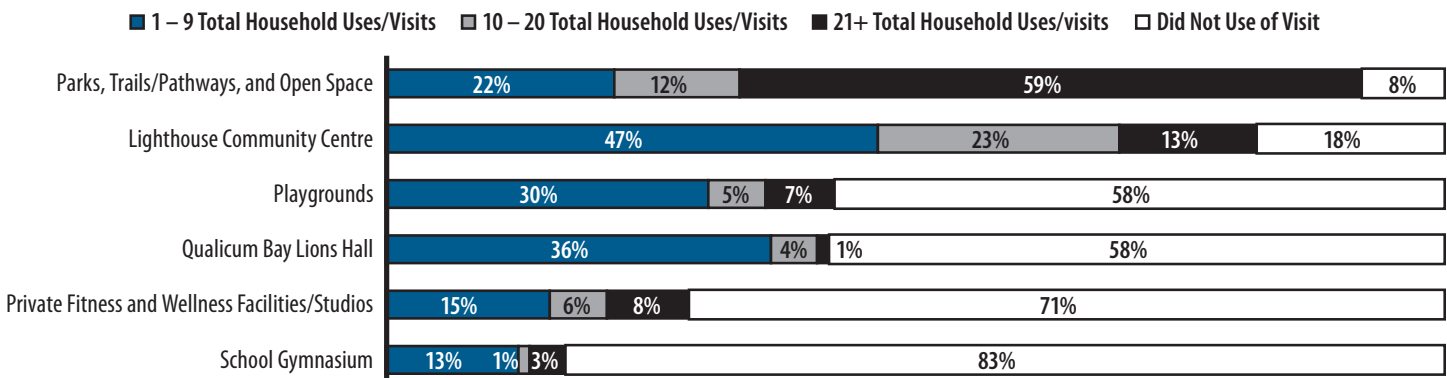
Results by Area

Percentage of households who used the space at least once in the past year.

Recreation Space	PV	QB	E	F	G	H
Parks, Trails/Pathways, and Open Space	55%	65%	45%	64%	53%	92%
Lighthouse Community Centre	18%	25%	8%	32%	22%	82%
Playgrounds	4%	4%	3%	13%	6%	42%
Qualicum Bay Lions Hall	4%	5%	0%	8%	6%	42%
Private Fitness and Wellness Facilities/Studios	1%	2%	0%	4%	2%	29%
School Gymnasium	1%	2%	0%	5%	3%	17%

Results from Area H Households

Recreation Space Usage in the Past Year



Leaving District 69 for Recreation

QUESTION:

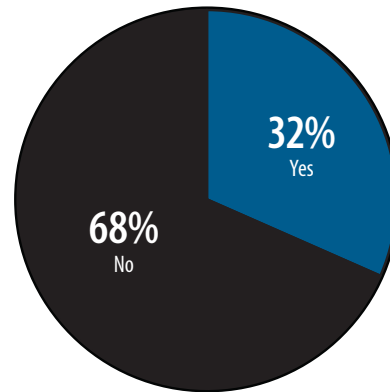
Do members of your household travel outside of District 69 (Oceanside) to access recreation facilities because they are not readily or sufficiently available?*

If “Yes”, what types of facilities do members of your household travel outside of District 69 (Oceanside) to access because they are not readily or sufficiently available?

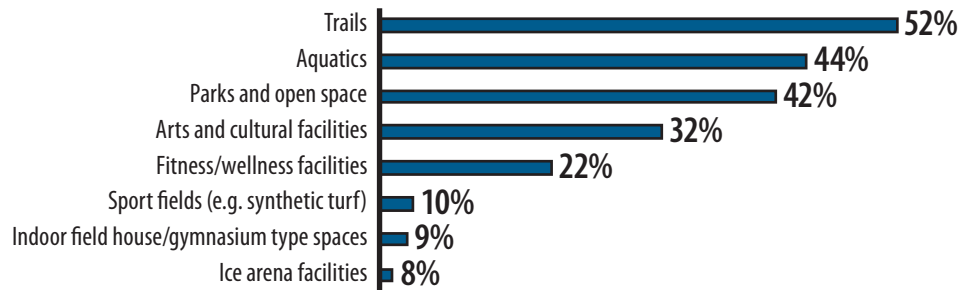
* Excluding “away games” and competitions.

Over two-thirds (68%) of households do not leave District 69 for recreation activities that are not sufficiently provided in Oceanside. Of those who do leave, 52% leave for trails and 44% leave for aquatics.

Overall Results



Amenities Residents Leave District 69 to Access



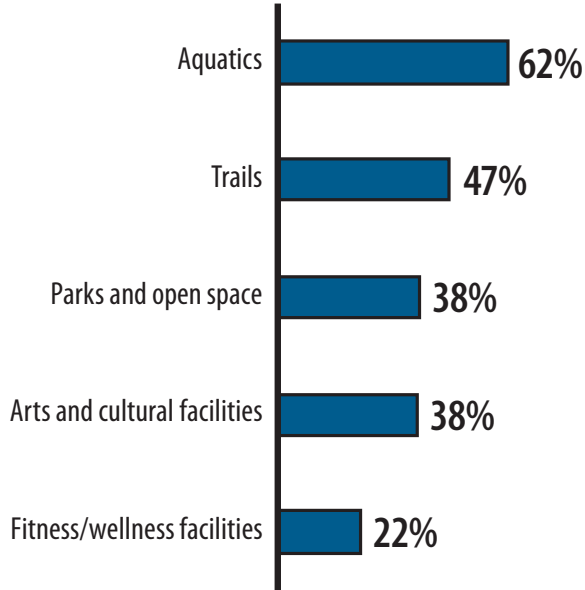
Results by Area

Leave District 69 for Recreation	PV	QB	E	F	G	H
Yes	33%	26%	39%	34%	33%	41%
No	67%	75%	61%	66%	67%	59%

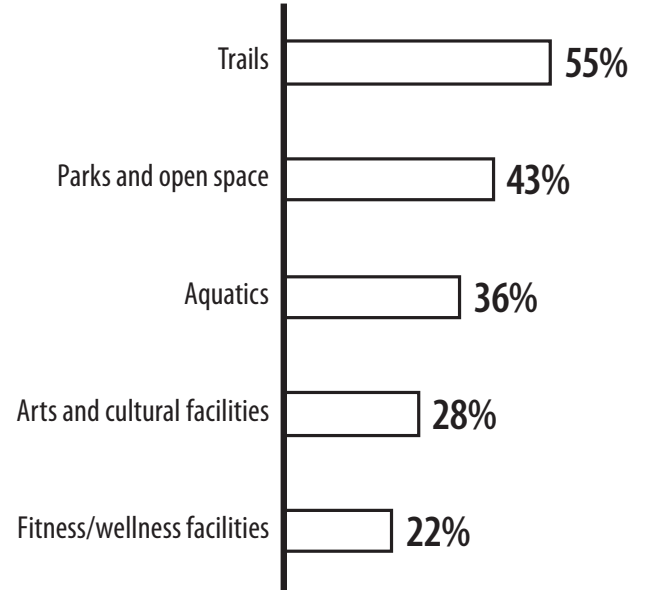
Amenity Residents Leave District 69 to Access	PV	QB	E	F	G	H
Trails	51%	50%	51%	52%	48%	67%
Aquatics	56%	30%	35%	46%	56%	43%
Parks and open space	41%	34%	41%	48%	39%	60%
Arts and cultural facilities	30%	31%	39%	30%	28%	29%
Fitness/wellness facilities	19%	18%	25%	9%	32%	31%
Sport fields (e.g. synthetic turf)	12%	10%	7%	9%	11%	7%
Indoor field house/gymnasium type spaces	9%	9%	7%	11%	15%	2%
Ice arena facilities	5%	8%	7%	16%	12%	7%

Households with Children VS. Households without Children

**Households with Children:
Top 5 Amenities Sought Outside of District 69**



**Households without Children:
Top 5 Amenities Sought Outside of District 69**



Takeaways

- Households with children are the main demographic likely to leave District 69 for use of aquatic spaces.

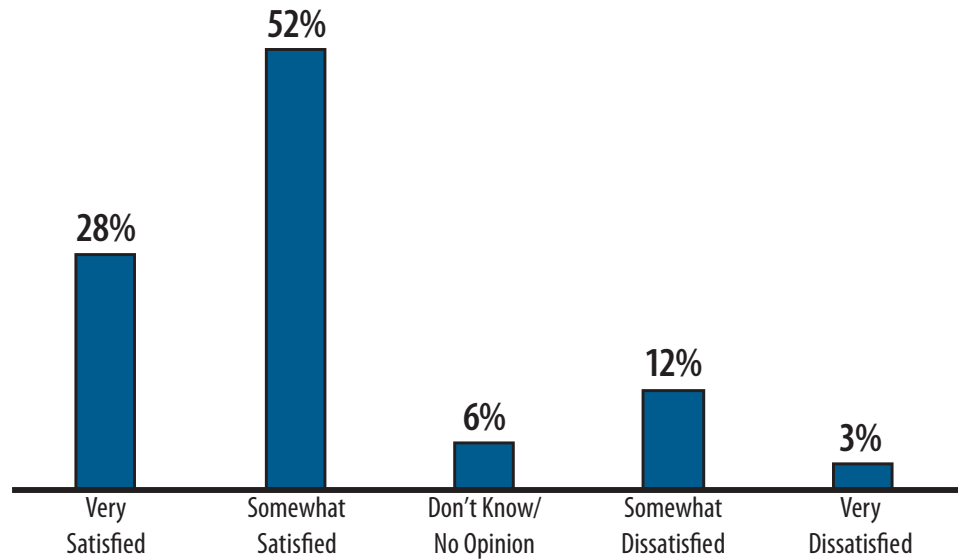
Overall Satisfaction

Overall Results

QUESTION:

Overall, how satisfied is your household with recreation services and facilities provided by the Regional District of Nanaimo in District 69 (Oceanside)?

Overall, 80% of residents indicated that they are satisfied with recreation services and facilities provided by the Regional RDN in District 69. Only 15% indicated a level of dissatisfaction.

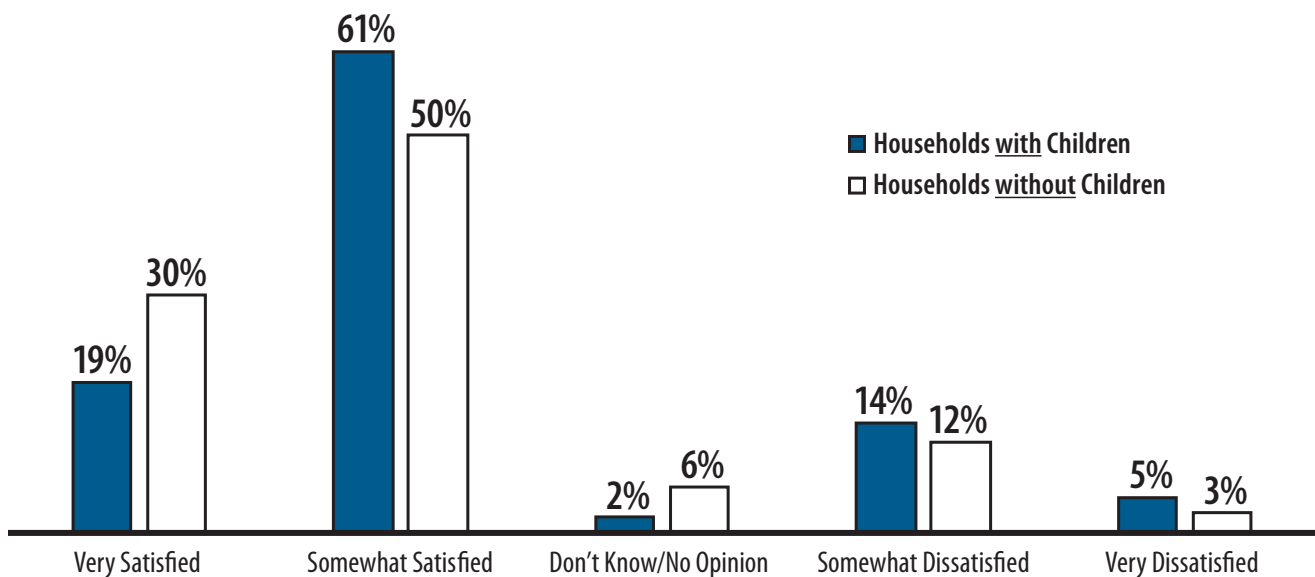


Results by Area

Level of Satisfaction	PV	QB	E	F	G	H
Very Satisfied	26%	33%	26%	22%	28%	28%
Somewhat Satisfied	53%	52%	51%	54%	50%	50%
Don't Know/No Opinion	4%	2%	12%	2%	5%	9%
Somewhat Dissatisfied	13%	11%	8%	22%	13%	12%
Very Dissatisfied	4%	2%	3%	2%	3%	2%

Households with Children VS. Households without Children

Level of Satisfaction with Recreation Services in District 69

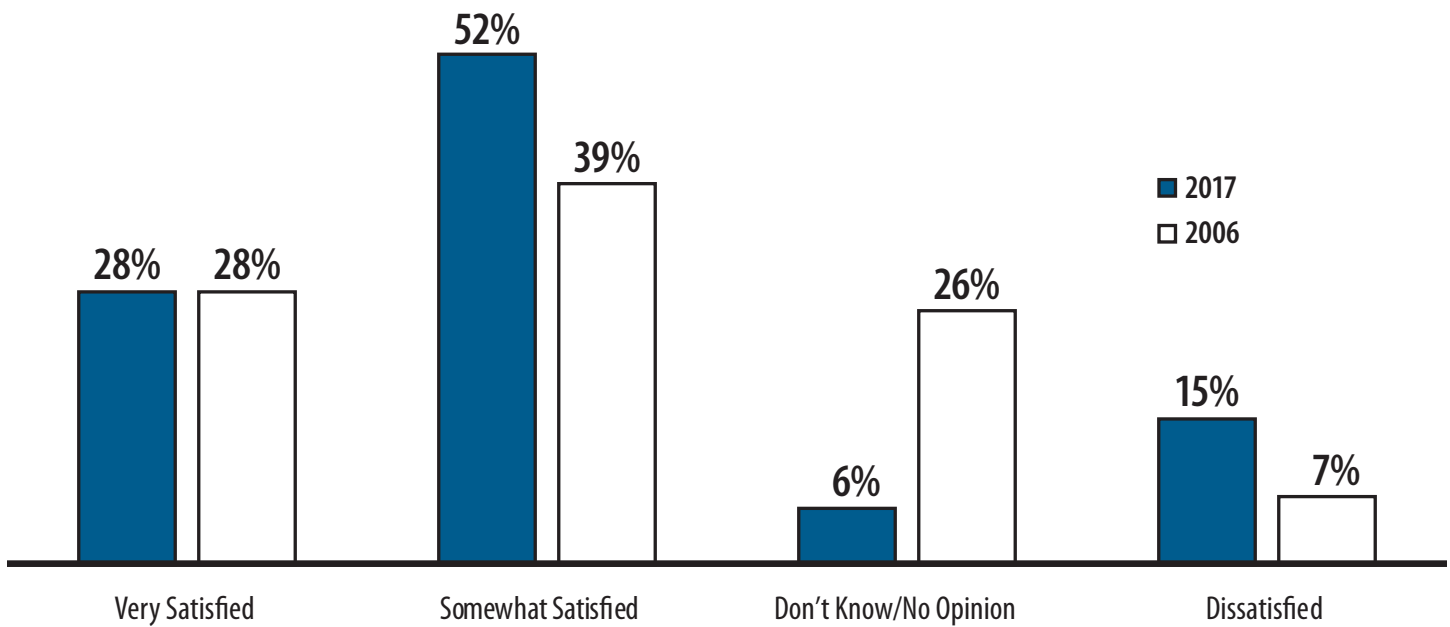


Additional Analysis

Importance of Recreation to Quality of Life	Very Satisfied	Somewhat Satisfied	Don't Know/ No Opinion	Somewhat Dissatisfied	Very Dissatisfied
Respondents who identified that recreation is "very important" to their household's quality of life	28%	51%	3%	13%	4%
Respondents who identified that recreation is "not important" to their household's quality of life	38%	27%	30%	5%	0%

2006 VS. 2017 Satisfaction Comparison

Level of Satisfaction with Recreation Services in District 69



Takeaways

- The majority of residents are satisfied with recreation services.
- Overall satisfaction levels improved by 13% from 2006 to 2017 (67% to 80%). Dissatisfaction levels increased by 8% (7% to 15%). Also worth noting, 20% fewer residents in 2017 indicated that they didn't know / had no opinion (possibly reflecting increased awareness or RDN recreation offerings in District 69).
- Area F displays the highest level of dissatisfaction among the six jurisdictions.

Satisfaction: Facility Maintenance

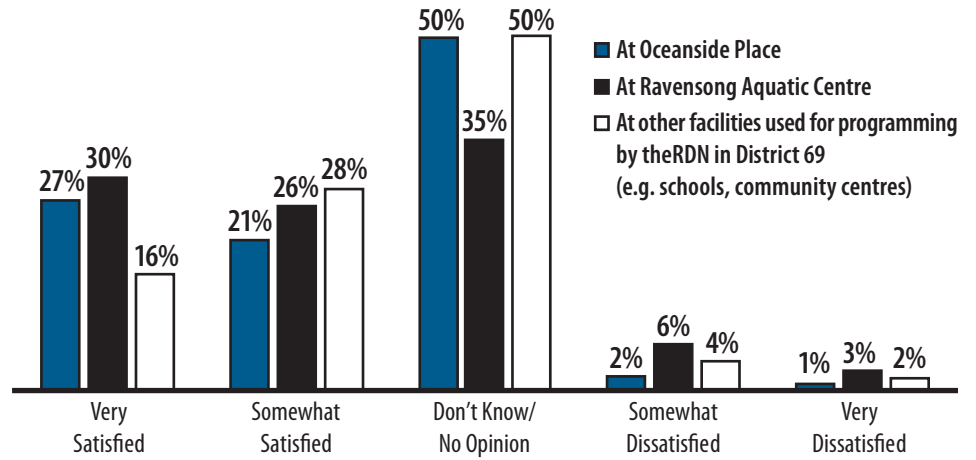
QUESTION:

Please indicate your level of satisfaction with the following aspects of recreation services in District 69 (Oceanside): **Facility Maintenance.**

Forty-eight percent (48%) of residents are satisfied to some extent with the facility maintenance at Oceanside Place.

* Those that responded "Don't Know/No Opinion" may not be facility users and thus weren't able to indicate their level satisfaction.

Overall Results



Results by Area

At Oceanside Place	PV	QB	E	F	G	H
Very Satisfied	31%	24%	17%	29%	34%	21%
Somewhat Satisfied	26%	20%	17%	24%	23%	12%
Don't Know/No Opinion	39%	55%	63%	44%	40%	64%
Somewhat Dissatisfied	3%	1%	2%	3%	2%	2%
Very Dissatisfied	1%	1%	1%	0%	2%	1%
At Ravensong Aquatic Centre	PV	QB	E	F	G	H
Very Satisfied	29%	39%	13%	32%	31%	26%
Somewhat Satisfied	28%	26%	17%	41%	26%	26%
Don't Know/No Opinion	33%	24%	67%	15%	33%	42%
Somewhat Dissatisfied	7%	8%	2%	10%	7%	5%
Very Dissatisfied	3%	3%	1%	3%	3%	2%
At other facilities used for programming by the RDN in District 69 (e.g. schools, community centres)	PV	QB	E	F	G	H
Very Satisfied	18%	19%	11%	17%	16%	13%
Somewhat Satisfied	29%	28%	24%	39%	30%	23%
Don't Know/No Opinion	46%	47%	61%	40%	47%	59%
Somewhat Dissatisfied	5%	5%	3%	4%	4%	3%
Very Dissatisfied	2%	1%	2%	1%	2%	2%

Satisfaction: Customer Service

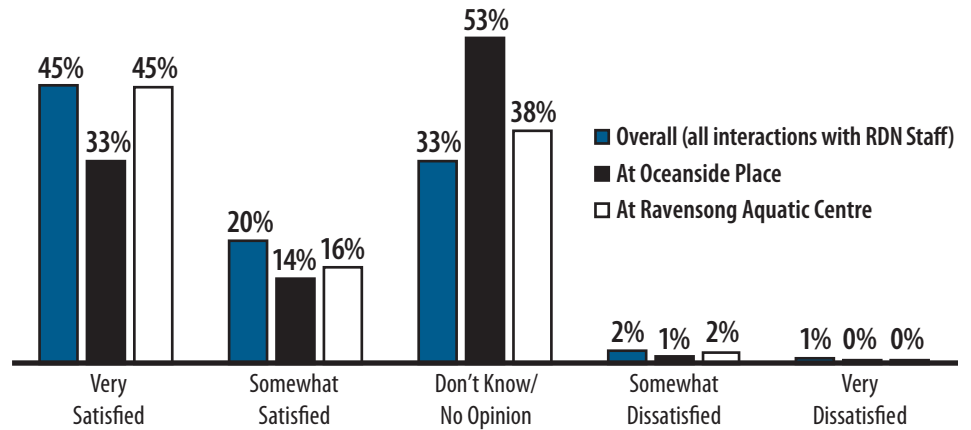
QUESTION:

Please indicate your level of satisfaction with the following aspects of recreation services in District 69 (Oceanside): **Customer Service.**

Although customer service levels appear to be higher at Ravensong compared to Oceanside Place, dissatisfaction is very low at both facilities.

* Those that responded "Don't Know/No Opinion" may not have interacted with staff and thus weren't able to indicate their level satisfaction.

Overall Results



Results by Area

Overall (all interactions with RDN staff)	PV	QB	E	F	G	H
Very Satisfied	48%	49%	34%	48%	48%	34%
Somewhat Satisfied	20%	19%	18%	25%	22%	19%
Don't Know/No Opinion	30%	30%	47%	22%	28%	43%
Somewhat Dissatisfied	2%	2%	1%	4%	1%	4%
Very Dissatisfied	1%	1%	1%	1%	1%	0%

At Oceanside Place	PV	QB	E	F	G	H
Very Satisfied	40%	30%	21%	33%	39%	23%
Somewhat Satisfied	17%	11%	13%	16%	15%	6%
Don't Know/No Opinion	42%	59%	65%	49%	43%	68%
Somewhat Dissatisfied	1%	0%	0%	2%	2%	3%
Very Dissatisfied	1%	0%	0%	0%	1%	0%

At Ravensong Aquatic Centre	PV	QB	E	F	G	H
Very Satisfied	46%	54%	20%	54%	47%	42%
Somewhat Satisfied	16%	16%	10%	23%	18%	11%
Don't Know/No Opinion	36%	28%	68%	20%	34%	44%
Somewhat Dissatisfied	2%	2%	1%	2%	1%	4%
Very Dissatisfied	1%	1%	0%	0%	0%	0%

Satisfaction: Programming

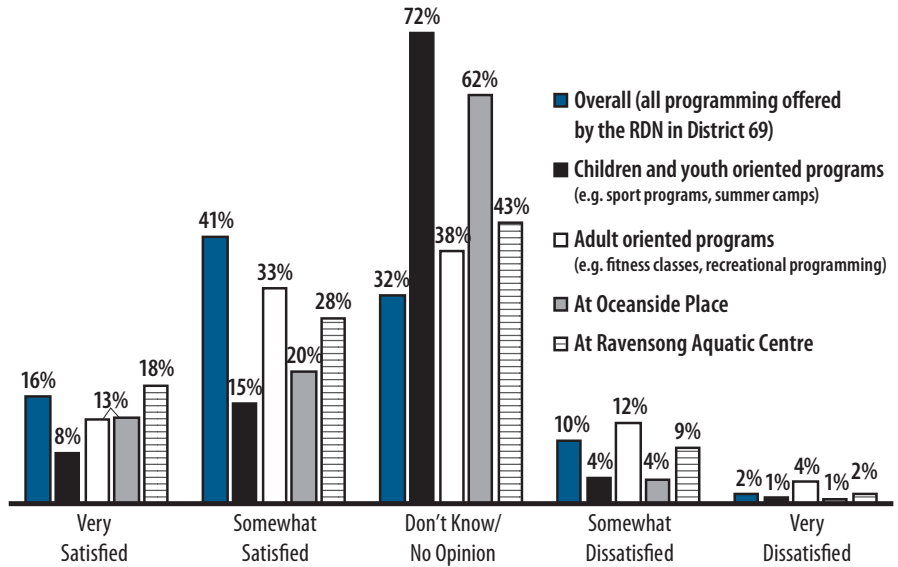
QUESTION:

Please indicate your level of satisfaction with the following aspects of recreation services in District 69 (Oceanside): **Programming.**

Overall, fifty-seven percent (57%) are satisfied with recreation programming and 12% are dissatisfied. Levels of dissatisfaction are higher for adult oriented as compared to the other programming categories, but are still relatively low (16%).

* Those that responded "Don't Know/No Opinion" may not have registered or participated in RDN programming and thus weren't able to indicate their level satisfaction.

Overall Results

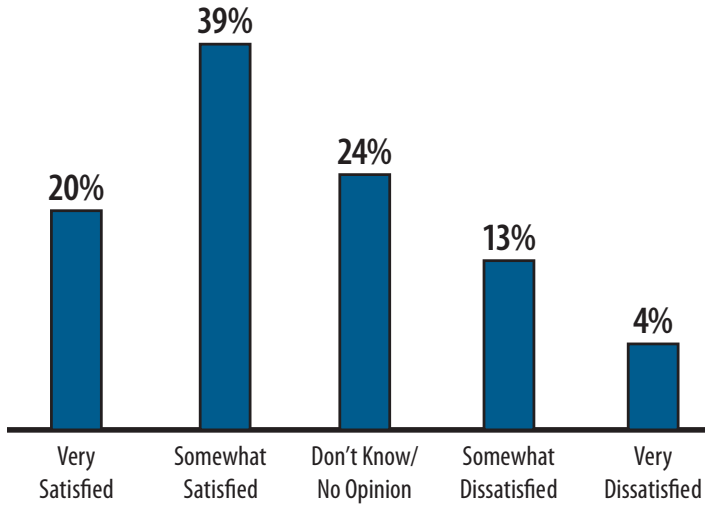


Results by Area

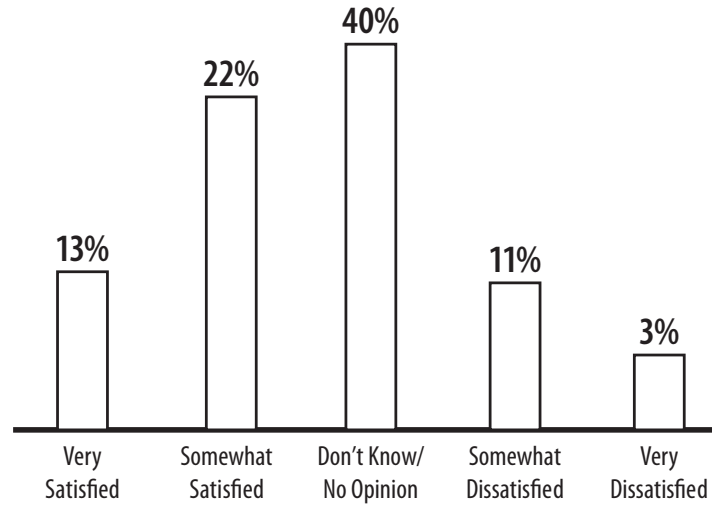
Overall (all programming offered by the RDN in District 69)	PV	QB	E	F	G	H
Very Satisfied	19%	16%	9%	14%	19%	18%
Somewhat Satisfied	38%	45%	31%	52%	43%	36%
Don't Know/No Opinion	29%	29%	51%	19%	27%	34%
Somewhat Dissatisfied	11%	8%	8%	14%	10%	11%
Very Dissatisfied	2%	1%	1%	1%	2%	1%
Children and youth oriented programs (e.g. sport programs, summer camps)	PV	QB	E	F	G	H
Very Satisfied	10%	6%	6%	10%	8%	9%
Somewhat Satisfied	14%	15%	13%	23%	16%	17%
Don't Know/No Opinion	71%	76%	78%	60%	67%	70%
Somewhat Dissatisfied	4%	3%	3%	6%	8%	2%
Very Dissatisfied	1%	0%	1%	1%	2%	2%
Adult oriented programming (e.g. fitness classes, recreational programming)	PV	QB	E	F	G	H
Very Satisfied	12%	14%	9%	11%	13%	15%
Somewhat Satisfied	33%	38%	23%	38%	36%	25%
Don't Know/No Opinion	37%	33%	57%	28%	33%	41%
Somewhat Dissatisfied	13%	12%	10%	19%	11%	14%
Very Dissatisfied	4%	3%	0%	3%	7%	4%
At Oceanside Place	PV	QB	E	F	G	H
Very Satisfied	16%	10%	9%	10%	18%	14%
Somewhat Satisfied	24%	19%	15%	28%	23%	13%
Don't Know/No Opinion	55%	69%	73%	57%	51%	68%
Somewhat Dissatisfied	4%	2%	3%	5%	7%	4%
Very Dissatisfied	1%	1%	0%	0%	1%	0%
At Ravensong Aquatic Centre	PV	QB	E	F	G	H
Very Satisfied	17%	23%	7%	20%	19%	17%
Somewhat Satisfied	29%	33%	16%	44%	25%	29%
Don't Know/No Opinion	42%	31%	72%	22%	44%	43%
Somewhat Dissatisfied	9%	11%	4%	10%	10%	10%
Very Dissatisfied	3%	3%	1%	4%	2%	1%

Households with Children VS. Households without Children

Households with Children: Satisfaction with Children and Youth Oriented Programs



Households without Children: Satisfaction with Adult Oriented Programs



Satisfaction: Registration Process

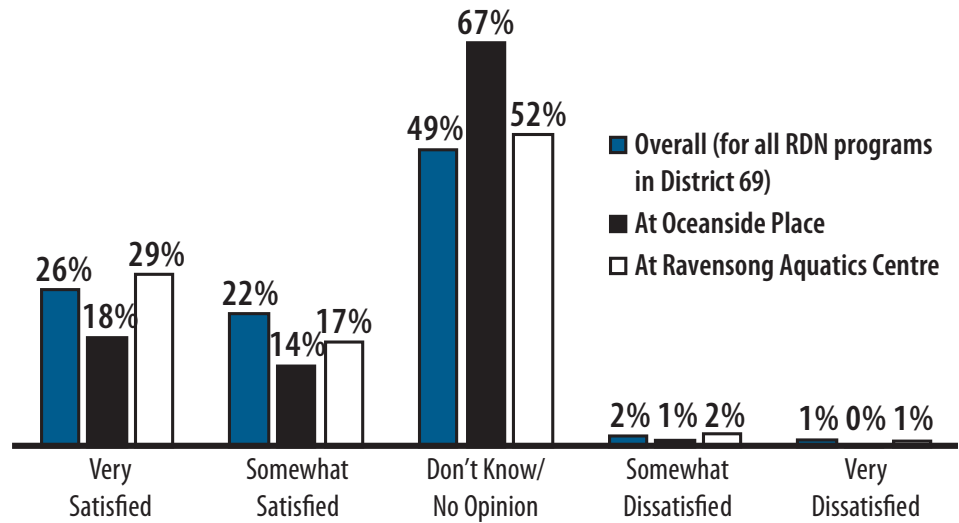
QUESTION:

Please indicate your level of satisfaction with the following aspects of recreation services in District 69 (Oceanside): **Registration Process.**

Only 3% of respondents are dissatisfied with the registration process for overall RDN programming.

* Those that responded "Don't Know/No Opinion" may not have registered in RDN programming and thus weren't able to indicate their level satisfaction.

Overall Results



Results by Area

Overall (for all RDN programs in District 69)	PV	QB	E	F	G	H
Very Satisfied	26%	29%	22%	31%	26%	25%
Somewhat Satisfied	26%	21%	18%	33%	23%	13%
Don't Know/No Opinion	46%	48%	59%	36%	46%	57%
Somewhat Dissatisfied	2%	2%	1%	0%	4%	4%
Very Dissatisfied	1%	0%	1%	1%	1%	1%
At Oceanside Place	PV	QB	E	F	G	H
Very Satisfied	23%	14%	14%	21%	21%	17%
Somewhat Satisfied	15%	14%	10%	22%	14%	7%
Don't Know/No Opinion	60%	72%	75%	57%	62%	73%
Somewhat Dissatisfied	2%	1%	0%	0%	2%	3%
Very Dissatisfied	0%	0%	1%	0%	1%	0%
At Ravensong Aquatic Centre	PV	QB	E	F	G	H
Very Satisfied	29%	37%	12%	37%	24%	29%
Somewhat Satisfied	18%	20%	10%	29%	16%	14%
Don't Know/No Opinion	50%	40%	76%	32%	56%	53%
Somewhat Dissatisfied	3%	2%	2%	1%	3%	4%
Very Dissatisfied	0%	0%	0%	1%	1%	1%

Satisfaction: Instruction

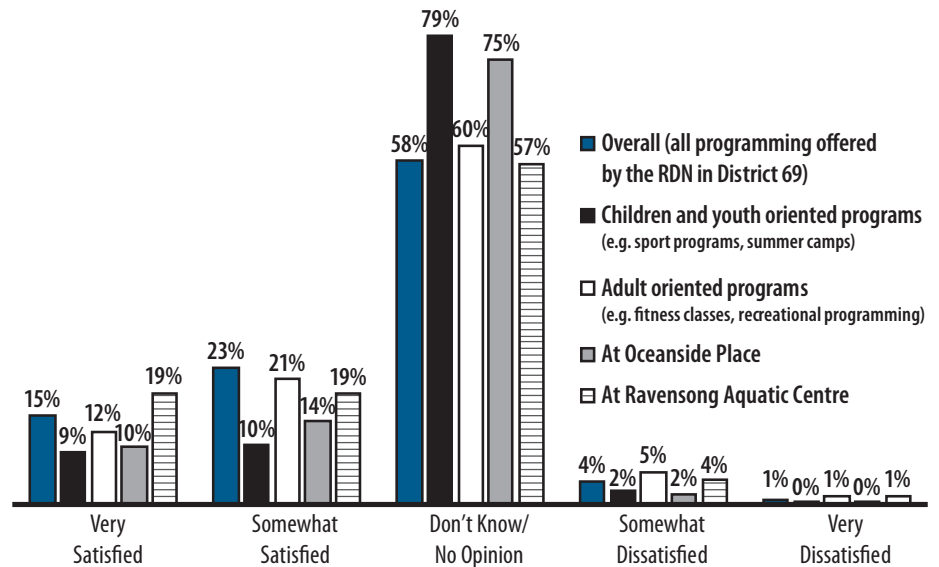
QUESTION:

Please indicate your level of satisfaction with the following aspects of recreation services in District 69 (Oceanside):
Instruction.

Please refer to the additional analysis chart to see the level of satisfaction results from household that used the Ravensong Aquatic Centre and the Oceanside Place Ice Arenas on 10 or more occasions in the past year.

* Those that responded "Don't Know/No Opinion" may not have participated in RDN programming and thus weren't able to indicate their level satisfaction.

Overall Results

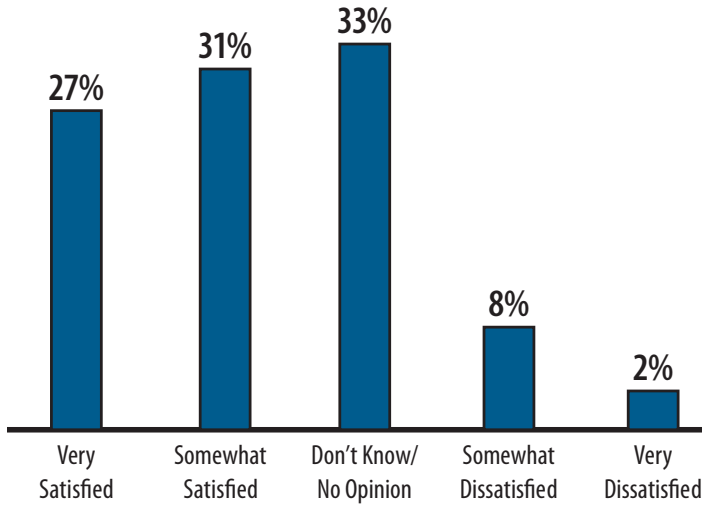


Results by Area

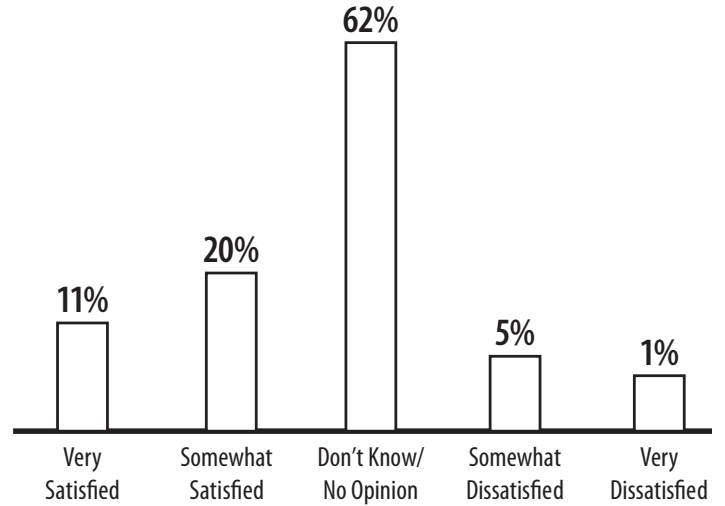
Overall (all programming offered by the RDN in District 69)	PV	QB	E	F	G	H
Very Satisfied	17%	16%	10%	16%	14%	14%
Somewhat Satisfied	25%	24%	17%	31%	25%	17%
Don't Know/No Opinion	53%	57%	68%	48%	55%	65%
Somewhat Dissatisfied	4%	3%	3%	6%	5%	4%
Very Dissatisfied	1%	1%	1%	0%	1%	0%
Children and youth oriented programs (e.g. sport programs, summer camps)	PV	QB	E	F	G	H
Very Satisfied	12%	6%	6%	11%	8%	11%
Somewhat Satisfied	10%	10%	7%	16%	14%	7%
Don't Know/No Opinion	77%	82%	85%	70%	75%	77%
Somewhat Dissatisfied	1%	3%	2%	4%	3%	4%
Very Dissatisfied	1%	0%	1%	0%	0%	1%
Adult oriented programming (e.g. fitness classes, recreational programming)	PV	QB	E	F	G	H
Very Satisfied	13%	14%	7%	13%	12%	14%
Somewhat Satisfied	22%	26%	14%	22%	24%	12%
Don't Know/No Opinion	57%	55%	74%	56%	57%	66%
Somewhat Dissatisfied	7%	4%	5%	9%	5%	7%
Very Dissatisfied	2%	1%	1%	0%	2%	1%
At Oceanside Place	PV	QB	E	F	G	H
Very Satisfied	14%	7%	7%	13%	10%	10%
Somewhat Satisfied	15%	14%	9%	17%	18%	8%
Don't Know/No Opinion	69%	78%	83%	69%	70%	78%
Somewhat Dissatisfied	2%	1%	1%	1%	2%	4%
Very Dissatisfied	1%	0%	0%	1%	1%	0%
At Ravensong Aquatic Centre	PV	QB	E	F	G	H
Very Satisfied	19%	23%	7%	24%	19%	19%
Somewhat Satisfied	20%	23%	12%	21%	20%	12%
Don't Know/No Opinion	55%	48%	78%	44%	58%	62%
Somewhat Dissatisfied	4%	5%	2%	9%	2%	6%
Very Dissatisfied	2%	1%	1%	2%	1%	1%

Households with Children VS. Households without Children

**Households with Children:
Satisfaction with Instruction of
Children and Youth Oriented Programs**



**Households without Children:
Satisfaction with Instruction of
Adult Oriented Programs**



Additional Analysis

Households that used Oceanside Place Ice Arenas on 10+ occasions	Very Satisfied	Somewhat Satisfied	Don't Know/No Opinion	Somewhat Dissatisfied	Very Dissatisfied
Facility Maintenance at Oceanside Place	61%	34%	4%	2%	1%
Customer Service at Oceanside Place	73%	21%	4%	2%	1%
Programming at Oceanside Place	37%	45%	10%	8%	1%
Registration Process at Oceanside Place	55%	27%	16%	2%	1%
Instruction at Oceanside Place	26%	31%	39%	3%	0%

Households that used Ravensong Aquatic Centre on 10+ occasions	Very Satisfied	Somewhat Satisfied	Don't Know/No Opinion	Somewhat Dissatisfied	Very Dissatisfied
Facility Maintenance at Ravensong	47%	36%	2%	11%	5%
Customer Service at Ravensong	75%	19%	2%	3%	1%
Programming at Ravensong	30%	42%	9%	14%	5%
Registration Process at Ravensong	54%	26%	16%	4%	1%
Instruction at Ravensong	37%	32%	20%	8%	2%

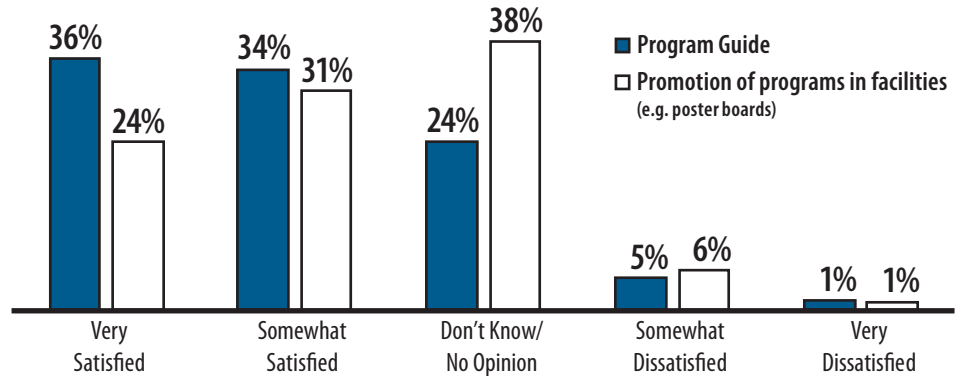
Satisfaction: Promotions and Marketing

Overall Results

QUESTION:

Please indicate your level of satisfaction with the following aspects of recreation services in District 69 (Oceanside): **Promotions and Marketing.**

Over two-thirds (70%) of households are satisfied to some extent with the Program Guide.



Results by Area

Program Guide	PV	QB	E	F	G	H
Very Satisfied	38%	39%	26%	35%	37%	38%
Somewhat Satisfied	33%	37%	34%	41%	32%	33%
Don't Know/No Opinion	22%	19%	36%	17%	23%	28%
Somewhat Dissatisfied	5%	5%	3%	7%	5%	1%
Very Dissatisfied	2%	1%	0%	1%	3%	1%

Promotion of programs in facilities (e.g. poster boards)	PV	QB	E	F	G	H
Very Satisfied	27%	26%	15%	29%	22%	24%
Somewhat Satisfied	30%	39%	24%	31%	31%	26%
Don't Know/No Opinion	35%	29%	54%	34%	37%	44%
Somewhat Dissatisfied	6%	6%	5%	6%	7%	5%
Very Dissatisfied	2%	0%	1%	0%	3%	0%

Takeaways

- Facility Maintenance: Maintenance is more of a concern at Ravensong Aquatic Centre than Oceanside Place.
- Customer Service: Customer service is very high, especially among households that regularly use Oceanside Place and Ravensong Aquatic Centre.
- Programming: More dissatisfaction was expressed for adult program opportunities than for child programs.
- Registration Process: Of the households that use the facilities on 10+ occasions, satisfaction is higher at Oceanside Place than Ravensong Aquatic Centre.
- Instruction: Satisfaction is generally high.
- Promotions and Marketing: Satisfaction is high in regards to the Program Guide.

Need for New/Enhanced Indoor Spaces

QUESTION:

Do you or members of your household feel that new or enhanced indoor recreation facilities are needed in District 69 (Oceanside)?

If you answered "Yes" or "Unsure", from the list below, please identify the indoor recreation facilities that you or members of your household feel should be developed and/or enhanced.

Just over half (51%) of respondents believe there is a need for new or enhanced indoor facilities and 30% were unsure. Of these respondents, the need for a new swimming pool was expressed by 39% while 26% believe that existing facilities should be enhanced.

Space was also provided for residents to write-in other types of indoor recreation facilities that they believe are needed. Fifty-nine (59) respondents wrote that indoor pickleball courts should to be developed and 47 respondents specifically mentioned that new/enhanced curling facilities are needed.

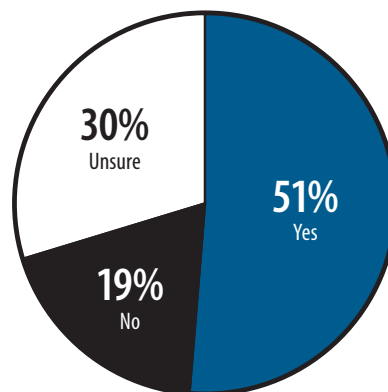
Results by Area

Need for New/Enhanced Spaces	PV	QB	E	F	G	H
Yes	58%	54%	40%	53%	55%	35%
No	15%	16%	28%	18%	16%	30%
Unsure	27%	30%	32%	30%	30%	34%

New Facility/Facilities Should Be Developed	PV	QB	E	F	G	H
Indoor Swimming Pool	51%	27%	41%	42%	39%	45%
Health and Wellness Centre/Fitness Centre	31%	43%	29%	37%	38%	37%
Seniors Centre	16%	13%	13%	10%	14%	18%
Ice Arena	1%	2%	1%	6%	4%	6%
Performing Arts Centre	16%	20%	15%	19%	19%	24%
Multi-Purpose Recreation Facility	33%	36%	29%	40%	35%	31%
Teen/Youth Centre	21%	24%	16%	28%	24%	24%

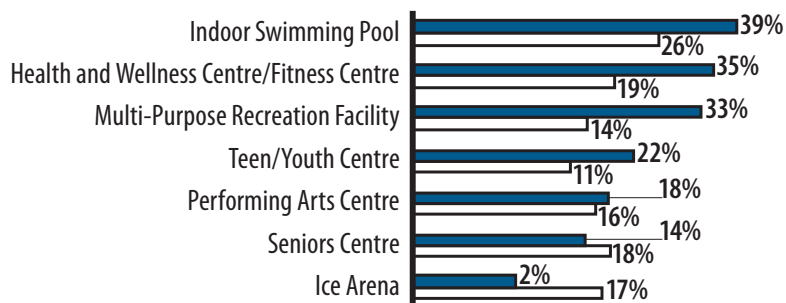
Existing Facility/Facilities Should Be Enhanced	PV	QB	E	F	G	H
Indoor Swimming Pool	20%	39%	17%	33%	23%	18%
Health and Wellness Centre/Fitness Centre	18%	20%	18%	21%	20%	14%
Seniors Centre	16%	20%	16%	23%	21%	14%
Ice Arena	16%	16%	16%	20%	21%	11%
Performing Arts Centre	16%	17%	11%	15%	18%	8%
Multi-Purpose Recreation Facility	14%	16%	10%	12%	18%	13%
Teen/Youth Centre	12%	9%	12%	15%	13%	8%

Overall Results



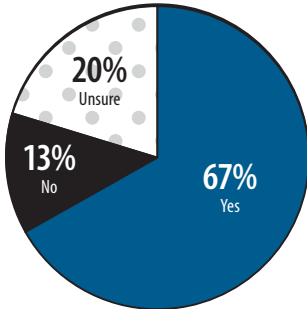
If "Yes" or "Unsure"...

■ New facility/facilities should be developed □ Existing facility/facilities should be enhanced

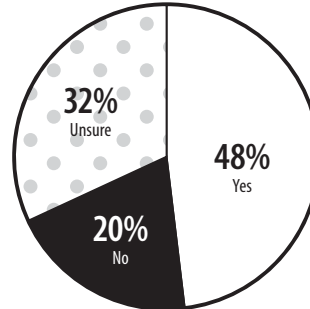


Households with Children VS. Households without Children

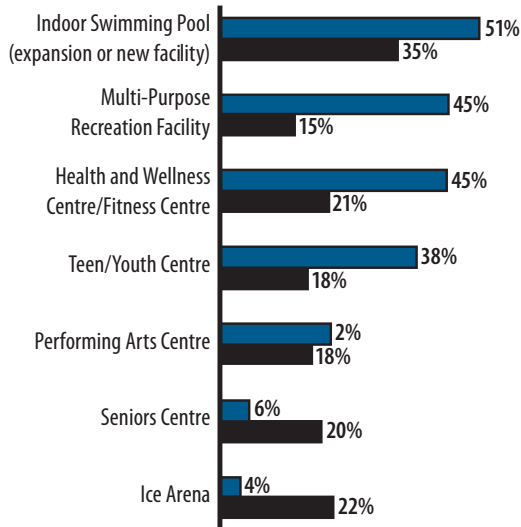
**Households with Children:
Need for New/Enhanced Indoor Spaces**



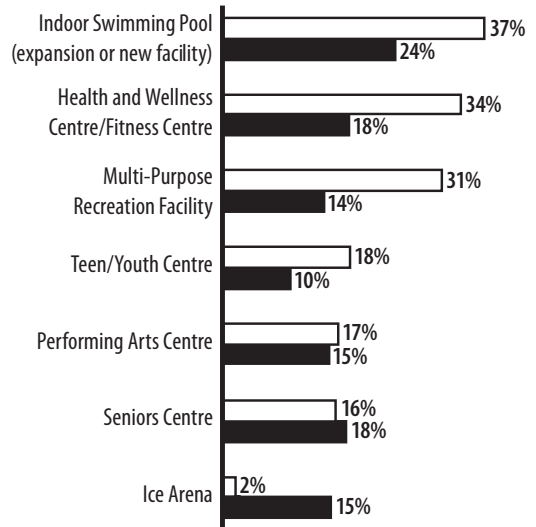
**Households without Children:
Need for New/Enhanced Indoor Spaces**



**Households with Children:
If "Yes" or "Unsure"**



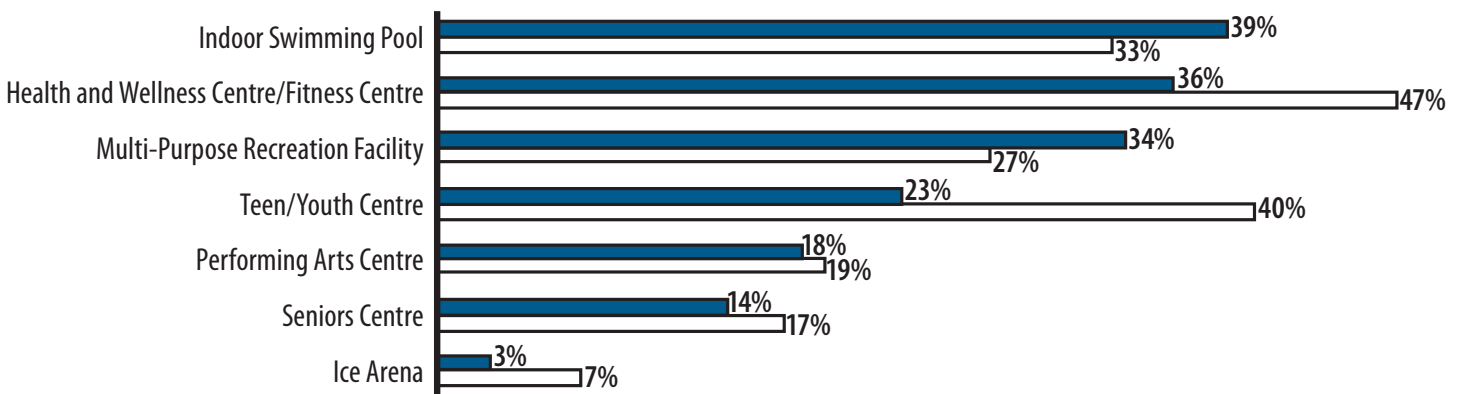
**Households without Children:
If "Yes" or "Unsure"**



2006 VS. 2017 Need for New/Enhanced Indoor Spaces Comparison

Need for New/Enhanced Indoor Spaces in District 69

■ 2017: New facility/facilities should be developed □ 2006: Respondents wanting new recreation facilities



Need for New/Enhanced Outdoor Spaces

QUESTION:

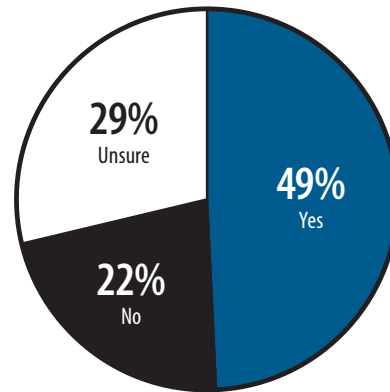
Do you or members of your household feel that new or enhanced parks and outdoor recreation facilities are needed in District 69 (Oceanside)?

If you answered "Yes" or "Unsure", from the list below, please identify the parks and outdoor recreation facilities that you or members of your household feel should be developed and/or enhanced.

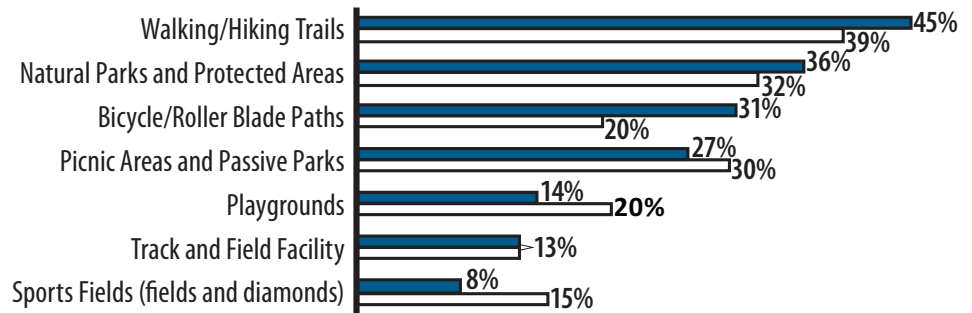
Nearly half of households indicated "yes" for new/enhanced outdoor spaces. Walking/hiking trails surfaced as the top need followed by natural parks and protected areas.

Space was also provided for residents to write-in other types of outdoor facilities and spaces that they believe are needed. Forty-seven (47) respondents wrote that new/enhanced pickleball courts are needed.

Overall Results



If "Yes" or "Unsure"...



Results by Area

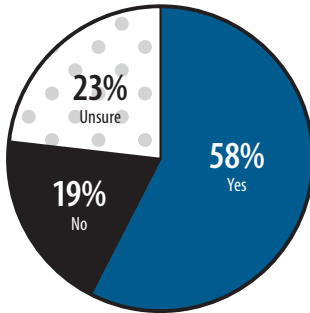
Need for New/Enhanced Spaces	PV	QB	E	F	G	H
Yes	46%	49%	50%	50%	51%	62%
No	23%	21%	25%	19%	23%	15%
Unsure	31%	30%	26%	31%	26%	24%

New Facility/Facilities Should Be Developed	PV	QB	E	F	G	H
Walking/Hiking Trails	49%	37%	49%	44%	43%	53%
Natural Parks and Protected Areas	33%	30%	45%	42%	35%	47%
Bicycle/Roller Blade Paths	31%	27%	32%	32%	32%	40%
Picnic Areas and Passive Parks	27%	25%	25%	31%	23%	41%
Playgrounds	13%	15%	12%	20%	14%	17%
Track and Field Facility	13%	13%	12%	16%	13%	15%
Sports Fields (fields and diamonds)	9%	7%	5%	10%	12%	5%

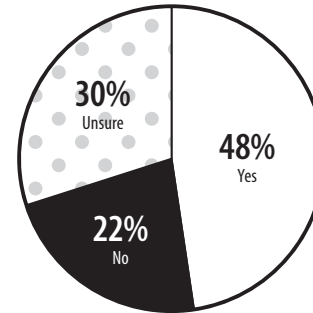
Existing Facility/Facilities Should Be Enhanced	PV	QB	E	F	G	H
Walking/Hiking Trails	38%	43%	32%	35%	40%	51%
Natural Parks and Protected Areas	34%	33%	30%	30%	30%	38%
Bicycle/Roller Blade Paths	23%	21%	14%	17%	18%	21%
Picnic Areas and Passive Parks	31%	29%	26%	34%	32%	32%
Playgrounds	20%	20%	15%	25%	23%	23%
Track and Field Facility	15%	11%	10%	13%	18%	11%
Sports Fields (fields and diamonds)	16%	14%	13%	20%	15%	16%

Households with Children VS. Households without Children

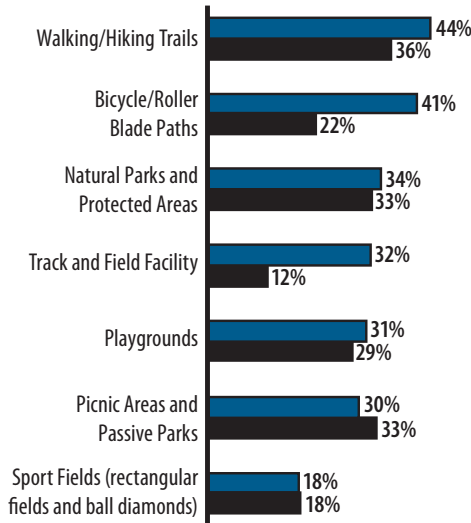
**Households with Children:
Need for New/Enhanced Outdoor Spaces**



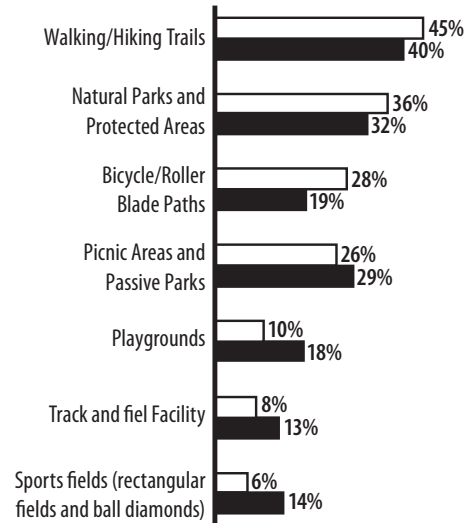
**Households without Children:
Need for New/Enhanced Outdoor Spaces**



**Households with Children:
If "Yes" or "Unsure"**



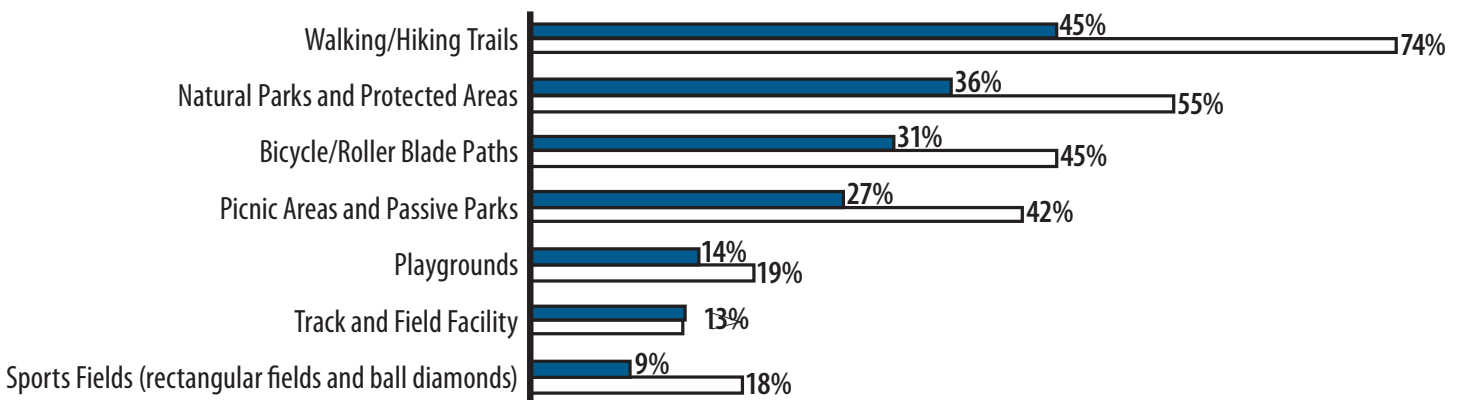
**Households without Children:
If "Yes" or "Unsure"**



2006 VS. 2017 Need for New/Enhanced Outdoor Spaces Comparison

Need for New/Enhanced Outdoor Spaces in District 69

■ 2017: New facility/facilities should be developed □ 2006: Respondents wanting new recreation facilities



Willingness to Increase Taxes

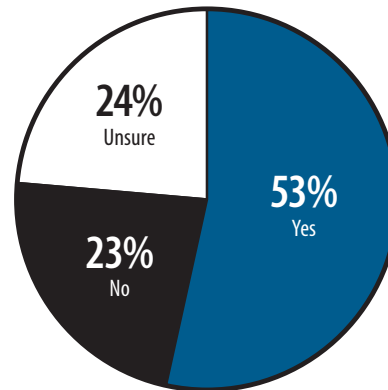
QUESTION:

Would your household support an annual increase in taxation in order to provide new or improved recreation, parks, and trails facilities and services?

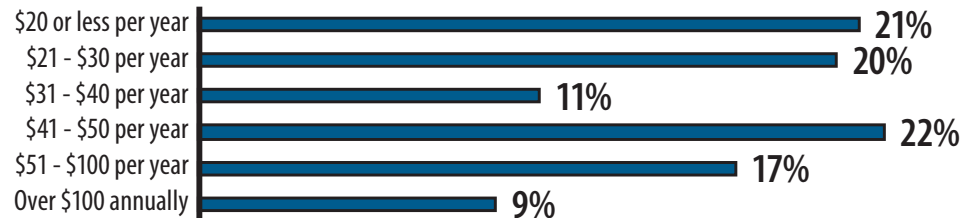
If you answered "Yes" or "Unsure", how much in additional taxes per year would you be willing to pay to provide new or improved recreation, parks, and trails facilities and services?

Fifty-three percent (53%) of respondent households would support an annual increase in taxation in order to provide new or improved services. As indicated in the additional analysis, regular users of the Ravensong Aquatic Centre and Oceanside Place Ice Arenas are more likely to support an increase as opposed to non-users.

Overall Results



If "Yes" or "Unsure"...



Results by Area

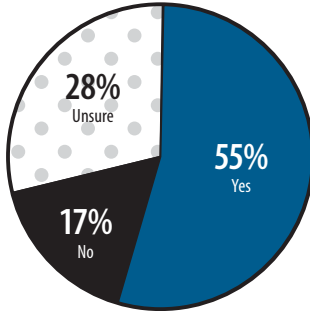
Willingness to Increase	PV	QB	E	F	G	H
Yes	54%	60%	46%	47%	55%	54%
No	22%	20%	29%	26%	21%	25%
Unsure	24%	20%	25%	27%	25%	22%
Increase Amount	PV	QB	E	F	G	H
\$20 or less per year	22%	16%	24%	30%	19%	18%
\$21 - \$30 per year	24%	19%	17%	23%	19%	20%
\$31 - \$40 per year	11%	10%	10%	11%	11%	16%
\$41 - \$50 per year	21%	22%	23%	17%	21%	26%
\$51 - \$100 per year	14%	20%	19%	8%	19%	17%
Over \$100 annually	8%	13%	8%	11%	10%	3%

Takeaways

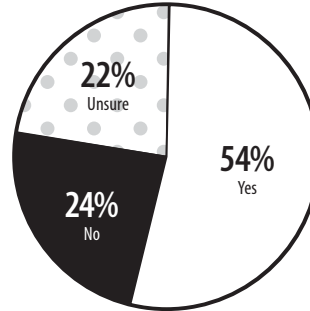
- Willingness exists in each jurisdiction to increase taxes to improve recreation services.
- Large proportions of "unsure" responses suggests that willingness depends on a specific project or amenity type.
- Households that use Oceanside Place and Ravensong Aquatic Centre are more willing to increase taxes than those who did not use the facilities.

Households with Children VS. Households without Children

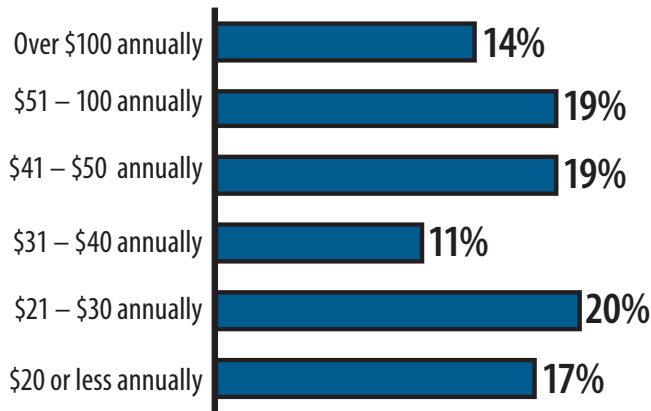
**Households with Children:
Willingness to Increase Taxes**



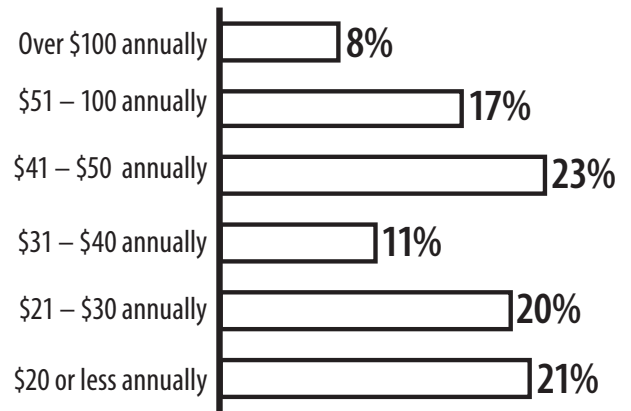
**Households without Children:
Willingness to Increase Taxes**



**Households with Children:
If "Yes" or "Unsure"**



**Households without Children:
If "Yes" or "Unsure"**



Additional Analysis

Households that used the facility on 10+ occasions in the past year	Yes	No	Unsure
Ravensong Aquatic Centre	63%	13%	24%
Oceanside Place Ice Arenas	64%	14%	22%
Parksville Curling Club	63%	16%	21%

Households that did not use the facility in the past year	Yes	No	Unsure
Ravensong Aquatic Centre	43%	34%	24%
Oceanside Place Ice Arenas	48%	29%	23%
Parksville Curling Club	51%	25%	24%

Types of Programming Desired

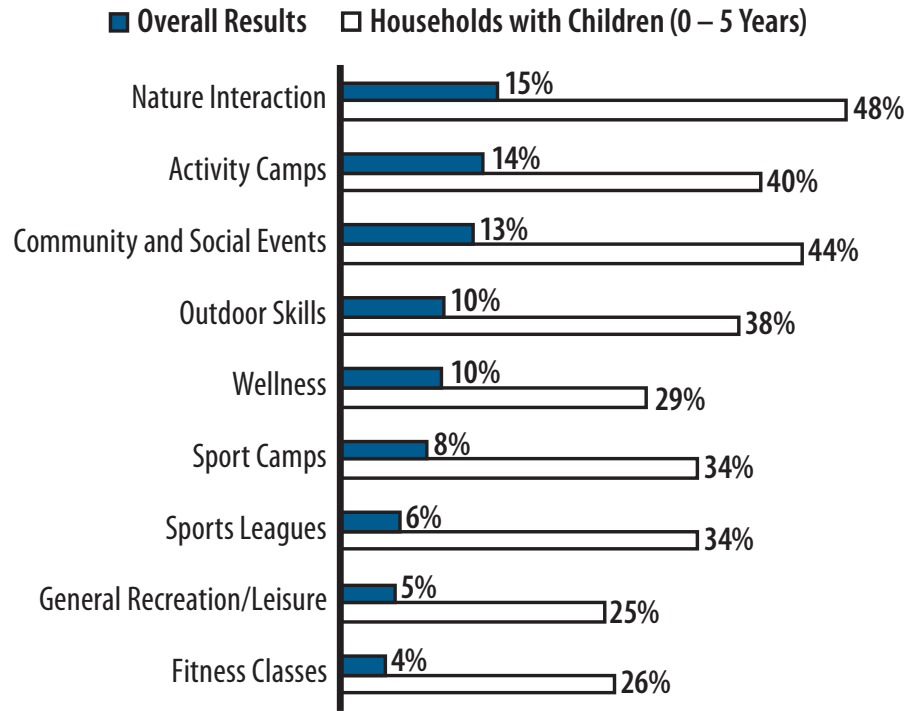
QUESTION:

Please identify the types of recreational programs that you think should be more readily available and/or improved in District 69 (Oceanside) for each age group.

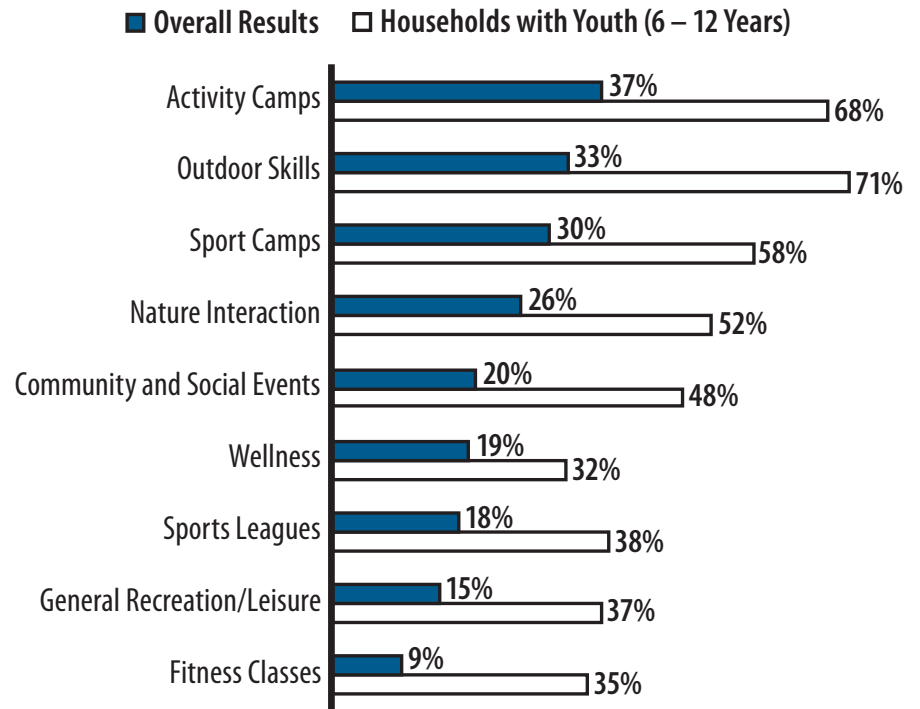
Each of the following graphs shows overall results as well as results provided by households with members in the correlating age categories. Nature interaction is the top program need for children 5 years and young while wellness programs are wanted for adults and seniors.

The graphs on this page indicate the overall results and distinction by age of household members.

Children (0 – 5 Years)



Youth (6 – 12 Years)



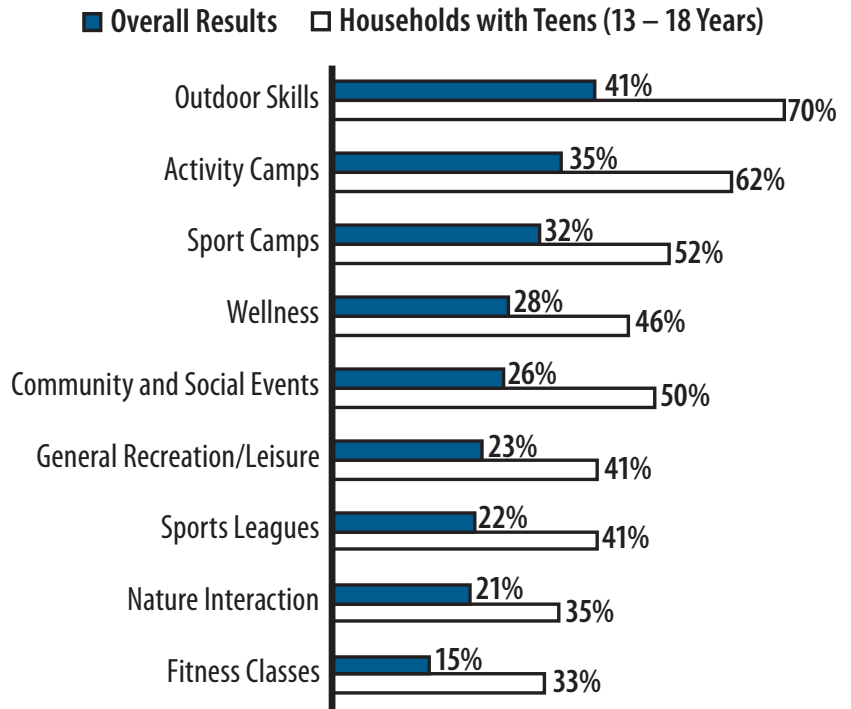
Types of Programming Desired (Continued)

QUESTION:

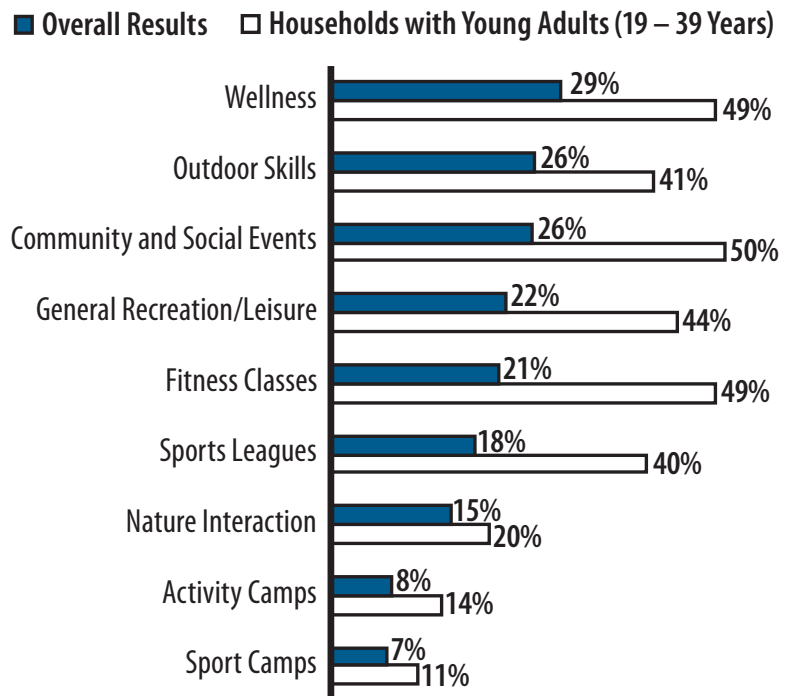
Please identify the types of recreational programs that you think should be more readily available and/or improved in District 69 (Oceanside) for each age group.

The graphs on this page indicate the overall results and distinction by age of household members.

Teens (13 – 18 Years)



Young Adults (19 – 39 Years)



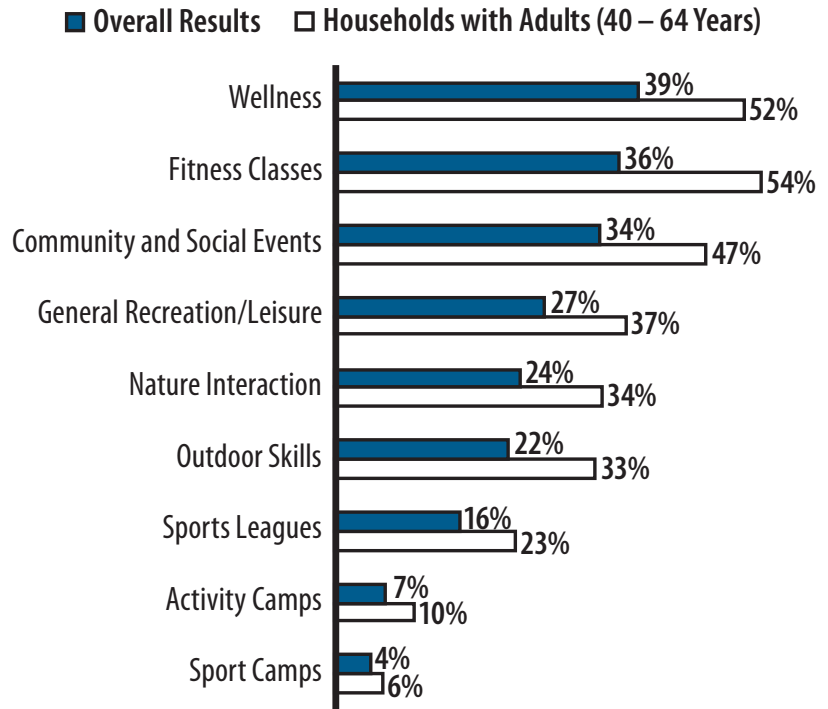
Types of Programming Desired (Continued)

QUESTION:

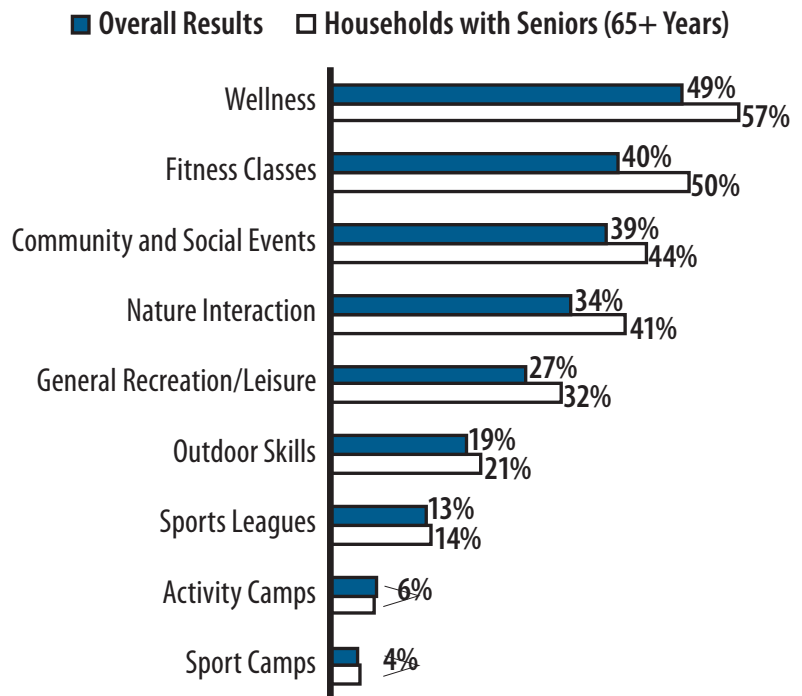
Please identify the types of recreational programs that you think should be more readily available and/or improved in District 69 (Oceanside) for each age group.

The graphs on this page indicate the overall results and distinction by age of household members.

Adults (40 – 64 Years)



Seniors (65+ Years)



Results by Area

Children (0 – 5 Years)	PV	QB	E	F	G	H
Nature Interaction	14%	14%	16%	19%	15%	16%
Activity Camps	12%	12%	10%	17%	19%	12%
Community and Social Events	13%	11%	8%	24%	13%	13%
Outdoor Skills	8%	8%	10%	16%	11%	13%
Wellness	10%	7%	8%	9%	13%	12%
Sport Camps	6%	7%	5%	13%	13%	6%
Sports Leagues	5%	4%	4%	9%	7%	8%
General Recreation/Leisure	6%	4%	5%	12%	4%	6%
Fitness Classes	3%	4%	2%	5%	7%	6%
Youth (6 – 12 Years)	PV	QB	E	F	G	H
Nature Interaction	36%	37%	32%	38%	42%	42%
Activity Camps	28%	30%	30%	43%	35%	44%
Community and Social Events	27%	33%	26%	26%	35%	29%
Outdoor Skills	23%	27%	22%	35%	26%	32%
Wellness	22%	19%	13%	31%	20%	18%
Sport Camps	18%	18%	15%	20%	23%	24%
Sports Leagues	18%	19%	14%	20%	17%	20%
General Recreation/Leisure	14%	13%	12%	20%	16%	16%
Fitness Classes	9%	8%	7%	13%	13%	10%
Teens (13 – 18 Years)	PV	QB	E	F	G	H
Nature Interaction	36%	38%	40%	49%	43%	54%
Activity Camps	31%	39%	32%	38%	39%	37%
Community and Social Events	26%	38%	28%	29%	37%	34%
Outdoor Skills	25%	27%	21%	36%	32%	31%
Wellness	27%	27%	20%	35%	27%	24%
Sport Camps	24%	22%	21%	29%	25%	23%
Sports Leagues	21%	23%	19%	29%	23%	22%
General Recreation/Leisure	18%	23%	19%	25%	23%	25%
Fitness Classes	14%	16%	12%	18%	18%	15%

Results by Area (Continued)

Young Adults (19 – 39 Years)	PV	QB	E	F	G	H
Nature Interaction	28%	27%	28%	33%	31%	36%
Activity Camps	22%	23%	30%	30%	29%	35%
Community and Social Events	28%	24%	21%	31%	27%	25%
Outdoor Skills	23%	19%	20%	26%	29%	21%
Wellness	21%	18%	23%	24%	27%	20%
Sport Camps	20%	14%	15%	30%	21%	12%
Sports Leagues	14%	15%	14%	17%	17%	21%
General Recreation/Leisure	8%	9%	5%	7%	10%	6%
Fitness Classes	8%	7%	2%	11%	9%	9%
Adults (40 – 64 Years)	PV	QB	E	F	G	H
Nature Interaction	35%	37%	33%	47%	45%	45%
Activity Camps	32%	39%	32%	42%	39%	42%
Community and Social Events	35%	35%	24%	40%	36%	37%
Outdoor Skills	27%	24%	19%	31%	36%	22%
Wellness	20%	26%	20%	24%	25%	33%
Sport Camps	20%	22%	18%	21%	25%	38%
Sports Leagues	19%	12%	10%	18%	23%	12%
General Recreation/Leisure	8%	5%	3%	7%	11%	3%
Fitness Classes	6%	4%	1%	7%	5%	6%
Seniors (65+ Years)	PV	QB	E	F	G	H
Nature Interaction	51%	53%	40%	47%	49%	51%
Activity Camps	41%	49%	30%	37%	36%	39%
Community and Social Events	43%	42%	32%	34%	36%	38%
Outdoor Skills	31%	37%	35%	25%	33%	40%
Wellness	27%	31%	22%	24%	32%	21%
Sport Camps	20%	19%	18%	13%	18%	27%
Sports Leagues	19%	10%	10%	12%	15%	11%
General Recreation/Leisure	9%	4%	4%	4%	9%	5%
Fitness Classes	5%	3%	1%	3%	5%	3%

Methods to Promote Opportunities

QUESTION:

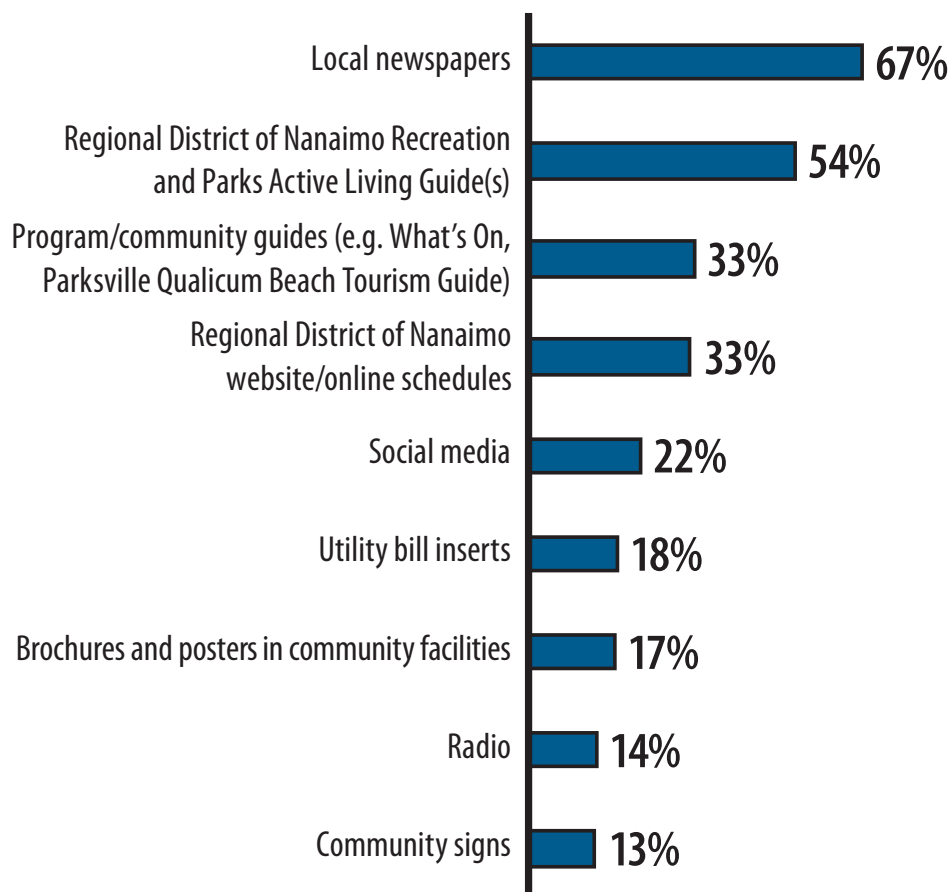
What are the three (3) best ways to get information to your household about recreation opportunities (programs and activities)?

Local newspapers was the top method to promoted opportunities in each electoral area followed by RDN's Recreation and Parks Active Living Guide(s).

Takeaways

- Local newspapers and the Active Living Guide remain popular methods of receiving information.
- Social media is the third most desired promotion method for households with children.

Overall Results

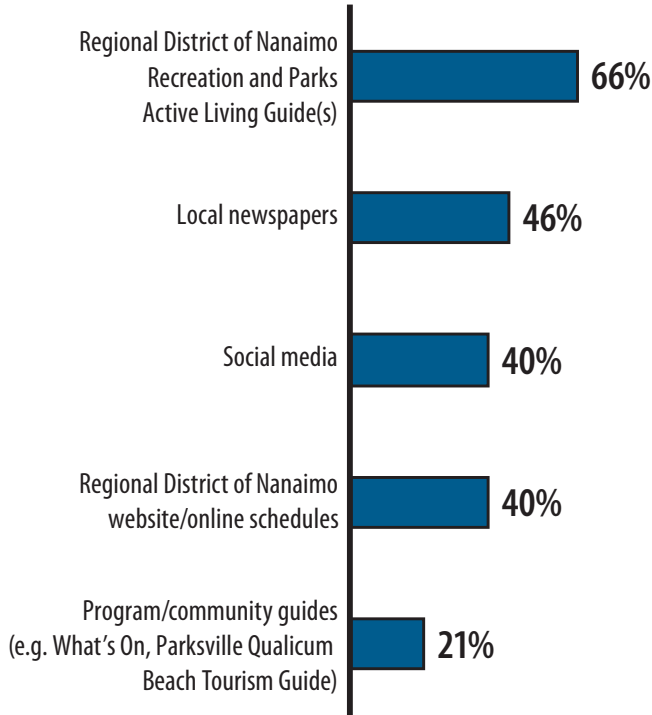


Results by Area

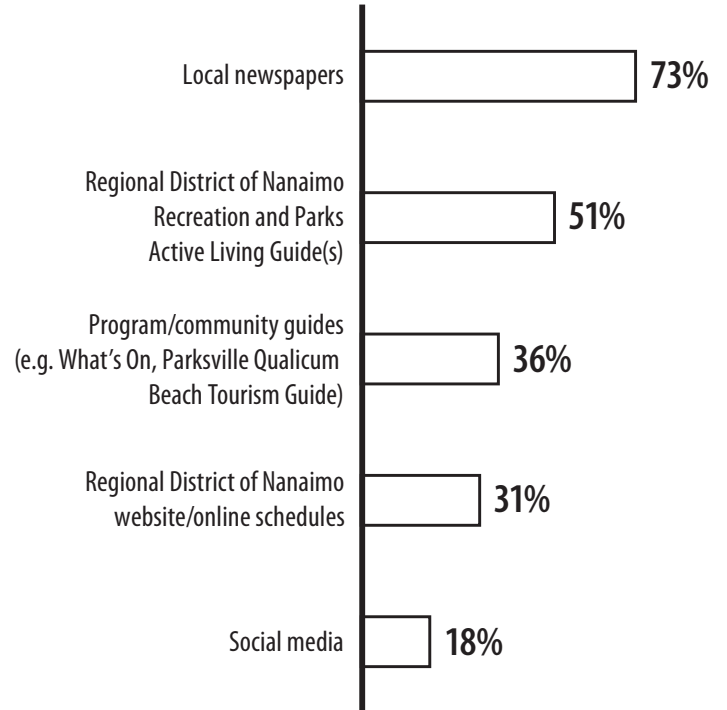
Method	PV	QB	E	F	G	H
Local newspapers	68%	78%	53%	61%	69%	66%
Regional District of Nanaimo Recreation and Parks Active Living Guide(s)	52%	52%	54%	58%	57%	54%
Program/community guides (e.g. What's On, Parksville Qualicum Beach Tourism Guide)	38%	35%	31%	21%	31%	34%
Regional District of Nanaimo website/online schedules	33%	26%	41%	29%	35%	34%
Social media	21%	19%	22%	38%	23%	26%
Utility bill inserts	14%	15%	26%	17%	20%	21%
Brochures and posters in community facilities	18%	22%	14%	15%	11%	18%
Radio	13%	14%	8%	17%	18%	12%
Community signs	15%	13%	14%	14%	12%	14%

Households with Children VS. Households without Children

Households with Children: Top 5 Methods of Communication



Households without Children: Top 5 Methods of Communication



Additional Analysis

Method	RDN Resident for Less than 5 Years	RDN Resident for 5 Years or More
Local newspapers	67%	67%
Regional District of Nanaimo Recreation and Parks Active Living Guide(s)	47%	57%
Program/community guides (e.g. What's On, Parksville Qualicum Beach Tourism Guide)	38%	32%
Regional District of Nanaimo website/online schedules	33%	33%
Social media	25%	22%
Brochures and posters in community facilities	19%	16%
Utility bill inserts	18%	17%
Community signs	14%	13%
Radio	12%	15%

COMMUNITY GROUP QUESTIONNAIRE

A Community Group Questionnaire was fielded to a wide array of organizations in District 69. A web link to an online version of the questionnaire was emailed to group representatives and a paper copy option was also made available for completion. Group representatives were asked to complete the questionnaire by considering the perspectives of all members of their organization. To ensure a diverse range of feedback, only one submission per organization was accepted.

In total, 60 groups provided a response to the questionnaire. Participating groups represented a broad spectrum of activity and program types, interests, sizes, and locations in the Oceanside area. A list of participating groups can be found in the appendices.

Note: Some questions in the questionnaire were not answered by every group. The percentages shown in the findings reflect the response to that specific question.

Profile of Participating Groups

To begin the questionnaire, group representatives were asked a number of questions pertaining to their organization. Summarized as follows are key characteristics of groups that participated in the Community Group Questionnaire.

- Participating groups represent all age ranges.
 - » 10 groups (17%) have participants that are children (ages 0 to 5 years)
 - » 23 groups (38%) have participants that are youth (ages 6 to 12 years)
 - » 28 groups (47%) have participants that are teens (ages 13 to 17 years)
 - » 47 groups (78%) have participants that are adults (ages 18 to 59 years)
 - » 44 groups (73%) have participants that are seniors (ages 60 and older)
- The majority of participating groups (33 groups, 55%) expect to grow in coming years while 25 groups (42%) expect to remain stable. Only 2 groups (3%) expect to experience a decline.
- Participating groups obtain funding for their organization's programs and activities from a variety of sources. The top five funding sources identified by participating groups are:
 1. Registration fees from participants (51 groups, 85%)
 2. Grants or funding support from the private sector (22 groups, 37%)
 3. Grants or funding support from senior levels of government (19 groups, 32%)
 4. Access to free or low cost facilities/spaces (19 groups, 32%)
 5. Grants or funding support from the Regional District of Nanaimo (18 groups, 30%)

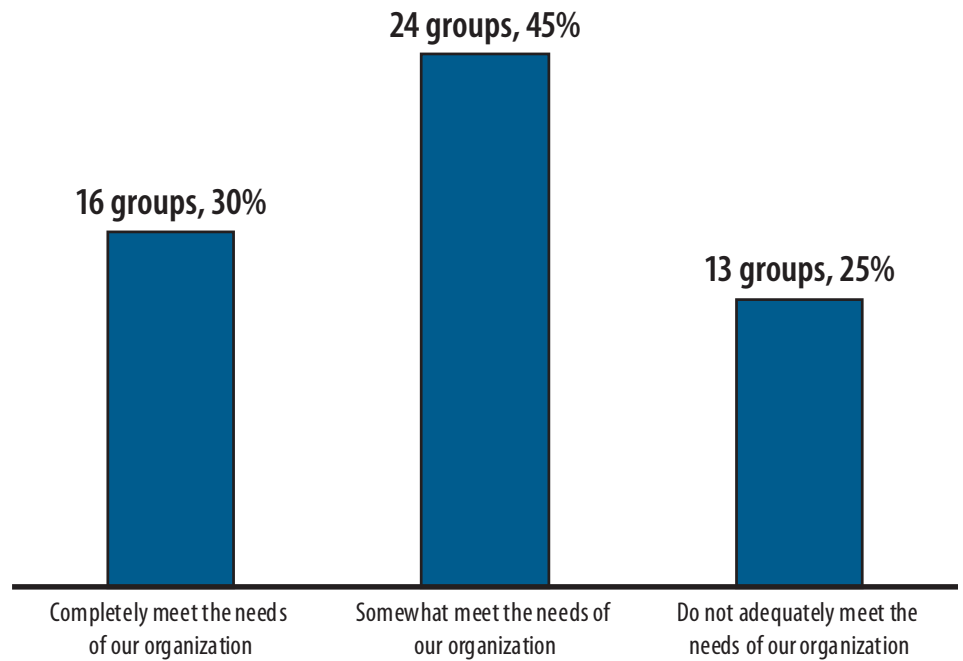
Current Satisfaction with Facilities

As illustrated in the adjacent graph, 40 groups (75%) indicated that current recreation facilities in District 69 meet their organization's needs to some degree (completely or somewhat) while 25% indicated that current facilities are inadequate for their organization.

Space was provided in the survey for group representatives to identify any enhancements/improvements that would improve their group's enjoyment of the existing facilities used. In total, 48 comments were provided. Prevalent themes from the comments provided included:

- Challenges related to storage.
- Cost to access to facilities and spaces.
- The need for enhanced amenities such as change rooms/areas and parking.
- Occasional issues with maintenance of the facilities that their group uses.

To what degree do the current recreation facilities and spaces in District 69 (Oceanside) meet the needs of your organization?

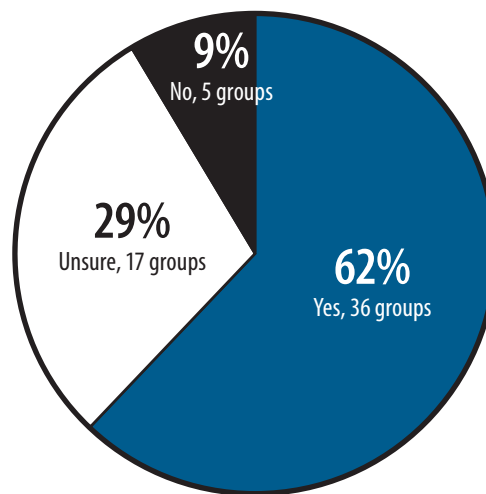


Need for New and Enhanced Indoor Facilities

Group representatives were next asked if their organization believes that new or enhanced **indoor** recreation facilities are needed in District 69 (Oceanside). As illustrated by the adjacent graph, over half of the groups (36 groups, 62%) believe that new or enhanced indoor facilities are needed. A number of participating groups (17 groups, 29%) were unsure.

Group representatives who answered “yes” or “unsure” to the previous question were then provided with a list of **indoor** facility types and asked to indicate if their organization felt that new development of those facilities should occur and/or if existing facilities should be enhanced. Group representatives were provided with the option of selecting both answers if deemed applicable. If group representatives did not believe new or enhanced facilities were needed, they were instructed not to select a response. The chart below provides an overview of the responses.

Does your organization feel that new or enhanced **indoor** recreation facilities are needed in District 69 (Oceanside)?



Facility/Space	New Facility/ Facilities Should Be Built	Existing Facility/ Facilities Should Be Enhanced
Health and Wellness Centre/Fitness Centre	19 groups (36%)	13 groups (25%)
Teen/Youth Centre	13 groups (25%)	5 groups (9%)
Indoor Swimming Pool	11 groups (21%)	11 groups (21%)
Multi-Purpose Recreation Facility	24 groups (45%)	13 groups (25%)
Performing Arts Centre	10 groups (19%)	8 groups (15%)
Seniors Centre	8 groups (15%)	11 groups (21%)
Ice Arena	3 groups (3%)	10 groups (19%)

Space was also provided for group representatives to identify “**other**” indoor facility types that should be developed and/or enhanced. Seventeen additional responses were provided. The majority of these responses further described amenities that should be included in facilities identified in the list provided. New facility types (not included in the list) that were identified are noted as follows:

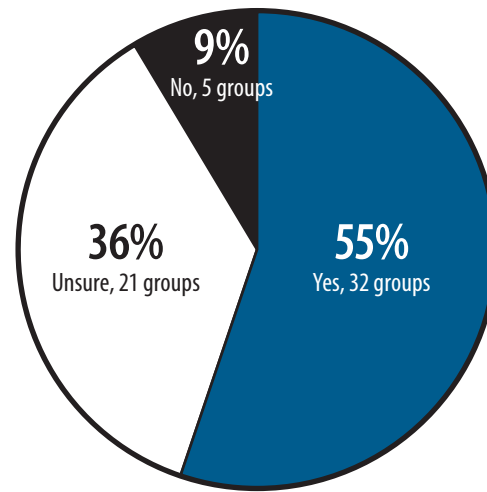
- Curling facility (3 mentions)
- Covered pickleball courts/lacrosse box (1 mention)
- Science centre/interpretive learning facility (1 mention)
- Indoor tennis facility (1 mention)

Need for New and Enhanced Outdoor Facilities

Group representatives were next asked if their organization believes that new or enhanced **parks and outdoor** recreation facilities are needed in District 69 (Oceanside). Over half of participating groups (32 groups, 55%) indicated support for new or enhanced parks and outdoor spaces. Similar to the indoor facility question, a large proportion of groups (21 groups, 36%) are unsure if new or enhanced parks and outdoor facilities are needed.

Group representatives who answered “yes” or “unsure” to the previous question were then provided with a list of **park/open spaces and outdoor recreation** facility types and asked to indicate if their organization felt that new development of those spaces or facilities should occur and/or if existing spaces or facilities should be enhanced. Group representatives were provided with the option of selecting both answers if deemed applicable. If group representatives did not believe new or enhanced facilities were needed, they were instructed not to select a response. The adjacent chart provides an overview of the responses.

Does your organization feel that new or enhanced parks and outdoor recreation facilities are needed in District 69 (Oceanside)?



Facility/Space	New Facility/ Facilities Should Be Built	Existing Facility/ Facilities Should Be Enhanced
Bicycle/Roller Blade Paths	10 groups (19%)	6 groups (11%)
Walking/Hiking Trails	10 groups (19%)	14 groups (26%)
Natural Parks and Protected Areas	7 groups (13%)	13 groups (25%)
Picnic Areas and Passive Parks	10 groups (19%)	14 groups (26%)
Track and Field Facility	14 groups (26%)	4 groups (8%)
Playgrounds	10 groups (19%)	8 groups (15%)
Sports Fields (rectangular fields and ball diamonds)	8 groups (15%)	10 groups (19%)

Space was also provided for group representatives to identify “**other**” parks/ open space and outdoor recreation facility types that should be developed and/ or enhanced. Nineteen additional responses were provided. New facility types mentioned (not included in the list above) are identified as follows:

- All weather or artificial turf sport fields (4 mentions)
- New pickleball facility (2 mentions)
- Public golf course (1 mention)
- Nature centre (1 mention)
- Frisbee golf course (1 mention)
- Skateboard park (1 mention)
- Pump track (1 mention)
- Outdoor chess tables (1 mention)
- Outdoor flat, covered multi-purpose surface (1 mention)

Challenges

Group representatives were asked to identify the main overall challenges being faced by their organization. Fifty (50) group representatives provided a response and identified a wide range of challenges and issues. Identified as follows are those challenges and issues identified by multiple groups:

- Generating awareness of programs and activities
- Space needs, particularly storage
- Lack of human resources (staff and volunteers)
- Attracting new members
- Finding affordable program spaces
- Transportation issues for participants
- Overall program funding

Considering the challenges they mentioned, group representatives were next asked to identify the single most important action that the Regional District of Nanaimo and/or its partners could provide to assist their organization. Forty-nine (49) group representatives provided a response and identified supports that would benefit their organization. The majority of these desired supports were facility related and focused on the following:

- Development of more or enhanced on-site storage
- Building new infrastructure to increase the quality of spaces that are available in the area
- Further subsidization of existing facilities to address financial barriers

Other non-facility related supports that were identified by multiple groups included increased marketing and promotions assistance, funding for staff, and adaptations to bookings and allocation processes.



STAKEHOLDER INTERVIEWS AND DISCUSSIONS

Twenty-nine (29) one-on-one interviews and small group discussion sessions were convened between November 2016 and April 2017 with recreation stakeholders in District 69. The majority of these sessions occurred in person (telephone interviews were arranged only if the stakeholder was not available to attend an in-person session). These sessions provided the opportunity for the consulting team to engage participants in a discussion on the current state of recreation, existing gaps, and potential approaches to address future needs. Findings from the interviews and discussion sessions that were held early on in the engagement process (November and December) also helped inform the development of other engagement tools such as the resident and group surveys.

The types of groups and individuals that participated in the sessions were diverse and included:

- Local amateur sports organizations
- Not for profit community organizations and service providers
- Umbrella groups (those representing multiple organizations)
- Advocacy groups
- Recreation program providers
- Community facility operators
- Private sector providers
- Facility users
- Municipalities located in District 69

* A complete listing of participating organizations can be found in the appendices.

The topics discussed in the sessions were wide ranging as were the perspectives and opinions provided. To ensure anonymity, comments and viewpoints have not been attributed to any specific participants. As such, the summary findings presented as follows reflect **prevalent themes and findings** from the sessions as noted by the consulting team.

Topic Area: Current State of Recreation in District 69

- The variety of program offerings was commonly identified as a strength of recreation in District 69.
- The diversity of District 69 (mix of urban and rural communities) was mentioned as a key factor to recreation, and identified as both a strength and challenge related to program and facility provision.
- Interview/discussion session participants overwhelmingly asserted the importance and benefits of recreation programs, facilities and events to individuals and communities within District 69. Commonly identified benefits included:
 - » Building strong and connected communities.
 - » Bridging generational gaps.
 - » Reduction in deviant behavior and associated costs (financial and societal).
 - » Enhanced ability of communities in District 69 to attract and retain residents (community appeal).
- Overall, interview/discussion session participants believe that the Regional District of Nanaimo is doing a good job in the provision of recreational opportunities. Common sentiments expressed included:
 - » Interactions with RDN staff are generally positive.
 - » Appreciation exists among a number of groups for the support provided by the RDN to their groups (e.g. financial, facilitation of scheduling or registrations).
- Geographic inequalities were identified as an issue by some participants, however the challenges associated with providing programs and facilities to a large and diverse region were also acknowledged.



Topic Area: Trends and Emerging Interests/Activities

- The large population of seniors in the area was referenced by a number of session participants. Trends identified for seniors included:
 - » The continued growth and demand for pickleball.
 - » Trail and pathway use and demand for amenities (e.g. benches, picnic areas, outdoor fitness equipment).
 - » Curling growth and demand (in contrast to overall trends in the sport).
 - » Aquatics fitness programs and lane swimming.
- A number of session participants also perceive that the number of young families moving to the area is increasing, leading to increased demand for day-time parent and tot programming, adult fitness programming, and social opportunities.
- The lack of a critical mass of youth in some areas of District 69 was commonly identified as a challenge that often prohibits the growth of existing programs and/or the emergence of new ones.

Topic Area: Future Facility Needs

- Discussion session participants generally believe that the Ravensong Aquatic Centre is deficient and does not meet community needs for aquatics.
 - » Lack of overall pool capacity, minimal support amenities (e.g. seating areas, lobby space, concessions), and minimal “leisure aquatics” amenities (e.g. play features, slides) were often mentioned during the discussions.
 - » Consensus does not appear to exist among recreation stakeholders and facility users on how to best address current and future needs for aquatics. While some believe expansion of the existing facility is the best “move forward” approach, others believe that the RDN should explore developing a new facility. Debate also occurred in a number of the sessions as to whether the area could support two separate facilities.
- Indoor ice provision is generally viewed as sufficient.
- Varying viewpoints exist on how the RDN should invest future capital and operating resources.
 - » Some session participants expressed that the RDN should focus on developing facilities in under-served rural areas. However the viewpoint that the RDN should focus on population centres or “hubs” was also commonly expressed.

- The need for and benefits of developing a synthetic turf sports field was expressed by a number of user groups.
 - » Benefits identified included: longer playing seasons, increased event and tournament hosting ability, and the potential for sport tourism.
- Concern and a lack of clarity exists over the future of the curling facility in Oceanside.
 - » Session participants that were both affiliated with the Club and not affiliated with the Club expressed that there is a need for a long term solution for the current facility (or a replacement of the current facility).
 - » As identified previously, curling was commonly identified as a growing sport in the area.

Topic Area: Potential Enhancements to Service Delivery

- While not necessarily a significant issue, session participants acknowledged that communication among community groups, the RDN, and municipalities in the area could always be improved.
- A lack of clarity does appear to exist among some stakeholders and organizations as to future responsibilities for planning and capital development.
- Some group representatives expressed that their organizations would benefit from increased support in areas such as grant writing, volunteer recruitment, and promotions and marketing.
 - » Some group representatives believe that the RDN is ideally positioned to lead or facilitate these opportunities.
- Opportunities to further integrate recreation with arts and culture was identified.
 - » Some discussion session participants expressed that the RDN should further engage with the arts and cultural sector in Oceanside to identify collaborative opportunities.
- Some discussion session participants believe that the RDN needs to further clarify and communicate those programs and facilities it will provide directly, and what is more appropriately provided by external providers (not for profit groups, private sector).



SIX

SUMMARY AND KEY FINDINGS

INCLUDED IN THIS SECTION:

- Identification of key summary findings from the research and engagement (for further exploration as the Master Plan is developed).

The research and engagement findings presented in this report document provide the project team with a wealth of information that will be used to inform the development of the Recreation Services Master Plan. Identified as follows in this section are **key summary findings** that have emerged and which will be further explored as recommendations and strategic directions are developed.

Areas of Strength

- Residents value recreational opportunities (69% indicated that recreation is “very important” to their household’s quality of life; 82% indicated that recreation is “very important” to the community in which they live).
- There exists a large number and variety of community organizations in the Oceanside area. Consultation findings suggest that most current organizations are successfully achieving their mandates and expect to remain viable into the future.
- The majority of residents (80%) are satisfied with RDN recreation services in District 69. Since 2006, the number of residents satisfied has increased by 13%.
- While a large multi-purpose RDN facility for recreation programming in District 69 does not currently exist, this circumstance has resulted in a number of successful partnerships, collaborations and a strong community level presence.
- Strong maintenance and management practices are in place for RDN operated facilities and programming.
- Operational roles and responsibilities between the RDN, municipalities located within District 69, and community partner organizations are generally well understood and seamless.
- The RDN has invested resources into the promotions and marketing of programs and opportunities.

Service Delivery Challenges

- Fifty-one percent (51%) of households believe that new or enhanced indoor recreation facilities are needed in District 69, while 49% believe new or enhanced parks and outdoor recreation facilities are needed.
- The service area is diverse; the RDN will be required to determine appropriate levels of service provision within available resources.
- A lack of youth “critical mass” was identified as a barrier to program provision and may impact the viability of executing on some new opportunities.
- Some residents continue to face a variety of challenges that impact their ability to access recreation opportunities. A number of these challenges are complex and may be difficult to fully address (e.g. transportation, cost, physical limitations).

Specific Infrastructure Considerations and Issues

- There exists demand for a multi-purpose recreation facility that could accommodate programming and fitness activities. The development of a facility of this nature would also align with observed trends in recreation provision and create efficiencies for the RDN and partner organizations. However, the benefits of developing this type of facility will need to be carefully weighed with the impacts on existing community infrastructure, cost vs. benefit, and resident accessibility.
- The Ravensong Aquatic Centre remains a highly utilized and in-demand recreation amenity (resident survey findings revealed that Ravensong was the most utilized indoor recreation facility by District 69 residents). Consultation findings additionally reflect that improved indoor aquatics provision is among the highest infrastructure priorities for residents and user groups. However varying viewpoints exist on the best move forward approach to improve indoor aquatics provision in District 69 (e.g. enhancements to the existing facility vs. new development). The option(s) recommended by the Master Plan will need to take into account a variety of factors which include capital and operating costs, benefits, impacts on existing facilities and opportunities to address other identified recreational needs.
- Although overall resident demand for an outdoor multi-purpose or “multi-plex” type of sport facility (e.g. rubberized track, artificial turf field) is lower than some other facility types, demand for this type of facility among potential primary user groups is high. While this type could be required at some point in the future, the Master Plan will need to further clarify potential timing, site and amenity requirements and the overall financial impacts of developing such a facility in District 69.

- In contrast to broader national trends, curling participation in the area is high and is experiencing continued growth. It is likely that there will be a need to sustain the current level of curling facility capacity (e.g. total number of curling sheets in the area).
- Current indoor ice arena provision in District 69 appears to be sufficient.
- While operational and day to day roles and responsibilities are well understood, less clarity exists around roles and responsibilities related to future facility planning and potential new development.
- Trails and pathways are a significant leisure amenity for District 69 residents. While the provision of this amenity is not the responsibility of the District 69 Recreation Department, opportunities to provide input and add a recreational “lens” to planning discussions led by other RDN departments should be further explored. Expanded opportunities to further utilize trails for District 69 recreational programming should also be considered.





APPENDICES

A: Resident Questionnaire Tool	85
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C: Interview and Discussion Session Participants	97
D: Current Planning Review.	98

A

RESIDENT QUESTIONNAIRE TOOL

DISTRICT 69 (OCEANSIDE) RECREATION SERVICES MASTER PLAN

HOUSEHOLD QUESTIONNAIRE



Survey Code: _____

The Regional District of Nanaimo is developing a Recreation Services Master Plan for District 69, commonly referred to as Oceanside. The Master Plan will provide a long term strategic plan for the delivery of recreation services and will help guide decisions pertaining to current and future infrastructure, programming, and the overall delivery system.

Engagement with residents is a key aspect of the project. This feedback along with other research and engagement being conducted will be used to develop the Master Plan.

Please have an adult in your household complete this questionnaire by considering the needs of all members of your household. Responses are anonymous. If you have any questions on this survey or the project please contact Dean Banman, Regional District of Nanaimo, Recreation and Parks Department at (250) 248 – 3252 or RC Strategies+PERC at 1 (877) 727 – 9204 (toll free number).

Completed questionnaires can be dropped off to the customer service desk at the Ravensong Aquatic Centre or Oceanside Place. Alternatively they can be mailed to RC Strategies+PERC at 2004 Sherwood Drive, Sherwood Park, Alberta, Canada, T8A 0Z1.

SECTION ONE: CURRENT RECREATION PARTICIPATION

1. Overall, how important are recreation opportunities (facilities and programs) to...

Category	Very Important	Somewhat Important	Not Important	Unsure
... your household's quality of life?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
... the community in which you live?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
... the attractiveness/appeal of the region?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

2. Which of the following recreation (and related) activities did you and/or members of your household actively participate in during the past 12 months? Select all responses that apply.

- Agricultural (e.g. equestrian, rodeo)
- BBQ/picnic/social gathering
- Ball (baseball, softball, slo-pitch)
- Beach volleyball
- Boating (motorized)
- Camping
- Community events (e.g. Canada Day, KidFest, Qualicum Beach Family Day)
- Cricket
- Curling
- Cycling/mountain biking
- Dance
- Dog walking
- Fitness training at a gym (e.g. cardio, weight training)
- Fitness classes (e.g. spin, yoga, boot camp)
- Football
- Gardening



- Golf
 - Gymnastics
 - Hiking
 - Hockey (structured/league)
 - Ice skating program (e.g. figure skating, learn to skate)
 - Ice skating ("drop in" public skating and/or shinny)
 - Indoor gymnasium sports (e.g. basketball, volleyball, badminton)
 - Kayaking/canoeing/paddle sport
 - Lacrosse
 - Lawnbowling
 - Outdoor court/paved surface sports (e.g. street hockey, basketball)
 - Performing arts (e.g. program, play)
 - Pickleball
 - Rollerblading/inline skating
 - Rugby
 - Soccer
 - Swimming: indoors as part of a registered program or class (e.g. swimming lessons, aqua size)
 - Swimming: indoors on a casual/drop-in basis (e.g. "leisure swimming", lane swimming)
 - Swimming: indoors as part of an aquatics sport organization (swim club)
 - Swimming: outdoors at the beach
 - Tennis
 - Track and field
 - Visual arts (e.g. painting, pottery, quilting)
 - Walking/jogging
 - Wildlife watching/bird watching/nature appreciation
 - Other (please specify): _____
3. What are the main reasons you and/or members of your household participate in recreation and related activities?
Please select all that apply.
- Competition
 - Experience a challenge
 - Fun/entertainment
 - Help the community
 - Improve skills and/or knowledge
 - Meet new people
 - Physical health/exercise
 - Relaxation/ to unwind
 - Satisfy curiosity
 - To spend time with friends/family
 - Other (please specify): _____



4. What, if anything, limits you and/or members of your household from participating in recreation opportunities? Please select all that apply.

- Lack of time
 Lack of interest
 Cost of programs
 Inconvenient times
 Age/health issues
 Lack of facilities
 Lack of transportation
 Location of facilities
 Nothing
 Other (please specify): _____

5. For each of the following recreation facilities and spaces in District 69 (Oceanside), please estimate how frequently in the previous twelve (12) months someone in your household used or visited it.

Facility/Space	1 – 9 Total Household Uses/Visits	10 – 20 Total Household Uses/Visits	21+ Total Household Uses/Visits	Did Not Use or Visit
City of Parksville				
Oceanside Place Ice Arenas	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Oceanside Place (meetings rooms/ multi-purpose rooms)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Parksville Curling Club (District 69 Arena)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Skateboard Park (Parksville Community Park)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Horseshoe Pits (Parksville Community Park)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Parksville Community Park (playground, gazebo, picnic area, splash park)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Tennis Courts in Parksville (all locations)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Pickleball Courts in Parksville (all locations)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sports Fields in Parksville (all locations)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Ball Diamonds in Parksville (all locations)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Former Parksville Elementary School (PES)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Parksville Lawn Bowling Club	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
MacMillan Arts Centre	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Parksville Community and Conference Centre	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Parksville Seniors Drop-In Centre	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Private Fitness and Wellness Facilities/Studios	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
School Gymnasiums (excluding the former Parksville Elementary School)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Parks, Trails/Pathways, and Open Space (all locations/areas)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Playgrounds (all locations)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Town of Qualicum Beach				
Ravensong Aquatic Centre	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Qualicum Commons (former Qualicum Beach Elementary School)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Qualicum Beach Civic Centre	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Facility/Space	1 – 9 Total Household Uses/Visits	10 – 20 Total Household Uses/Visits	21+ Total Household Uses/Visits	Did Not Use or Visit
Skate Park	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BMX Track	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Qualicum Beach Community Park	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Lawn Bowling Club (indoor)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Lawn Bowling Club (outdoor)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Qualicum Beach Curling Club	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Tennis Courts (all locations)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sports Fields in Qualicum Beach (all locations)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Private Fitness and Wellness Facilities/Studios	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Qualicum Beach Seniors Centre	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Ball Diamonds in Qualicum Beach (all locations)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
The Old School House Arts Centre	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
School Gymnasiums (excluding Qualicum Commons)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Parks, Trails/Pathways, and Open Space (all locations)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Playgrounds (all locations)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Electoral Area E (NanOOSE Bay)				
NanOOSE Place	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Private Fitness and Wellness Facilities/Studios	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Arbutus Meadows Complex	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Playgrounds	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Jack Bagely Field	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Parks, Trails/Pathways, and Open Space	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Electoral Area F (Errington, Coombs, Hilliers, Whiskey Creek, Meadowood)				
Errington War Memorial Hall	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Bradley Centre	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Arrowsmith Hall/Coombs Fairgrounds	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Arrowsmith Activity Hall/Coombs Fairgrounds	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Private Fitness and Wellness Facilities/Studios	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
School Gymnasiums	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Playgrounds	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
French Creek Community School	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Parks, Trails/Pathways, and Open Space	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Electoral Area G (San Pareil, French Creek, Surfside, Dashwood)				
Private Fitness and Wellness Facilities/Studios	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Playgrounds	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Little Qualicum Hall	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Parks, Trails/Pathways, and Open Space	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Facility/Space	1 – 9 Total Household Uses/Visits	10 – 20 Total Household Uses/Visits	21+ Total Household Uses/Visits	Did Not Use or Visit
Electoral Area H (Qualicum Bay, Bowser, Deep Bay, Dunsmuir, Horne Lake, Spider Lake)				
Lighthouse Community Centre	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Qualicum Bay Lions Hall	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Playgrounds	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Private Fitness and Wellness Facilities/Studios	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
School Gymnasium	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Parks, Trails/Pathways, and Open Space	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

6. Do members of your household travel outside of District 69 (Oceanside) to access recreation facilities because they are not readily or sufficiently available? ** Excluding "away games" and competitions.*
- Yes
- No (Please proceed to Question #8)
7. What types of facilities do members of your household travel outside of District 69 (Oceanside) to access because they are not readily or sufficiently available?
- Aquatics
- Fitness/wellness facilities
- Ice arena facilities
- Indoor field house/gymnasium type spaces
- Sport fields (e.g. synthetic turf)
- Arts and cultural facilities
- Trails
- Parks and open space
- Other (please specify): _____

SECTION TWO: SATISFACTION WITH RECREATION SERVICES

8. Overall, how satisfied is your household with recreation services and facilities provided by the Regional District of Nanaimo in District 69 (Oceanside)? ** The Regional District of Nanaimo operates Oceanside Place and the Ravensong Aquatic Centre. The RDN also offers numerous programs at various community facilities in District 69.*
- Very Satisfied
- Somewhat Satisfied
- Somewhat Dissatisfied
- Very Dissatisfied
- Don't Know/No Opinion
- 9a. Please indicate your level of satisfaction with the following aspects of recreation services in District 69 (Oceanside).

Category	Very Satisfied	Somewhat Satisfied	Don't Know/No Opinion	Somewhat Dissatisfied	Very Dissatisfied
Facility Maintenance					
At Oceanside Place	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
At Ravensong Aquatic Centre	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
At other facilities used for programming by the RDN in District 69 (e.g. schools, community centres)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Category	Very Satisfied	Somewhat Satisfied	Don't Know/ No Opinion	Somewhat Dissatisfied	Very Dissatisfied
Customer Service					
Overall (all interactions with RDN staff)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
At Oceanside Place	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
At Ravensong Aquatic Centre	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Programming					
Overall (all programming offered by the RDN in District 69)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Children and youth oriented programs (e.g. sport programs, summer camps)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Adult oriented programming (e.g. fitness classes, recreational programming)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
At Oceanside Place	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
At Ravensong Aquatic Centre	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Registration Process					
Overall (for all RDN programs in District 69)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
At Oceanside Place	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
At Ravensong Aquatic Centre	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Instruction					
Overall (all programming offered by the RDN in District 69)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Children and youth oriented programs (e.g. sport programs, summer camps)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Adult oriented programming (e.g. fitness classes, recreational programming)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
At Oceanside Place	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
At Ravensong Aquatics Centre	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Promotions and Marketing					
Program Guide	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Promotion of programs in facilities (e.g. poster boards)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

- 9b. Please use the space below to provide any additional comments on your level of satisfaction related to facility maintenance, customer service, programming, the registration process, instruction, and promotions and marketing.

SECTION THREE: FUTURE FACILITY NEEDS

10. Do you or members of your household feel that new or enhanced **indoor recreation facilities** are needed in District 69 (Oceanside)?
- Yes
 Unsure
 No (Please proceed to Question #12)

- 11a. From the list below, please identify the **indoor recreation facilities** that you or members of your household feel should be developed and/or enhanced.

Please do not select a response if you do not think new development or enhancement should occur to the facility type.

Facility Type	New Facility/Facilities Should Be Built	Existing Facility/Facilities Should Be Enhanced
Health and Wellness Centre/Fitness Centre	<input type="checkbox"/>	<input type="checkbox"/>
Teen/Youth Centre	<input type="checkbox"/>	<input type="checkbox"/>
Indoor Swimming Pool (expansion or new facility)	<input type="checkbox"/>	<input type="checkbox"/>
Multi-Purpose Recreation Facility	<input type="checkbox"/>	<input type="checkbox"/>
Performing Arts Centre	<input type="checkbox"/>	<input type="checkbox"/>
Seniors Centre	<input type="checkbox"/>	<input type="checkbox"/>
Ice Arena	<input type="checkbox"/>	<input type="checkbox"/>

- 11b. Please identify any other types of indoor facilities that should be developed and/or enhanced.

12. Do you or members of your household feel that new or enhanced **parks and outdoor recreation facilities** are needed in District 69 (Oceanside)?
- Yes
 Unsure
 No (Please proceed to Question #14)

- 13a. From the list below, please identify the **parks and outdoor recreation facilities** that you or members of your household feel should be developed and/or enhanced.

Please do not select a response if you do not think new development or enhancement should occur to the facility type.

Facility Type	New Facility/Facilities Should Be Built	Existing Facility/Facilities Should Be Enhanced
Bicycle/Roller Blade Paths	<input type="checkbox"/>	<input type="checkbox"/>
Walking/Hiking Trails	<input type="checkbox"/>	<input type="checkbox"/>
Natural Parks and Protected Areas	<input type="checkbox"/>	<input type="checkbox"/>
Picnic Areas and Passive Parks	<input type="checkbox"/>	<input type="checkbox"/>
Track and Field Facility	<input type="checkbox"/>	<input type="checkbox"/>
Playgrounds	<input type="checkbox"/>	<input type="checkbox"/>
Sports Fields (rectangular fields and ball diamonds)	<input type="checkbox"/>	<input type="checkbox"/>



13b. Please identify any other types of outdoor facilities that should be developed and/or enhanced.

14. Would your household support an annual increase in taxation in order to provide new or improved recreation, parks, and trails facilities and services?

- Yes
 Unsure
 No (Please proceed to Question #16)

15. How much in additional taxes per year would you be willing to pay to provide new or improved recreation, parks, and trails facilities and services?

- \$20 or less per year
 \$21 – \$30 per year
 \$31 – \$40 per year
 \$41 – \$50 per year
 \$51 – \$100 per year
 Over \$100 annually

SECTION FOUR: RECREATION PROGRAMMING

16. Please identify the types of recreational programs that you think should be more readily available and/or improved in District 69 (Oceanside) for each age group. Please select the appropriate boxes that indicate program type and age group.

Program Type	Children (0 – 5 Years)	Youth (6 – 12 Years)	Teens (13 – 18 Years)	Adults (19 – 39 Years)	Adults (40 – 64 Years)	Seniors (65+ Years)	No Additional Opportunities Required
Nature Interaction (e.g. birdwatching, educational)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Fitness Classes (e.g. yoga, spin)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Outdoor Skills (e.g. camping, fishing, survival)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
General Recreation/Leisure (e.g. floor curling, “pick-up” games)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sport Leagues	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sport Camps	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Activity Camps (e.g. summer, weekend)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Wellness (e.g. healthy eating, mental health)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Community and Social Events	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

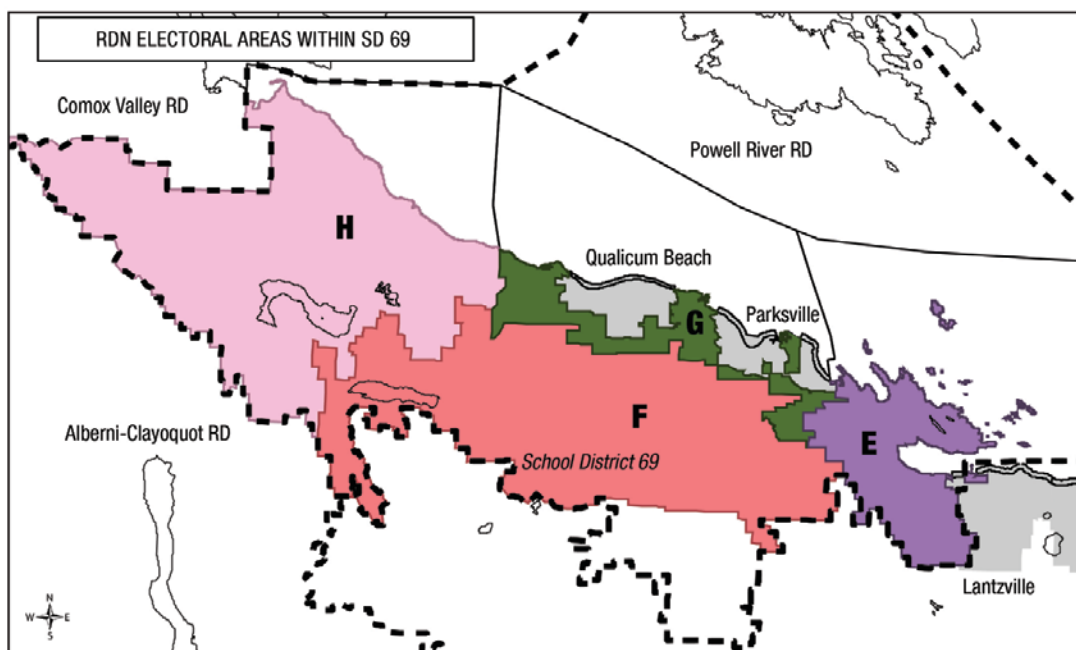
17. What are the three (3) **best ways** to get information to your household about recreation opportunities (programs and activities)?

- Local newspapers
 Radio
 Regional District of Nanaimo website/online schedules
 Regional District of Nanaimo Recreation and Parks Active Living Guide(s)
 Program/community guides (e.g. What's On, Parksville Qualicum Beach Tourism Guide)
 Social media
 Utility bill inserts
 Brochures and posters in community facilities
 Community signs
 Other (please specify): _____

SECTION FIVE: ABOUT YOUR HOUSEHOLD

18. Where is your primary residence?

- City of Parksville
 Town of Qualicum Beach
 Electoral Area E (NanOOSE Bay)
 Electoral Area F (Errington, Coombs, Hilliers, Whiskey Creek, Meadowood)
 Electoral Area G (San Pareil, French Creek, Surfside, Dashwood)
 Electoral Area H (Qualicum Bay, Bowser, Deep Bay, Dunsmuir, Horne Lake, Spider Lake)
 Don't Know
 Other (please specify): _____





19. Do you own or rent your primary residence?
- Own
 Rent
20. How long have you lived in District 69 (Oceanside)?
- Less than 5 years
 5 – 10 years
 More than 10 years
21. Do you expect to be residing in the District 69 (Oceanside) area for the next five years?
- Yes
 Unsure
 No
22. Which of the following best describes the type of household in which you live?
- Single Adult(s) with no Dependent Children
 Single Parent with Dependent Children
 Couple with no Dependent Children
 Couple with Dependent Children
23. Please describe your household by recording the number of members in each of the following age groups.
- | | |
|----------------|----------------|
| 0 – 4 Years: | 40 – 49 Years: |
| 5 – 9 Years: | 50 – 59 Years: |
| 10 – 19 Years: | 60 – 69 Years: |
| 20 – 29 Years: | 70 – 79 Years: |
| 30 – 39 Years: | 80+ Years: |

THANK YOU FOR PROVIDING YOUR FEEDBACK!

DRAW ENTRY FORM

As a token of thanks for completing this questionnaire, four draws will be made for \$75 RDN Recreation and Parks gift certificates (redeemable at Oceanside Place Arena or Ravensong Aquatic Centre for recreation programs, camps, 10x admissions, and memberships). To be included in the draw, complete and return the entry form below with your survey by March 20th. This information will be utilized solely for the purposes of the draw and will not be reported in connection with the responses you have provided.

Name (First Name Only): _____

Phone Number: _____

B

COMMUNITY GROUP QUESTIONNAIRE PARTICIPATING ORGANIZATIONS

1. Better Body's Fitness
2. A Child's P.L.A.C.E
3. Arrowsmith Community Recreation Association
4. Arrowsmith Tennis Club
5. B.C. Masters Swim Program
6. Badminton and Pickleball Program, Lighthouse Community Centre
7. Bard to Broadway Theatre Society
8. Bishops of Bowser Chess Club
9. Bowser Branch #211, The Royal Canadian Legion
10. Cascadia Martial Arts
11. Central Vancouver Island Basketball
12. Coombs Hilliers Recreation and Community Organization
13. District 69 Dart Association
14. Esteem Vocals/Sound Connection Choir
15. ETRA Therapeutic Riding Association
16. Forward House Community Society
17. Fung Loy Kok Taoist Tai Chi
18. Jim's Gym Ltd.
19. Lighthouse Community Hall Society
20. Lighthouse Community Slopitch League
21. Lighthouse Country Business Association
22. Mid Island Distance Running Club
23. Mid Island Floral Art Club
24. Namaskar Yoga Studio
25. Nanaimo Duplicate Bridge Club
26. Nile Creek Environmental Society
27. Oceanside Building Learning Together Society
28. Oceanside Division of Family Practice
29. Oceanside Generals Jr. Hockey Club Society
30. Oceanside Ladies Soccer
31. Oceanside Minor Baseball
32. Oceanside Minor Hockey Association
33. Oceanside Minor Lacrosse Association
34. Oceanside Pickleball Club (OPC)
35. Oceanside Women's Hockey League "OWHL"
36. Parksville & District Historical Society
37. Parksville Adult Badminton Club
38. Parksville Curling Club
39. Parksville Golden Oldies Sports Association
40. Parksville Ladies Pool Group.
41. Parksville Newcomers Club
42. Parksville Oceanside Pickleball Society
43. Parksville Qualicum Beach Tourism
44. Parksville Royals
45. Parksville Slo-Pitch Athletic Group 55+
46. Parksville/Qualicum Tuesday Birdwalk
47. Parkville Quilt House Quilters Guild
48. Qualicum Beach Triathlon Club
49. Qualicum and District Curling Club
50. Qualicum Beach Area Newcomers Club
51. Qualicum Beach Family History Society
52. Qualicum Beach Garden Club
53. Ravensong Action Group
54. Ravensong Aquatic Club
55. Ravensong Waterdancers Synchronized Swimming Club
56. Rivers Oceans and Mountains School
57. Sandy Shores Skating Club
58. Seaside Cruizers Car Club
59. Special Olympics BC - Oceanside
60. VIU—Milner Gardens



INTERVIEW AND DISCUSSION SESSION PARTICIPANTS

1. Aquatics Facility Users*
2. Arbutus Meadows
3. Arrowsmith Community Recreation Association
4. Corcan Meadowood Residents Association
5. District 69 School Division—Parents Advisory Committee
6. District 69 School Division—Senior Administration
7. Lighthouse Community Slo Pitch League
8. Nanoose Place Community Centre
9. Oceanside Division of Family Practice
10. Oceanside Minor Hockey
11. Oceanside Minor Lacrosse Association
12. Oceanside Pickleball
13. Oceanside Rage Girls Fastpitch
14. Oceanside Track and Field Club
15. Oceanside Womens' Hockey League
16. Oceanside Youth Soccer Association
17. Parksville Curling Club
18. Parksville Golden Oldies Sports Association (PGOSA)
19. Parksville Seniors' Drop-In Centre
20. Qualicum Beach Curling Club
21. Qualicum Beach Lions Club
22. Qualicum Beach Newcomers' Club
23. Qualicum Seniors Activity Centre
24. Ravensong Aquatics Club
25. RDN Youth Recreation Advisors*
26. Sandy Shores Skating Club
27. Special Olympics BC—Oceanside
28. Town of Qualicum Beach (Planning Department)
29. City of Parksville

* Conducted as group discussion sessions. The Aquatics Facility User session included over 25 participants, the majority of whom are individual facility users (not part of an organized group).

D

CURRENT PLANNING REVIEW

Regional District of Nanaimo Planning

Regional District of Nanaimo Board Strategic Plan 2016 – 2020

The overarching Strategic Plan presents the RDN’s vision, key focus areas, and strategic priorities.

Vision

Our Region is environmentally, socially, and economically healthy; resilient and adaptable to change. Residents of the Region meet their needs without compromising the ability of future residents to do the same.

Focus on Service and Organizational Excellence

- We recognize community mobility and recreational amenities as core services.
- We will fund infrastructure in support of our core services employing an asset management focus.
- We recognize and plan for the impact of our aging population.
- We will advocate for transit improvements and active transportation.
- We will ensure our processes are as easy to work with as possible.

Focus on Relationships

- We value our first nations relationships and will integrate their input in future planning and service delivery.
- We will focus on improved two-way communication within the regional district and with our communities.
- We recognize all volunteers as an essential component of service delivery. We will support the recruitment and retention of volunteers.
- We look for opportunities to partner with other branches of government/community groups to advance our region.

Recreation Services Master Plan for Oceanside (2006)

The previous Recreation Services Master Plan was developed in 2006. The 10-year plan set direction for recreation services including a philosophic foundation and operating guidelines for service delivery and issues related to the continued provision of recreation facilities and programs. Included in this plan were 66 recommendations which provided guidance in a number of areas, which cover:

- The role of the RDN in providing recreation in the Oceanside area.
- Collaboration and partnerships that should be continued, strengthened, and evolved.
- Infrastructure priorities.
- Opportunities to improve access for individuals facing financial or social barriers.
- Opportunities to further use recreation as a community development mechanism.
- Suggested roles and responsibilities for the Board and Commission.

RDN 2014 Community Survey

In 2014, the Regional District of Nanaimo conducted a citizen satisfaction survey to capture the perception of resident quality of life in the area. In total, 1,325 responses were gathered via mailout, telephone, and online methods. Results relating to recreation services are displayed below.

Recreation Related Results

- Of all the RDN services asked about, residents were most satisfied with “parks, trails, and other green space” (89% satisfied, 53% “very satisfied”).
- Two-thirds of residents were satisfied with “recreational programs” (66% satisfied, 26% “very satisfied”).

RDN Service	E	F	G	H	PV	QB
Satisfaction with parks, trails, and other green space	74%	82%	77%	76%	86%	90%
Satisfaction with recreational programs	49%	74%	69%	57%	75%	77%

Ravensong Aquatic Centre Expansion Update (2013)

Since 2006, the District 69 Recreation Commission and RDN Board have recognized the increasing usage at the Ravensong Aquatic Centre. Feasibility analysis for an expansion to the facility occurred in 2010 and an expansion update was conducted in 2013 to provide the District 69 Recreation Commission and RDN Board an update on past direction and work completed on the possibility of expanding Ravensong Aquatic Centre. Consideration was given to a fitness centre, upgrade of change rooms, pool expansion (leisure pool), multi-purpose room addition, and a new lobby. At the time, the project cost was expected to range from \$7.2M to \$7.8M.

District 69 Arena (Parksville Curling Club) Building Assessment (2014)

The purpose of the assessment was to confirm the integrity and life expectancy of the District 69 Arena including its structure and major operating systems. Herold Engineering oversaw the completion of facility and systems assessment in 2014 and determined that between \$350,000 - \$500,000 was required over the next three to five years to maintain basic functions of the facility. It also recommended that the new Recreation Services Master Plan could take into consideration the future of the District 69 Arena.

Recommendations from the Building Assessment Report (2014)

1. That the Parksville Curling Club continue with capital plan responsibilities as per the existing lease agreement and staff be directed to review funding options, including grants, to replace systems and upgrade the facility to continue as a curling club.
2. That Regional District consider alternative facility uses for the District 69 Arena and associated costs as part of the 2016 Recreation Services Master plan process for District 69.

Arrowsmith Community Recreation Services Delivery Agreement (2017 – 2019)

The Arrowsmith Community Recreation Association (ACRA) currently provides recreation services in Electoral Area F. A service delivery agreement is in place that commits the RDN to support ACRA through 2019, however the agreement could be terminated at the RDN's discretion if desired. The agreement has financial implications as ACRA is supported by the RDN through Northern Community Recreation Program Services.

Funding Support

- 2017: \$72,328
- 2018: \$72,328 + CPI (Victoria)
- 2019: \$72,328 + CPI (Victoria)

District 69 Track and Field Facility Feasibility Study (2008)

Submitted to School District 69 and the RDN in 2008, the feasibility study was funded by the School Community Connections program (which is managed for the BC Provincial Government by the Union of BC). A need for a new track and field facility was expressed and investigated in the study. Best practices are presented as well as options and recommendations for moving towards development of a new track.

Best Practices

- Successful tracks are municipally owned.
- Built to event standards with eight lanes.
- A majority of revenue comes from hosting events.
- Accommodate a variety of community uses when not booked.

Options

1. A minimum investment level of \$709,000 would allow the current track at Ballenas Secondary School to have curbs (inside and outside) installed, for the track to be resurfaced with track based asphalt, with a limited level of lighting installed.
2. An investment of around \$1.5m would allow a quality training track to be developed. This would have curbs, a quality track surface and all other aspects of a full track, except it would be only four or five lanes, or six lanes on the straight-away and three on the back and curves.
3. An investment of \$2.0m to \$2.5m would allow a full eight lane track to be installed.
4. For the same investment in the track and field facility, a start could be made on a major outdoor sports complex with the track facility being the first investment into that park.

Recommendations from the District 69 Track and Field Facility Feasibility Study (2008)

- That two strategies be developed, one for a short term approach and one for a long term approach.
- That the short term approach be option 1, using the funding within the School Community Connections (SCC) program to upgrade the current Ballenas Secondary School track, with the other local government and community partners contributing \$375,000 to the SCC \$125,000, and that the project be scaled as far back as necessary to meet this financial target.
- That the long term approach be to continue with the planning and acquisition of land for a new outdoor sports complex, with a track and field facility being one of the first facilities to be developed in that sports complex.

RDN Operational and Efficiency Review and Recommendation Worksheets (2014)

An Operational and Efficiency Review was conducted for the entire RDN organization, including the Recreation and Parks Department. The purpose of the review was to identify opportunities to streamline service delivery where possible, achieve cost efficiencies, improve service delivery and effectiveness, reduce duplication, enhance services where required and appropriate, and facilitate ongoing performance measurement and analysis.

In connection to the Operational and Efficiency Review, in 2015 the Regional District of Nanaimo developed a comprehensive list of recommendations and desired outcomes for each RDN department. In regards to parks and recreation there are over 100 items listed; relevant items are listed on the following pages.

Recreation Recommendations

Area	Item	Recommendation	Desired Outcome
Recreation and Parks	Department Strategic Plan	That the Department developed a strategic plan to guide its development that recognizes the diverse services it provides to a broad range of residents over varied geographic zones.	The Department has a strategic plan in place that is working in synchronization with other key planning documents to ensure the provision of recreation and parks services is being delivered at optimal levels with the resources that are made available.
Recreation and Parks	Sports Fields	That the RDN work with City of Parksville, SD69, Town of Qualicum Beach and NPOs to increase the sport field inventory to better accommodate adult (soccer and softball) and minor sport leagues and tournaments. Upgrading existing play fields to sport field standards should be considered in addition to reviewing the need for a multi sport field facility as part of the 2016 Recreation Services Master Plan	Adult and minor leagues have the facilities to host a variety of sporting events, tournaments and leagues.
Recreation and Parks	Nature Programming	That outdoor park programming provided by the RDN within regional and community parks expand to residents throughout the Regional District.	Residents and visitors of the Regional District can register or participate in outdoor programming events and activities throughout the RDN parks.
Recreation	H Programmer	Review the business case for the continuation of the programmer office in EA 'H' and the opportunity to more effectively provide service including the consideration of closure of the programmer office in Bowser and reassign duties to other programming portfolios including outdoor programming, park community liaison and permitting. Continuation to provide programs based in EA H based on demand. Review providing funding to NPO to provide services.	More efficient use of programming resources to the broader community while facilitating recreation service provision in EA H.
Recreation	School Newsletters	Review effectiveness of production of hard copies of school newsletters and reduce or discontinue. Expand digital distribution of newsletter in collaboration with School Districts.	Communication with school based users increased with a reduction of production costs.

Area	Item	Recommendation	Desired Outcome
Recreation	Culture Services	Improve partnerships and collaborations with existing NPO cultural groups in efforts to raise the profile of cultural programs and events in District 69.	Cultural events and programs profiled at an optimal level in District 69 with support from Northern Recreation Services.
Recreation	Recreation Facility Space	That the RDN work with SD69 to lease program space in centrally-located/high-demand areas (i.e. Parksville and Qualicum Beach).	Dedicated program space (gymnasium and multi-use rooms) is available to the public in the local communities based on demand for sport and recreation.
Parks	Parks and Open Space Advisory Committees	That consideration be given to restructure of committees such that EA Directors and staff can develop and maintain consistent and achievable community parks and trails program across the Regional District. Review amend the schedule of POSACs in conjunction with other organizational approaches to community meetings (revised EAPC, "pop-up" Board meetings in EAs, etc).	The community parks and trails system is planned and developed jointly and in collaboration with all Electoral Area directors while increasing opportunities in obtaining informed public feedback and input on the system.
Parks	Park Development Plans	Electoral Area Community parks that require development will use a Park Development Plan to provide public input and budget planning.	That all Community Park requiring development have plans that reflect community input and that costing and phasing is included in the 5-year financial plan.
Parks	Park System Plan	That the RDN develop a RDN Parks and Trails System Plan for all regional and community parks and trails.	The RDN has a Park and Trails System plan encompasses both Regional and Community Parks and that factors in the shared staffing resources between the eight parks and trail functions.
Parks	Bicycle Networks Plans	The each Electoral area has an approved Bicycle Network Plan that incorporates linkages to neighbouring municipalities and electoral areas.	Each Electoral Area in Regional District have approved Bicycle Networks Plans that recognize infrastructure integration with MoTI with linkages with neighbouring communities.
Parks	Community Support of Park Developments	That the RDN consider developing a program similar to the City of Nanaimo where community park development or upgrades require significant funding and participation of the community.	Ensures that park development and use of parks funds are fully supported by the community and not just a few special interest groups or one or two residents. Limited parks funds can be used on projects that are fully supported by the community
Oceanside Place	Arena Scheduling	Review facility scheduling process to increase customer service and increase revenue generation opportunities from open facilities.	Customers can review arena availability on weekends and evening in addition having access to this information on weekdays. Increased revenue to support operations and more efficient use of facilities.
Oceanside Place	Arena Advertising	To further review the contracting out of advertising at the arena to ensure the highest return on revenues is being achieved.	The confirmed method of selling and coordinating advertising at the arena is achieving the highest possible return on revenue.

Area	Item	Recommendation	Desired Outcome
Oceanside Place	Dead Ice Usage	Improve the booking process of unused ice times on evenings and weekends. Consider improved on-line software.	Customers can review and book unused ice times on weekends and evening in addition having access to this service on weekdays.
Oceanside Place	Declining dry floor use	Review operational requirements with declining dry floor use	Facility operating at capacity while factoring dry floor opportunities for community and user groups.
Oceanside Place	Facility Operations	Continue with high level of quality in facility operations, ice making and facility maintenance.	Facility operations meeting and exceeding public expectations.
Oceanside Place	Patron and Staff Safety	Continue to ensure staff and user safety remains a priority in facility operations.	Continue with safety program and inspection and make improvements where warranted.
Ravensong Aquatic Centre	Special Event Provision	Continue to provide special events including theme swims and teen night swims	The pool provides a variety of special event and theme swims to encourage pool use to a broad range of demographic groups.
Ravensong Aquatic Centre	Safety	Continue to ensure staff and user safety remains a priority in facility operations.	Continue with safety program and inspection and make improvements where warranted.
Ravensong Aquatic Centre	Upper Level Course Delivery	Ensure upper level aquatic courses are provided to community that in turn will facilitate training and recruitment of local lifeguard/instructors.	Community has improved access to upper level aquatic courses and the facility has a larger trained resource pool to draw from to use as lifeguards/instructors.
Ravensong Aquatic Centre	Increased Pool Space	That clear direction be developed that aligns community demand with aquatic pool per the feasibility study for the Aquatic Centre. Community needs to be verified through Recreation Services Master Plan in 2016.	That adequate and functional aquatic space is available that meets the needs to the community.
Ravensong Aquatic Centre	Fitness Centre: Community Demand	That clear direction be developed that aligns community demand with fitness per the feasibility study for the Aquatic Centre. Community needs to be verified through Recreation Services Master Plan in 2016.	That adequate and functional fitness space is available that meets the needs of the broader community.
Ravensong Aquatic Centre	Staffing Levels/ Facility Expansion	That as part of the facility expansion review, ensure sufficient staffing levels are achievable to operate a larger facility.	Expanded facility has sufficient staff in place to meet increased service demands.
Ravensong Aquatic Centre	Standing Surf Wave/ Wave Rider	Consider a Wave Rider when expanding the Ravensong Aquatic Centre to capitalize on the growing surfing community on Vancouver Island.	The merits of providing a Wave Rider have been considered when planning and designing the expansion of RAC.

Youth Recreation Strategic Plan (2011 – 2016)

The purpose of the plan is to outline a clear vision statement for youth recreation services in District 69 as well as to develop programming priorities with identification of corresponding resource requirements, budget and timelines, and an outline identifying assessment benchmarks.

Vision: Our desired future is...

- Engaged Youth
- Healthy Experiences
- Infinite Possibilities

Mission Statement: Our core principle is...

- To promote and contribute to a vibrant youth recreation network

Strategic Directions

Seven Strategic Directions are outlined in the plan along with specific goals, actions, outcomes, and implementation details. The overarching Strategic Directions are:

1. From Direct Programs to Community Development
2. Enhance Communication
3. Foster Youth Leadership
4. Improve Access to Facilities
5. Review Access to Transportation
6. Build Recreation Team
7. Organizational Culture and Communications

Recreation Program Rationale Checklist (2013)

In 2013, a one-page checklist was developed to help determine whether the RDN should pursue potential new programs or not. Criteria is based on alignment with RDN organizational purpose (vision), financial viability, market positioning, and other key providers/competitors. When staff are considering program design and implementation, they can use this tool to ensure the program meets specific rationale.

Aligns with organizational purpose: Yes or No?

- The program supports the department mission statement in full or part...
 - » To bring fun, enjoyment and vitality to our community.
 - » To enhance health and fitness.
 - » To enrich human development.
 - » To increase positive social behavior.
 - » To provide direct economic benefits.
 - » To improve the quality of life.

- Program contributes to the health of local citizens.
- Program offers life skills development (i.e. lifesaving skills (first aid, swim lessons, water safety), leadership (LIT, Babysitter's certification, SD 69 Work experience).
- Programs for youth (11-18 yrs) support the Youth Recreation Strategic Plan (2011-2016) including these strategies: From direct programs to community development, Enhance communication, Foster youth leadership, and Improve access to facilities.

Financial viability: Good or Poor?

- Program is affordable (i.e. program can be offered at a reasonable cost to ensure access for all, is at market value, is comparable to other publicly offered programs vs private programs)
- Program follows the department's Fees and Charges Policy, or is identified as a department priority (i.e. through annual planning and budget approval, or special circumstances by Commission or management).

Market position: Strong or Weak?

- Quality instructors are available.
- Quality facilities/equipment are available.
- Program meets the needs of the District 69 community (i.e. based on program surveys, community meetings and requests).
- Program is open to public registration/participation.
- Program volume is balanced given demographics and population (# of programs : population age and size of community)

Other key provider/competitor coverage: High or Low?

- RDN Recreation and Parks is the best host/facilitator for the program.
- Program offers introductory and recreational opportunities (i.e. short-term, welcoming programs not otherwise available).

District 69 Fees and Charges Report (2014)

The purpose of this 2014 report was to seek approval of fees and charges bylaws. In addition to the proposed prices, a philosophy was outlined to guide the setting of fees and charges based on recovery rates.

Recovery Rate Philosophy

Area	Item	Recommendation	Recovery Rate
Building Healthy Communities by Meeting Needs	Community events of significance that benefit the majority of the community and/or citizens.	KidFest, Building Learning Together, Active Aging Week, Terry Fox	<75%
Building Healthy Communities and Citizens by Meeting Goals	<p>Programs and services that develop fundamental skills equally benefiting both the community and individual; youth leadership; fundamental physical movement, wellness, programs for people with consistent barriers or at risk.</p> <p>Programs and services that develop fundamental skills benefiting both the community and individual.</p>	<p>Minds in Motion, core summer programs, after school programming, inclusion</p> <p>Fundamental swimming and skating lessons, Leaders in Training</p>	75 – 100%
Building Healthy Citizens by Meeting Needs	Programs and services that develop fundamental skills benefiting the community but more so the individual based on market demand.	Specialized swimming and skating lessons, guided alpine hikes, Non-Impact Aerobics (NIA), Yoga	>100%
Building Satisfied Citizens by Meeting Wants and Demands	Programs and services that meet the hobbies or special interests demands of individuals that are not met by the private sector.	Specialized camps (sport, art, technology), private swim and skating lessons	>125%

Planning Undertaken by Municipalities in District 69

City of Parksville Vision, Mission, and Core Values (2015)

The City of Parksville is a critical partner in the delivery of recreation opportunities to local residents. The City's overarching strategic foundations are important to be aware of to ensure alignment. The following foundation was adopted by City Council in 2015.

Vision Statement

We aspire to be the City of choice for ourselves and future generations in a clean, safe, friendly, economically viable and sustainable environment.

Mission Statement

To provide good governance, prudent financial management, enhancing Parksville's lifestyle through effective leadership, community involvement and commitment to providing services in an effective, efficient manner to all residents.

Corporate Values

- Quality Service
- Fiscal Responsibility
- Environmental Awareness
- Inclusiveness

Qualicum Beach Vision Statement (2011)

The Town of Qualicum Beach also places importance on recreational opportunities. A vision for a desired future state is found in the Town's Official Community Plan.

Qualicum Beach of the future will be recognized for its:

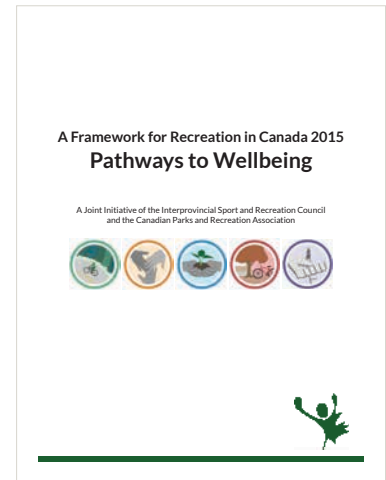
- Outstanding quality of urban and rural life and for its preservation of the natural environment.
- Small-town, village character and ambiance centred around a concentrated, attractive, commercial shopping destination.
- Safe, well-designed neighbourhoods with easy access to nearby rural areas, waterfront, natural areas, shopping, services, schools, workplaces and recreational opportunities.
- Carefully-managed growth and development, while maintaining a sustainable and high quality of life, based on the land use buildout policies contained in this OCP that project a potential maximum capacity of approximately 12,000 people.
- Containment of urban development that is surrounded by a permanently-protected rural green space.
- Preservation and enhancement of the environment, including natural areas, wildlife habitat and air and water quality.
- Vibrant, sustainable economy based on its resource assets, its appeal to tourists, and safe clean industries.
- Efficient up-to-date servicing and infrastructure. Servicing and infrastructure should reflect the goals of the Sustainability Plan, including conservation, reduced consumption, zero waste, renewable energy and reduced water consumption.

Provincial and National Planning

A Framework for Recreation in Canada 2015: Pathways to Wellbeing

The Framework is the guiding document for public recreation providers in Canada. The document was jointly developed by the Canadian Parks and Recreation Association and the Interprovincial Sport and Recreation Council in partnership with various stakeholders. It presents a renewed definition and vision of recreation as well as confirms common values, principles, and goals. The Framework was endorsed in February 2015 by the Provincial and Territorial Ministers of Sport, Physical Activity and Recreation, and is supported by the Government of Canada.

The Framework outlines renewed a definition and vision for recreation in Canada as well as five goals.



Definition of Recreation

Recreation is the experience that results from freely chosen participation in physical, social, intellectual, creative and spiritual pursuits that enhance individual and community wellbeing.

Vision

We envision a Canada in which everyone is engaged in meaningful, accessible recreation experiences that foster:

- Individual wellbeing
- Community wellbeing
- The wellbeing of our natural and built environments

Goals

Goal 1: Active Living

Foster active living through physical recreation.

- Recreation participation throughout the life course
- Physical literacy
- Play
- Reduce sedentary behaviours

Goal 2: Inclusion and Access

Increase access to recreation for populations that face constraints to participation.

- Equitable participation for all regardless of differences such as: socioeconomic status, age, culture, race, Aboriginal status, gender, ability, sexual orientation, or geographic location.

Goal 3: Connecting People and Nature

Help people connect to nature through recreation.

- Natural spaces and places are provided
- Comprehensive systems of parks are accessible
- Public awareness and education are promoted
- Negative impacts to the natural environment are minimized

Goal 4: Supportive Environments

Ensure the provision of supportive physical and social environments that encourage participation in recreation and help to build strong, caring communities.

- Essential spaces and places are provided
- Existing structures and spaces are being used for a variety of purposes
- Aging infrastructure is being renewed
- Active transportation is prevalent
- Partnerships are maximized
- Recreation education campaigns are established
- Assessment tools are used to ensure accountability
- Community initiatives are aligned

Goal 5: Recreation Capacity

Ensure the continued growth and sustainability of the recreation field.

- Increase collaborative efforts among all levels of the recreation field
- Career development to attract and educate new leaders
- Support advanced education in recreation
- Provide development opportunities for organizations and individuals (professional and volunteer)
- Develop community leadership strategies
- Rejuvenate and update volunteer strategies
- Support knowledge development to increase research efforts, data availability, support materials, and the development of new/enhanced post-secondary programs

Active People, Active Place—BC Physical Activity Strategy (2015)

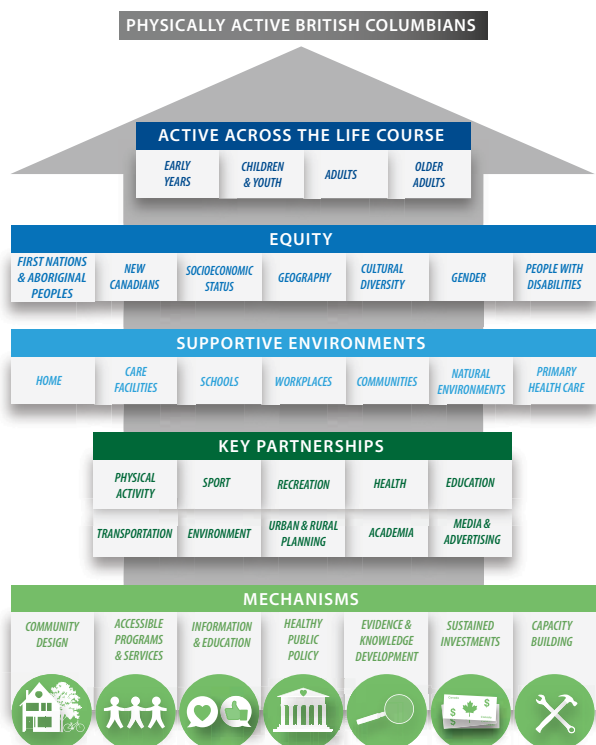
In 2015, the Government of British Columbia established its Physical Activity Strategy to guide and stimulate co-ordinated policies, practices and programs in physical activity that will improve the health and wellbeing of British Columbians.

Seven mechanisms are presented to provide strategic direction.

1. Community Design
2. Effective, Accessible Programs and Services
3. Information and Education
4. Healthy Public Policy
5. Evidence and Knowledge Development
6. Sustained Investments
7. Capacity Building

A number of goals, objectives and actions are presented to further the seven mechanisms. A couple of the objectives pertinent to local government include:

- Enhance opportunities for participation in sport across the life course.
- Build on existing partnerships between local governments, health authorities, school districts, divisions of family practice and sport and recreation at the local level to increase access to affordable physical activity through healthy community design and inclusive programs and services.



The Way Forward—A Strategic Plan for the Parks, Recreation, and Culture Sector of BC (2008)

The British Columbia Recreation and Parks Association (BCRPA) developed a strategic plan in 2008 to assist the parks, recreation and culture sector. The plan's vision is "a high quality of life for all British Columbians healthy individuals and communities and sustainable environments and economies." The plan also outlines a number of roles for BCRPA, provincial government, post-secondary institutions, and local governments; ways that local governments can support the plan are noted as follows:

- Include healthy living elements in Official Community Plans.
- Articulate and communicate the quality of life vision and their central role in it to build clarity among elected officials, staff, and the community to propel parks, recreation and culture work into a central position of community awareness and support.
- Invest time in building partnerships with adjacent communities and other stakeholders to better articulate shared needs and to collaborate in leveraging each other's limited resources for mutual benefit.
- Educate industry associations and academia on community challenges and needs and on the advocacy they would like industry associations to conduct on their behalf to local and senior governments.
- Work with planning and social planning staff to understand and articulate the diversity, needs and preferences of their community's residents with respect to parks, recreation and culture services and its role in a good quality of life—linking parks, recreation and culture issues to other planning and social planning work.
- Integrate the dimensions of quality of life into all aspects of planning for communities, pursuing actively more sustainable development patterns.
- Explore new uses for parks, recreation and culture assets and spaces that increases their use by key groups in the community.
- Adopt green development and management guidelines for all public facilities, both indoor and outdoor.
- Reconsider the range of conventional parks, recreation and culture facilities and rethink the priority for facilities in light of partnerships with stakeholders who have a quality of life vision for BC residents.

Canadian Sport for Life (2014)

Canadian Sport for Life (CS4L) is a movement that promotes quality sport and physical activity. It is led by Sport for Life Society, a federal not-for-profit society that was incorporated in September 2014 and comprises experts from sport, health, recreation, and academia who are employed as independent contractors, yet work cooperatively to promote the movement's goals. The movement introduces two important concepts that influence how recreation and sport activity should be planned, promoted, organized, and delivered.

Long-Term Athlete Development is a seven-stage training, competition, and recovery pathway guiding an individual's experience in sport and physical activity from infancy through all phases of adulthood. **Physical literacy** is the motivation, confidence, physical competence, knowledge, and understanding to value and take responsibility for engagement in physical activities for life.

Canadian Sport for Life, with Long-Term Athlete Development and physical literacy, represents a paradigm shift in the way Canadians lead and deliver sport and physical activity. The movement calls on municipalities to help further these two important concepts in a variety of ways as outlined below. As it relates to the provision of indoor recreation services and facilities, it is important to consider these roles and the fundamentals of the two concepts as they define a broader social good that is delivered through recreation, ensuring that these concepts are catalyzed through all municipal recreation services, will optimize the benefits and value for public investment in facilities and infrastructure.

Where municipalities can help further the CS4L movement:

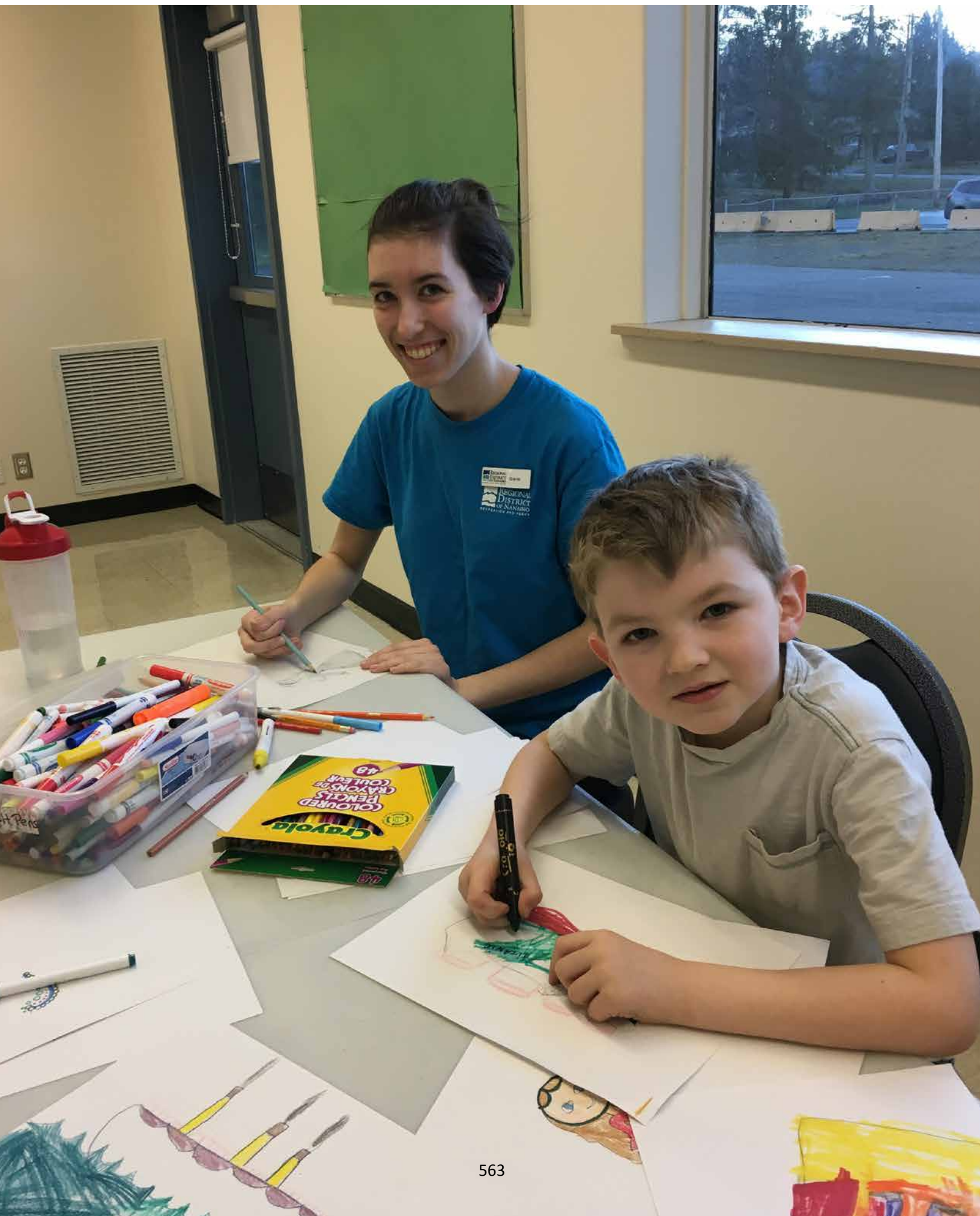
1. Physical Literacy Program Development
2. Municipal Planning and Sport Strategy Development
3. Sport Councils
4. Facility Planning
5. Access and Allocation



Physical literacy

is the...









BACKGROUND

In November 2015, the RDN Board of Directors adopted the 2016-2017 Asset Management Resource Plan. Deliverables identified for 2017 include the completion of RDN departmental asset registries and preliminary lifecycle cost analysis, and consolidation of this information into the preliminary RDN Asset Management Plan. The Asset Management planning is an iterative process, beginning with preliminary asset management plans that are refined and improved over time as more accurate replacement cost and condition information is obtained.

The work is proceeding on schedule. Implementation follows accepted asset management practices. The work is guided by the Asset Management Coordinator and cross departmental RDN Asset Management Working Group. Individual department asset management plans are developed by departmental teams. Best practices are shared in meetings and discussions with RDN member municipalities, neighbouring regional districts, and other municipalities from across Canada.

DISCUSSION

Key components of our asset management plan include: a registry of assets; replacement cost of assets; asset life; capital investment plans; asset age profiles; and asset condition assessments. For 2017, this information is being compiled into preliminary asset management plans (“Asset Snapshots”) for 40 RDN services, including: Water (9); Sewer (6); Streetlights (1); Wastewater (4); Recreation(3); Solid Waste(2); IT (1); Transit (1); Wharves (1); Fire (8); Community Parks (1); Regional Parks (1); Vehicles (1); Admin Bldg (1).

The following discussion outlines the key concepts that inform the Preliminary RDN Asset Management Plan, and uses excerpts from the Asset Snapshot for the Nanoose Bay Peninsula Water Service Area (NBPWSA) to illustrate how these concepts are applied.

Asset Registries

An asset registry is a listing of the assets in use to deliver a given service. Each asset recorded in the registry identifies historic costs, age, remaining useful life, and current replacement cost. Asset management activities in 2017 are focussed on developing complete asset registries for all relevant services in the RDN. This is a critical step in understanding the lifecycle infrastructure costs, and planning for sustainable services into the future. Any given service in the RDN may operate and maintain hundreds of individual assets.

Asset Life and Replacement Cost

Asset life refers to the period between asset acquisition and disposal. Asset life establishes when the cost to replace an asset will likely be incurred, as well as the time available to raise funds for asset

replacement. Expected life and replacement cost guides long-term financial planning to ensure more predictability in tax rates, and increased fairness across generations of taxpayers who benefit from all the assets in a service area.

It is important to maintain an up-to-date registry of assets that includes accurate current replacement costs. Estimating current replacement costs is a labour intensive activity. In May 2017, the Board approved application to UBCM for funding of a current replacement cost project.

For RDN services, asset lives vary from under 20 years for vehicles and equipment to 100 years for new, in-ground PVC pipes. Figure 1 illustrates the current replacement costs for the NBPWSA from 2017 through 2067.

Figure 1: NBPWSA Asset Replacement Costs (2017 – 2067)

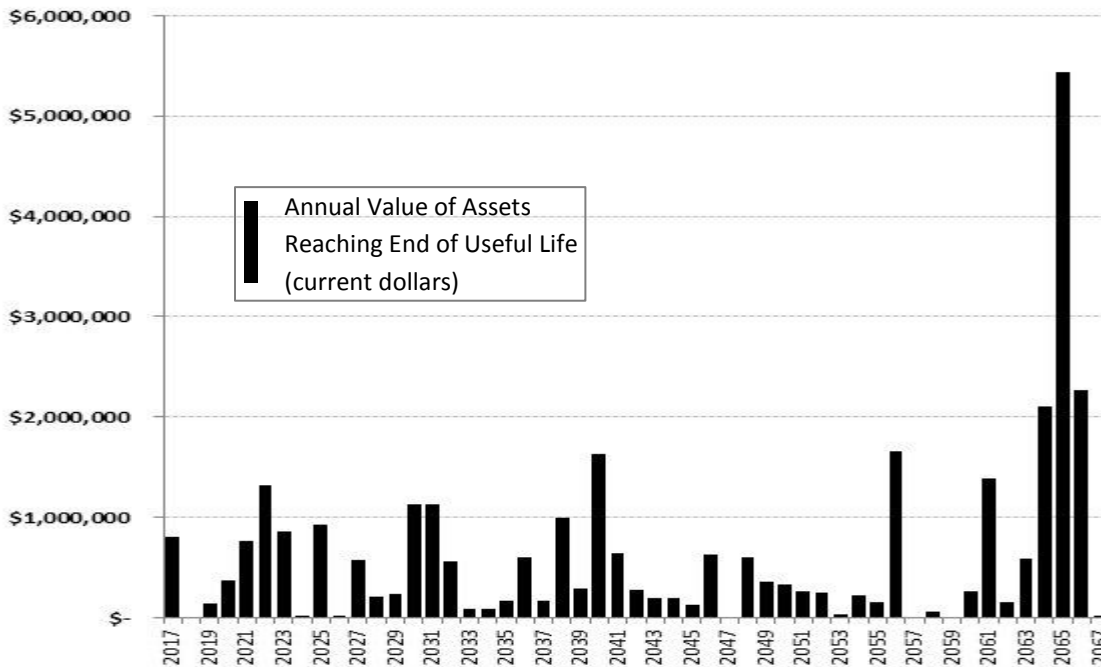


Figure 1 reveals considerable variability in replacement costs from one year to the next in the NBPWSA. A prominent peak is evident in 2065, when a large number of pipes installed in 1990 reach the end of their planned service life. At the same time, there are many years with no planned replacements.

A key objective of asset management is to understand and smooth out that variability. The information compiled can be used to guide replacement timing, and financial decision making. Financial plans will consider the mix of reserves and borrowing appropriate to allocate costs equitably between current and future service area residents.

Asset Age Profile

The asset age profile provides important information about the expected timing of expenditures to replace infrastructure at the end of its useful life. The age profile is also used to determine when to carry out formal condition assessments on assets. The age classes and associated condition ratings are described in Table 1:

Table 1: Asset Age Profile Description

Age Class	Percent of Useful Life used	Condition Rating
New	<30%	Very Good
Medium	30-59%	Good
Aging	60-89%	Fair
End of Useful Life	90-99%	Poor
Deficit Position	100+%	Very Poor

Figure 2 illustrates the total number of assets in each of the five age classes for the NBPWS, while Figure 3 shows the total value of assets by age.

It is important to stress that age is an indicator of condition only. To verify asset condition, it is necessary to perform and document formal condition assessments. Condition assessments assist in determining the appropriate timing for replacing assets. Condition

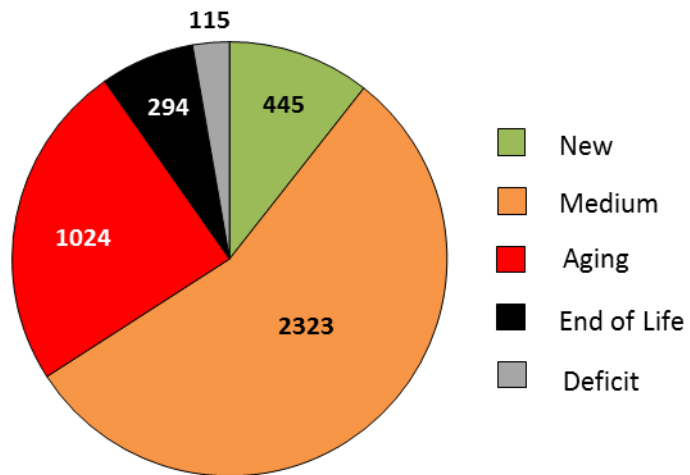
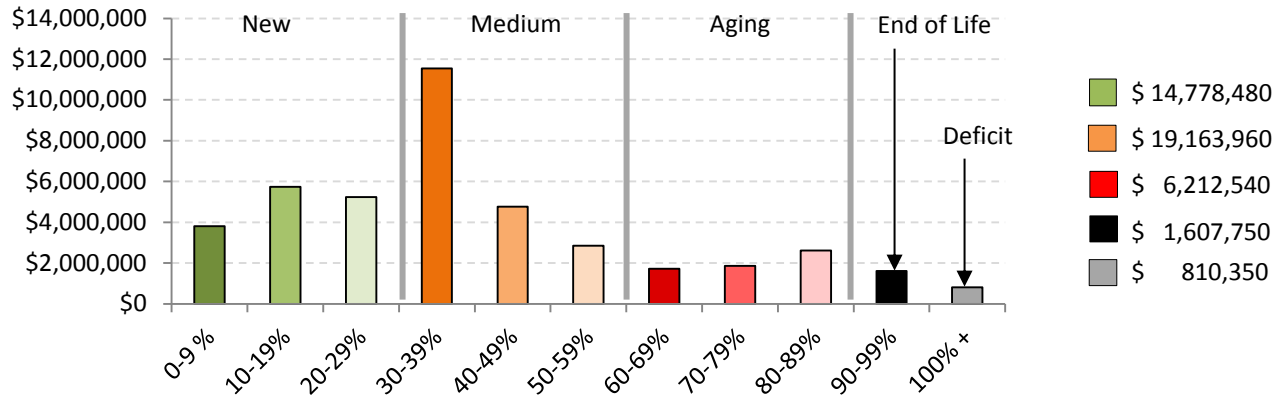


Figure 2: NBPWSA: Number of Assets by Age Class

assessments are costly, and are planned and executed in a systematic way following a clear rationale. Generally, condition assessments should be more frequent for critical infrastructure designed to protect human health and safety, for assets that are integral to the delivery of a given service, or for aging assets. The RDN has obtained grant funding from UBCM to develop a Condition Assessment Framework applicable to all RDN services.

Figure 3: NBPWSA: Total Value of Assets by Age Class



FINANCIAL IMPLICATIONS

Planned capital investments are capital expenditures identified in existing financial plans, including capital projects, asset replacements, and contributions to reserve funds for future replacement. The 5-year Financial Plan produced by the RDN each year has accurate projections for capital expenditures over the short term. An additional five year estimate is also forecast, but typically to a reduced degree of accuracy.

The asset management snapshots prepared in 2017 will be used to inform and improve the 5 and 10 year financial plans, by comparing planned capital expenditures against long term average annual replacement costs. Integrating asset management into financial plans will allow the RDN to track trends and make informed decisions about future borrowing, and optimal timing for replacing assets. The resulting Financial Plans will incorporate appropriate strategies to balance contributions to reserves with borrowing to ensure costs are fairly allocated to current and future tax payers

The 2016-2017 Asset Management Resource Plan, directs staff to deliver the RDN Asset Management Program at no incremental additional cost to the taxpayer. This requires seeking grant funding to support work necessary to advance the RDN Asset Management Program.

Effective asset management planning is an iterative process, requiring ongoing improvements in our understanding of current replacement costs across RDN departments. Improved accuracy will increase organizational confidence in current replacement cost information. To this end, the Board of Directors has endorsed an Asset Management Capacity Building application to the UBCM’s Strategic Priorities Fund to undertake a project to update current replacement costs for RDN owned assets.

In addition, the RDN has been successful in securing a separate infrastructure planning grant to develop a condition assessment framework applicable to all RDN service areas. This framework is intended to

document current condition assessment practices in the RDN, share best practices across the organization as appropriate, and provide guidance to ensure that future condition assessments at the RDN follow a consistent methodology.

ALTERNATIVES

1. That the Board endorse the July 2017 Asset Management Update.
2. That the Board provide alternate direction.

STRATEGIC PLAN IMPLICATIONS

The Regional District of Nanaimo (RDN) Board Strategic Plan Key Focus Area of “Service and Organizational Excellence” includes the following Strategic Priority:

We will fund infrastructure in support of our core services employing an asset management focus.

Developing organization wide asset management plans based on lifecycle replacement costs is a high priority project that advances this strategic priority, and is identified as action RCU-57-2017 in the RDN Operational Report (see Attachment 2). The ultimate implementation item for this action is to consolidate relevant information into a Preliminary RDN Asset Management Plan. The Asset Management Snapshots to be completed in 2017, including the one for the Nanoose Bay Peninsula Water Service Area provided as Attachment 1, illustrates how this work will be presented for all RDN service areas in 2017.

Chris Midgley, cmidgley@rdn.bc.ca, June 30, 2017

Reviewed by:

- R. Alexander, General Manager, Regional and Community Utilities
- W. Idema, Finance
- P. Carlyle, Chief Administrative Officer

Attachments

1. Asset Management Snapshot: Nanoose Bay Peninsula Water Service Area
2. Status Update Operational Plan Action RCU-57-2017: Organization Wide Asset Management Plans

FOCUS ON SERVICE AND ORGANIZATIONAL EXCELLENCE

Action: Organization Wide Asset Management Plans			RCU-57-2017
Strategic Priority:	We will fund infrastructure in support of our core services employing an asset management focus.	S2	
Origin:	Asset Management Business Plan Asset Management Resource Plan		
2017 Implementation Items		Key Activities	
1)	Complete departmental Asset Registries	1)	Develop complete asset lists for each department
		2)	Identify current replacement costs for all listed assets
2)	Complete preliminary asset lifecycle cost analysis	1)	Import current replacement cost data into financial modelling tools
3)	Condition assessment planning	1)	Establish current state of condition assessment practices
		2)	Develop RFP for condition assessment framework
4)	Consolidate relevant information into preliminary asset management plans	1)	Coordinate and assemble information gathered from prior Implementation Items
Related Strategic Priorities:		S3	

STATUS UPDATE		RCU-55-2017
2017 Implementation Items	Status:	
1) Complete departmental Asset Registries		Asset registries for most departments complete. Current replacement costs at varying levels of confidence available for all RDN assets.
2) Complete preliminary asset lifecycle cost analysis		Current replacement cost data ready to be compared against planned capital investments for all RDN service areas.
3) Condition assessment planning		RFP for condition assessment framework at final review stage. To be issued end of July 2017.
4) Consolidate relevant information into preliminary asset management plans		Assembly of information into Preliminary Asset Management Plans on schedule for completion in Fall 2017.

1.1 NANOOSE BAY PENINSULA WATER SERVICE AREA

Level of Service



The NBPWSA provides treated drinking water to 2098 residential and 67 commercial connections, serving an estimated 5,700 residents. This is expected to increase to approximately 11,000 people over 25-years.

For the May 2015 – May 2016 period, all measured parameters for water quality were within Canadian Water Quality Standards. Average per capita water consumption in the service area in 2016 was 283 litres per person per day, compared to 276 litres per person per day for all water services.

The cost of water in the NBPWSA in 2016 was \$357.90 per parcel in the service area, plus an average of \$239.39 in metered charges.

Current Replacement Costs

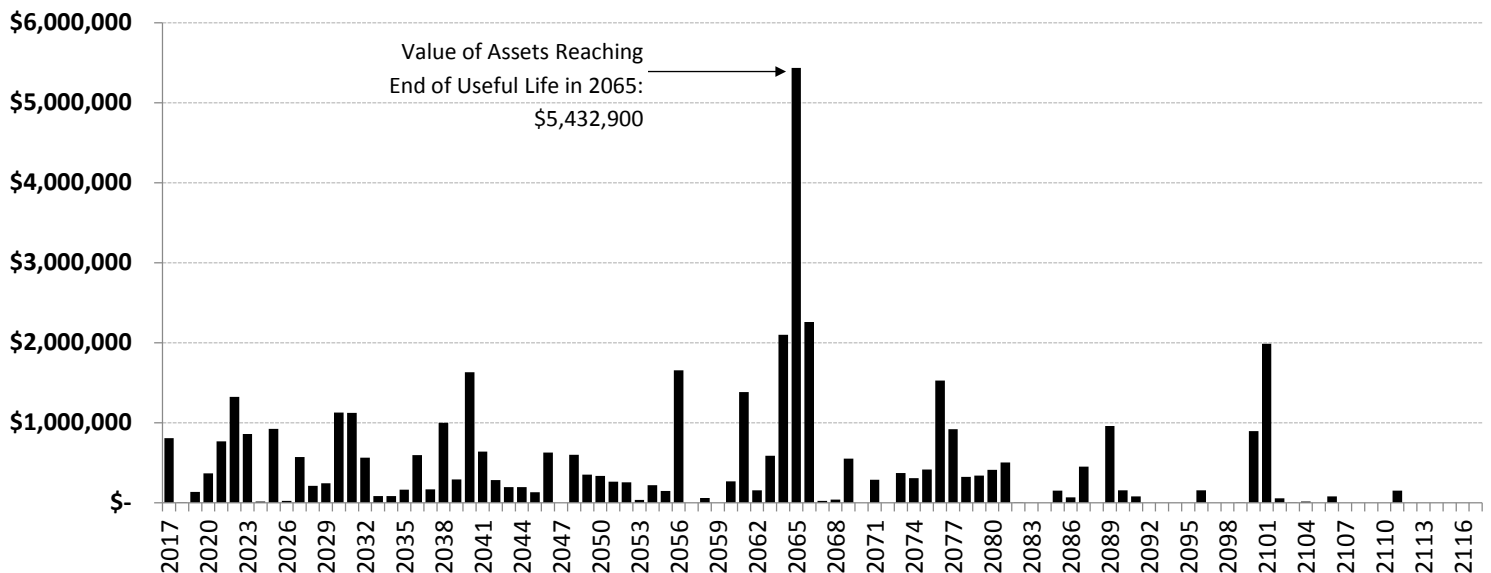
Current replacement cost values for the NBPWSA were provided by a third party engineering firm in 2016. This provides a high data confidence rating of '4' for current replacement costs.

Current replacement costs for the NBPWSA are calculated over a 100-year period to account for the longest lived assets in the service area. The total replacement value of all assets in the NBPWSA, in 2016 dollars equals \$42.6 million. The average useful life of all asset in the NBPWSA is 48.0 years.

DATA CONFIDENCE RATING

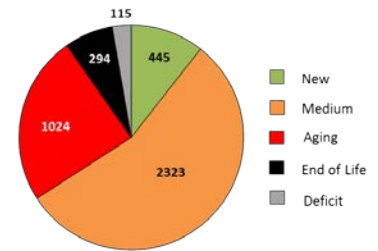
1. Inflated Historic Cost
2. Market Unit Cost Indices
3. Property Insurance Values
4. Condition Assessment
Replacement Cost
5. Tender Pricing and Recent Bids

NBPWSA: Current Replacement Costs (2017-2117)

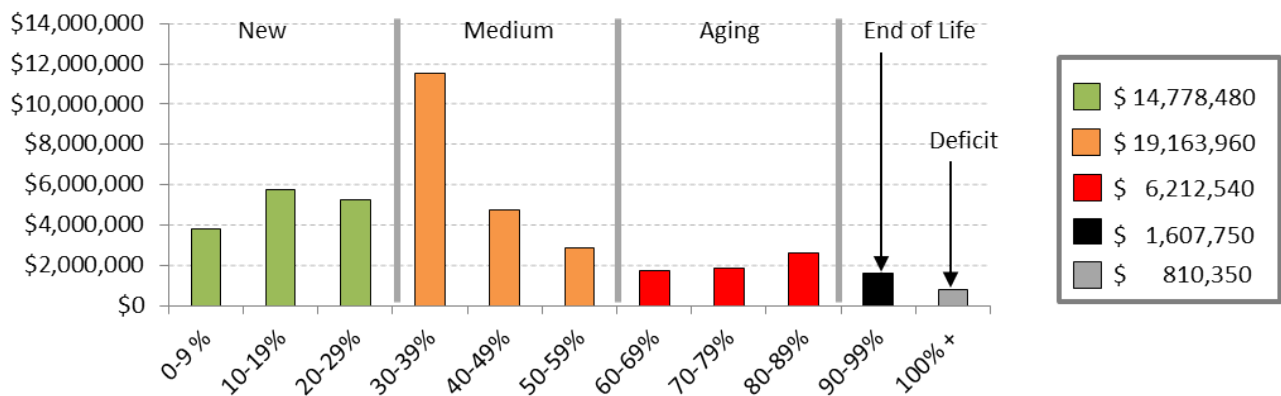


Age and Asset Condition

Asset age indicates asset condition. For the NBPWSA, 66% of all assets are in the New or Medium age category, resulting in a condition rating of Very Good or Good. 80% of the value of all the assets are in the New or Medium category. This shows that assets in the NBPWSA are early in their lifecycle, and are in good or very good condition.



NBPWSA: Total Value of Assets by Age Class



Planned Capital Expenditure vs. Current Replacement Costs

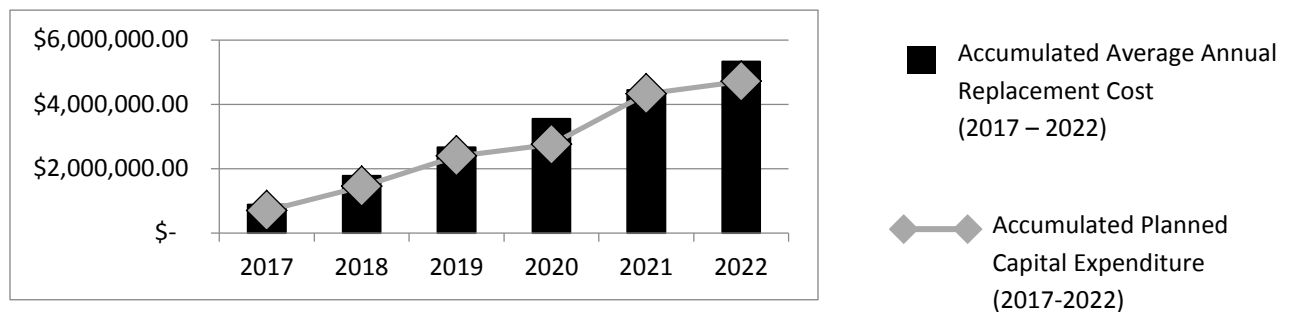
For the NBPWSA planned capital expenditures include anticipated expenditures on planned capital projects; annual contributions to reserve, which cover future capital spending; and anticipated expenditures on underground utilities replacements.

For 2017-2021, planned capital expenditures equal 88% of average annual replacement costs. Future planned capital expenditures will be incorporated into 2022-2026 financial planning.

Planned Capital Expenditures for the NBPWSA total 88% of Average Annual Replacement Costs at the end of the 2017-2022 period.

Action: Incorporate Planned Capital Expenditures for the 2022-2026 period into financial planning documents.

NBPWSA Planned Capital Expenditures Vs. Average Annual Replacement Costs (2017-2022)



TO: Solid Waste Management Select **MEETING:** July 17, 2017
Committee

FROM: Maggie Warren **FILE:** 5330-20 SCAL
Superintendent Scale & Transfer Service

SUBJECT: Contract Award – Regional Landfill Scale & Scale House Replacement

RECOMMENDATION

That the Board award the contract for the construction of the Regional Landfill scale and scale house to Island West Coast Development in the amount of \$498,301 and a total project cost of \$572,801.

SUMMARY

The inbound and outbound scales and scale house at the Regional Landfill are at end of life. These facilities are critical infrastructure for the Landfill as they are used to determine the amount of all incoming waste and to calculate the appropriate fee. There is a high risk of significant failure of the scales by attempting to extend their life any further. The 2017 budget includes replacement of this infrastructure.

BACKGROUND

The Regional Landfill scale house and scale was installed in 1991. All customers disposing materials at the landfill are required to weigh their vehicle upon arrival on the inbound scale and weigh their vehicle upon departure on the outbound scale. Scale software enables the calculation of the net weight of the load and the associated disposal fee. The budget for the RDN's Solid Waste Services program is largely funded through these user fees.

If one of the scales fails, all traffic is diverted through the remaining working scale causing significant traffic delays and inconvenience to customers. When both scales fail, the default is to apply the minimum charge of \$6 (an estimated \$13,000 per day in lost revenue, plus repair costs).

In April 2015, the scale manufacturer, Mettler Toledo, conducted Landfill Scale Assessments and found there was a risk of the inbound scale failing and the potential for vehicle damage and personal injury. In order to mitigate the hazard, a portion of the decommissioned scale deck from the Church Road Transfer Station was salvaged and installed at the landfill. This interim solution allowed staff to postpone the replacement of both scales until 2017.

The scale house has been in operation for 26 years. Challenges exist with the facility which includes malfunctioning doors and windows, maintaining the integrity of the roof, space to house computer hardware and poor ergonomics. The building envelope has reached the end of its lifespan leading to increased energy consumption and impacts to air quality in the building. Considering the current condition of the scale house, it is appropriate to replace the structure in conjunction with the scales. In doing so, the new scale house and scales will have a projected life span that is commensurate with the projected life span of the landfill.

The Regional Landfill Scale and Scale House Replacement Project Request for Proposals (RFP) was sent to local construction contractors as well as posted on BC Bids and the Regional District of Nanaimo (RDN) website for bid submissions with a closing date of June 26, 2017. Only one proposal was received as set out in Table 1 below.

Table 1 – Tender Summary (exc. GST)	
Contractor	Total Price
Island West Coast Development (IWCD)	\$498,301

The bid price by IWCD is greater than the design/build target of \$400,000 stated in the RFP. However, the target budget was set at a realistic, yet very conservative value to encourage competitive bids. Additionally, the higher than expected bid price can be attributed to: the weak Canadian dollar resulting in higher material costs; the current economic climate in British Columbia resulting in a tightening of the labour market resulting in higher labour costs; and less competition on smaller projects due to the economic climate. It is unlikely that re-tendering the project would see a reduced price and could risk losing the qualified bidder. The total project costs for this project falls within the 2017 Board approved budget.

The engineering consulting firm, XCG Consultants Ltd. (XCG), was retained to review the bid and has recommended the contract be awarded to IWCD in the amount of \$498,301. Based on recommendations XCG, a contingency amount of \$50,000 is recommended to accommodate unforeseen conditions or scale house alterations.

Table 2 below provides an overview of total project costs.

Table 2 – Total Project Cost	
Site Activity	Projected Costs
Predesign & RFP Administration	\$12,500 (completed)
Construction Project	\$498,301
Traffic Lights	\$7,000
Construction Oversight Fees	\$5,000
Project Contingency	\$50,000
Total Project Cost	\$572,801

ALTERNATIVES

Alternatives in proceeding with the project are as follows:

- 1) Approve the total project budget and award the project construction project to IWCD.
- 2) Alternate direction as provided by the Regional Board.

FINANCIAL IMPLICATIONS

The 2017 budget set a total project cost of \$573,000 to replace the Landfill scales and construct a scale house. The total projected construction costs as set out in Table 2 fall within this amount. Revenue losses in the event of failure of the scales are predicted to be approximately \$13,000 per day, plus cost of repairs and replacement.

STRATEGIC PLAN IMPLICATIONS

This project is consistent with key priorities of the 2016-2020 Strategic Plan in the following area:

- *Focus on service and organizational excellence.* The replacement of the Landfill scales and construction of the scale house is to ensure the solid waste department provides cost effective and efficient service to the Region.

SUMMARY/CONCLUSIONS

The scale and scale house are critical components of the Landfill infrastructure and ensure tipping fees are applied accurately to the vehicle net weight. The replacement of the Landfill scales and scale house provides reliable service for the public and revenue for operations through user fees for the next 25 years.

Maggie Warren
mwarren@rdn.bc.ca
June 28, 2017

Reviewed by:

- L. Gardner, Manager, Solid Waste Services
- R. Alexander, General Manager, RCU
- P. Carlyle, Chief Administrative Officer

From: Jeanette Runions
To: [McCulloch, Elaine](#)
Subject: Re: Water Access #29 Concerns
Date: Friday, March 10, 2017 6:54:01 PM

Monday, March 6, 2017

Dear Ms. McCulloch,

I received your contact information from a neighbour who had contacted both yourself and Wendy in February of this year (my apologies, I have no last name). This is regarding Water Access #29 and the need for signs indicating this is a public access and to encourage its development for safe access.

My husband and I have lived just down the road from McColl Road for the past three years (we live on Wildwood Road). We have patiently waited for the water access to be developed and have attended area planning meetings to express our interest that this be an item to be pushed forward.

We would like this to be addressed immediately please.

Yesterday, my husband and I stopped there to watch

the herring run. It's a beautiful spot and you can see a lot because of the high elevation. Again, it is very close to where we live (on Wildwood Road). We parked our vehicle on the side of the road and then walked to the area that has been cleared of brush and is directly in front of McColl Road. When we walked over the people who live to the right of McColl (and in front of the private property that is indicated on the map) came out of their front door and started to yell at us that we were on Private Property. We did not respond to their yells.

We know most definitely that we were not on their property.

It seems to us that this Public Water Access no longer belongs to the public. The people to the left of the Water Access have put up boulders that both restrict and endanger passage to the beach and the people to the right of the access have yelled at us to get off of property that does not belong to them.

How do we respond to such behaviour? What do you suggest? How do we access the beach area that we have every right to access? Boulders endanger our passage to the beach (that were put there...) and other people yell at us. This really is a matter for the Regional District to resolve as it is not appropriate to have one set of people blocking a right of way and

another set of people yelling at their neighbours.

We are tax payers and expect to be treated with due respect on public property that we have every right to be on.

We look forward to your reply and word of what the District will do regarding this matter.

Respectfully, but terribly frustrated,

Karl and Jeanette Runions

4268 Wildwood Road

778 424 5454

As a further note regarding a phone conversation between us and E. McCulloch on March 6;

Thank you Elaine for taking the time to discuss this with us. E. McCulloch informed us that the development of Water Access 29 was declined at the most recent Parks and Ocean Side Advisory Committee Meeting due to the high cost of development and maintenance. This not only includes development of the slope, but signage indicating that this area is a public beach access. *This action validates the behavior of the property owners adjacent to the access – this is their property and we do not have rights to it.*

The next meeting is scheduled for early June.
Hopefully, this issue will be raised yet again and the
Regional District will decide to support it.

cc B.Veenhof

On Mar 9, 2017, at 11:00 AM, McCulloch, Elaine
wrote:

Hi Jeanette,

Thanks for your phone call the other day about the McColl Rd water access. You mentioned you had a letter you would like have included in the next POSAC agenda. I just wanted to give you the heads up that the email I received from you did not include a letter attachment, just a graphic.

Cheers,

Elaine McCulloch

Parks Planner

RDN Recreation & Parks
Oceanside Place
830 West Island Highway, Parksville BC V9P 2X4

Office 250-248-4744 Ex. 3656
Cell 250 927-0387
Fax 250-248-3294
www.rdn.bc.ca

From: Jeanette Runions
Sent: Monday, March 06, 2017 9:42 AM
To: McCulloch, Elaine

From: Guy Jellis
To: [McCulloch, Elaine](#)
Cc: [Bill / Marian](#);
Subject: Re: McColl Rd LEGAL access
Date: Thursday, March 30, 2017 8:56:49 PM

Thank you for your decision without public input of the taxpayers who LIVE THERE! The rip rap would not be there if the developer didn't DUMP IT THERE!

Obviously you have made up your mind without public input. (Or ignoring the input you have heard) so we will (trust me, as a community) be contacting CHCH, as we now have a contact there. Then public opinion will actually be seen and heard...who knows it may fall flat but at least we will have an honest opinion of peers and the Vancouver Island community.

Cheers.

Sent from my iPhone

> On Mar 30, 2017, at 11:21 AM, McCulloch, Elaine <EMcCulloch@rdn.bc.ca> wrote:

>

> Hi Guy,

>

> As previously discussed, RDN staff have assessed the McColl Road undeveloped water access along with a number of other water accesses in Electoral Area 'H' and provided recommendations to the Parks and Open Space Advisory Committee at their March 1st meeting. The POSAC's current water access objective is to provide signage at all easily accessible public water access sites as long as the trail access does not present a public safety concern and is confirmed to be on public land.

>

> The McColl Rd water access does not fit these criteria as there is no existing trail to the waterfront and trail development is not possible due to the riprap embankment (approx. 8 m high) that is constructed across the entire width of the ROW. The RDN will not be installing signage at this location as it would indicate to the public that there is safe, legal trail access to the water, which there is not. Signage would promote unintentional public trespass on private property and may encourage people to scramble down the unsafe rock embankment.

>

> Stair development has been considered for this location however, the RDN is not moving forward with the stair development option at this time. Public stair development will require a large public expenditure of funds and require geotechnical assessment and structural engineered design as this site has slope stability issues and is located within the Hazard Land Development Permit area.

>

> In our previous discussions, I indicated that a staff assessment was going to determine what options might be available for developing the McColl Rd access. I did mention that if trail development was possible, the RDN could consider providing a site survey so the community could develop a trail down to the water at this location. However, as the staff assessment has determined that trail development is not an option, I do not recommend spending public funds on a survey of this site.

>

> If you choose to make the community aware of your concern regarding the real estate agent's promotional strategies regarding access to the waterfront I would encourage you to recognize that the RDN did NOT make any promises to develop access to this site. Any action at this site was always contingent on a site assessment and staff recommendation. I also would like to remind you that these undeveloped road right-of-ways are actually owned by the Crown and managed by the Ministry of Transportation and Infrastructure (MoTI), not by the RDN. Any issues you may have with the way the neighbour altered the land to provide access to his property should be addressed to MoTI as the RDN does not have any jurisdiction over these water accesses.

>

> The POSAC has provided their advice to the RDN Board on this matter. RDN parks will only be signing the water accesses approved at the last meeting. I have advised one of your neighbours who has recently contacted me that if she would like to register her disappointment on this matter with the POSAC she is welcome to submit a letter for the POSAC and/or appear as a delegation at the next scheduled meeting in June. I would extend the same invitation

to yourself as well.

>

> Cheers,

>

>

> Elaine McCulloch

> Parks Planner

>

> RDN Recreation & Parks

> Oceanside Place

> 830 West Island Highway, Parksville BC V9P 2X4

>

> Office 250-248-4744 Ex. 3656

> Cell 250 927-0387

> Fax 250-248-3294

> www.rdn.bc.ca

>

>

> -----Original Message-----

> From: Guy Jellis

> Sent: Monday, March 06, 2017 7:52 PM

> To: McCulloch, Elaine

> Subject: McColl Rd LEGAL access

>

> Hi Elaine/Wendy. I am following up on the time line of the sign and marking of the McColl rd Beach access that Wendy promised would be happening soon. I was told that the neighborhood could cut our own path and that the RDN would provide a properly marked survey and signage.

> This will not "go away" as all of us and current homes are being sold by realtors with the EXISTING access being touted as usable. We also will be starting a petition and finally contacting the media if need be:

> (CHEK news and any other outlet available)

> STORY:

> Vancouver island subdivision homes sold on information and pricing (appears on legal drawings) of beach access which has now been illegally appropriated and altered by the developer of the subdivision into his own personal home property. The RDN and BC are promoting tourism, conservation, and access for all to our natural beauty of this province which is proving to be completely contrary to this situation. The RDN is failing its community and tax payers.

> Bowser is part of the RDN and taxed as such....how is it we are being ignored to our legal right.

>

> We are not trying to stir the pot, but are frustrated and not going to sit idly and wait for "someone else to "decide" or do the" lifting" for something that is for the public.

> One of our new acquaintances are thinking of selling their lot and are also frustrated as to how this will negatively effect their price and sales strategy.

> We are becoming a young upcoming area and plan on loving, living and growing our area please help us resolve this easily and quickly by upholding your original promise of signage, boundary markings and the right to cut our trail.

>

> Ps I just found out that someone deemed that they would wait to "decide" again in June.

> That is not acceptable we are asking for minimum signs and markings.

> I will wait for your response before contacting media.

> Thank you

>

> Guy Jellis

>

> Guy Jellis

April 17, 2017

Bob Rogers
Director, Electoral Area E
Regional District of Nanaimo
Sent via email to: bobrogers4areaE@telus.net

Dear Bob,

Re: Nanoose Playgrounds

We are writing in response to the recent news article in the March 30 issue of the Parksville-Qualicum Beach News about the RDN's decision to remove the play structure at the Nanoose Bay Community Park. Given the age and condition of the play structure, we support this decision.

We noticed that the RDN board did not make an immediate decision to replace the play structure, but directed staff to work with the Nanoose Parks and Open Space Advisory Committee to consider potential alternative uses for the park. With the removal of this play structure, we would like to offer a few suggestions about our playground facilities in Nanoose Bay.

It was noted in the article that in 2009 the RDN invested \$20,000 for new equipment at Nanoose Bay Elementary School. Instead of replacing the current play structure at Nanoose Bay Community Park, which is within walking distance of the school playground, we think a playground would be used more frequently if it were located elsewhere in Nanoose Bay. For example, a playground could be added to the new park on Stone Lake Drive in Timberstone Estates.

We live in the Madrona area and we see a growing need for a playground in this part of Nanoose Bay. This area has recently experienced significant growth with the new developments at Timberstone and Madrona Heights. We have also noticed a number of young families moving into the older and more established residential areas.

We see many benefits to a playground in this area. For the children, it would encourage healthy play and physical activity. For young families, it would serve as a gathering place and help to build our sense of community. For the many grandparents who live here, it would provide an easily accessible place to take their grandchildren when they are visiting.

Rather than building a standard play structure, we encourage the RDN to consider the benefits of creating a "natural playground" or "playscape." These play areas are designed to encourage imaginative, open-ended play and bring children back to nature using natural elements such as logs, tree stumps, rocks, slides embedded into the natural slope of a hill, native plants and trees, and generally as little man-made components as possible.

Natural playgrounds have been rising in popularity across North America, in large part because children tend to prefer them over traditional play structures.

Here is a brief description from a November 23, 2012 article in the *Globe & Mail*: “Natural playgrounds typically include five elements: rolling topography, boulders, logs, pathways and large trees and shrubs. The specifics are usually reflective of local surroundings: “This is the ‘100-mile diet’ of playgrounds.””

For additional background, you can read the full *Globe & Mail* article at: <http://www.theglobeandmail.com/life/parenting/how-kids-can-reconnect-with-nature-on-the-playground/article5617282/>

A natural playground would be a perfect fit for Nanoose Bay and the “Nurtured by Nature” tagline that so aptly describes our community. In fact, we believe there are many local contractors who live in Nanoose Bay who might be willing to provide in-kind support to assist in building this type of playground.

If the RDN board is open to exploring the concept of a playground in this area of Nanoose and/or a natural playground, our family would be interested to provide input into the project. Feel free to contact us at 250.468.7591 or peter.vandongen@telus.net at your convenience.

Yours in community,

Peter van Dongen & Clarice Springford

Peter van Dongen and Clarice Springford
Janel (9) and Troy (5)
1816 Douglas Crescent
Nanoose Bay, BC V9P 9C7
P:250.468.7591
E: peter.vandongen@telus.net



"NANOOSE PLACE"



Via Email

May 25, 2017

Mr Bob Rogers
Director Area 'E'
6300 Hammond Bay Road,
Nanaimo, BC, V9T 6N2

Dear Bob:

Re: Dog Only Park

On behalf of the Nanoose Bay Activities & Recreation Society I would like to add our whole hearted support for the creation of a "Dog Only/Off Leash Park" on Nanoose Road next to the Fire Hall. Many folks walk their dogs here at Nanoose Place and this most certainly would be beneficial as a second option and in very close proximity to the dog walking public. We do have issues with 'stoop and scoop' but things are improving.

This would be a lovely amenity to add to our local community. We look forward to its creation.

Sincerely

Eve Flynn
Manager, Nanoose Place

TO: Electoral Area Services Committee **MEETING:** July 11, 2017

FROM: Tyler Brown **FILE:** PL2017-089
Intergovernmental Liaison

SUBJECT: **Zoning Amendment – File No. PL2017-089**
Electoral Areas ‘A’, ‘C’, ‘E’, ‘G’ and ‘H’
Amendment Bylaw 500.410, 2017 – First and Second Reading
Amendment Bylaw 500.411, 2017 – First and Second Reading

RECOMMENDATIONS

1. That “Regional District of Nanaimo Land Use and Subdivision Amendment Bylaw No. 500.410, 2017” be introduced and read two times.
2. That the public hearing for "Regional District of Nanaimo Land Use and Subdivision Bylaw Amendment Bylaw No. 500.410, 2017" be waived and notice in accordance with Section 467 of the *Local Government Act* be given.
3. That “Regional District of Nanaimo Land Use and Subdivision Amendment Bylaw No. 500.411, 2017” be introduced and read two times.
4. That the public hearing for "Regional District of Nanaimo Land Use and Subdivision Bylaw Amendment Bylaw No. 500.411, 2017" be waived and notice in accordance with Section 467 of the *Local Government Act* be given.

SUMMARY

The modernization of “Regional District of Nanaimo Land Use and Subdivision Amendment Bylaw No. 500, 1987” (Bylaw 500) through targeted amendments is identified in the Regional District of Nanaimo 2017 Operational Plan as an action to support the RDN 2016-2020 Strategic Plan’s focus on service and organizational excellence. Minor amendments to Bylaw 500 have been identified that would have an immediate impact on reducing the need for height and setback variances. The proposed bylaw amendment to height addresses typical building challenges experienced by residential homeowners and builders developing in flood prone areas, while the proposed bylaw amendment to setbacks in residential zones balances modern Building Code requirements with contemporary building design and adopts an approach that is more consistent with other jurisdictions.

The proposed general amendments to height and setbacks in residential zones are consistent with the Official Community Plan’s for Electoral Areas ‘A’, ‘C’, ‘E’, ‘G’ and ‘H’. Given consistency with the OCPs, it is recommended that Amendment Bylaw No. 500.410, 2017 and Amendment Bylaw No. 500.411, 2017 be granted first and second reading and that the public hearing for both bylaw amendments be waived and notice be given in accordance with Section 467 of the *Local Government Act*.

BACKGROUND

The RDN 2017 Operational Plan identifies specific action item SCD-8-2017 to modernize “Regional District of Nanaimo Land Use and Subdivision Amendment Bylaw No. 500, 1987” (Bylaw 500) through targeted amendments. This is a key action item for Community Planning in 2017 as Bylaw 500 was adopted in 1987 and due to its age, it is not consistent with contemporary best practices in regulating land use and the siting, size and dimensions of buildings and structures. Contemporary regulations regarding the siting, size and dimensions of buildings typically account for sea-level rise and hazard planning, green building technology advancements, the increasing complexity of building regulations, the evolution of professional standards and the market demand for more architecturally complex building types. The RDN measures required setbacks to the outermost portion of a building. This approach is not consistent with the approach taken in many jurisdictions, which impacts the design and building process in the RDN. Working towards consistency has been identified by the development community as an important step to supporting regional economic development.

A wholesale review of Bylaw 500 is currently planned to begin in 2017. This will require an in-depth analysis and review of the multitude of factors that influence land use in the RDN and will include substantial consultation with the members of the public and community stakeholders. However, minor amendments to Bylaw 500 have been identified that would have an immediate impact on reducing the need for height and setback variances to the bylaw. These variances are required to address typical siting and building challenges experienced by residential homeowners and builders. The proposed amendments to height and setbacks in residential zones reflect trends in prevailing housing design preferences, the requirements of the British Columbia Building Code, and the RDN’s requirements for developing in flood prone areas. The issues addressed by these proposed amendments are in line with public and stakeholder expectations of modern regulations and have been vetted through numerous variance approvals.

Proposed Height Amendments

Residential development in flood prone areas is typically subject to the hazard lands development permit areas and the “Regional District of Nanaimo Floodplain Management Bylaw No. 1469, 2006” (Floodplain Bylaw). The Floodplain bylaw applies to all areas of the RDN subject to building inspection, which is applicable to all Electoral Areas. To ensure the safety of a building if a flooding event occurs, the Floodplain Bylaw requires that habitable building space be constructed higher than a defined elevation above a watercourse’s natural boundary or in select areas above a defined measurement on a topographic map. This defined elevation is referred to as Flood Construction Level. With the exception of the mapped areas, the minimum Flood Construction Level prescribed in the Floodplain Bylaw is 1.5 metres above the natural boundary of a watercourse and 3.0 metres above the natural boundary of major rivers.

Regardless of the requirement to build habitable floor area above Flood Construction Level, the common single dwelling unit residential zones in Bylaw 500 limit height to 8.0 metres above natural grade. Therefore, it is challenging to construct a standard two story dwelling unit on land subject to the Floodplain Bylaw. As such, variance requests to maximum building height to address the required Flood Construction Level are common in residential zones. It is important to note that the 8.0 metres maximum building height is already a conservative number in comparison to other jurisdictions.

It is recommended that the 'Height' definition in Bylaw 500 be amended to allow 'Height' to be measured from the Flood Construction Level as defined in the Floodplain Bylaw in cases where a building is subject to the Floodplain Bylaw (see Attachment 1 – Proposed Amendment Bylaw No. 500.410, 2017). This would create a clear, consistent and predictable approach to measuring building height that accounts for the Flood Construction Level, and would avoid height variances that result from the need to meet the requirements of the Floodplain Bylaw.

While an amendment to the 'Height' definition in Bylaw 500 is warranted at this time to address the impact that the Floodplain Bylaw requirements have on building height, staff do not recommend an increase to the maximum 8.0 metre permitted building height without detailed analysis and broad public consultation. Staff anticipate a review of maximum permitted building height will be included in the broader Bylaw 500 review.

Proposed Setback Amendments

Bylaw 500 currently measures setbacks to the outer most portion of a building, including eaves, gutters and other architectural features. Contemporary zoning bylaws typically allow for the projection of eaves, hatches, bay windows and other architectural features into setback areas. The proposed amendments would permit projections of common architectural features into the setbacks (see Attachment 2 – Proposed Amendment Bylaw No. 500.411, 2017). The projection exemptions proposed have been developed in consultation with the RDN Building Department to ensure appropriate building spatial separation is maintained in accordance with the BC Building Code. The recommended projections balance modern Building Code requirements with contemporary building design. Moreover, the proposed Bylaw 500 setback amendment has taken into account the Ministry of Transportation and Infrastructure (MOTI) setback standards to road rights-of-way.

In addition to allowing projections, the proposed amendment includes clarity around decks, footings and landings and whether they are permitted within setback areas. The proposed amendments explicitly allow decks and landings (less than 0.6 metres in height above finished grade) and footings to project within setback areas, but ensure such structures are appropriately setback from property lines.

Official Community Plan Implications

The proposed general amendments to height and setbacks in residential zones are consistent with the Official Community Plan's for Electoral Areas 'A', 'C', 'E' 'G' and 'H'. As such, the proposed amendments are consistent with the OCP policies for each Electoral Area subject to Bylaw 500.

Intergovernmental Implications

Pursuant to the *Transportation Act*, the MOTI will be required to approve the proposed bylaws following third reading. The proposed Bylaw 500 setback amendment has taken into account the MOTI setback standards. In accordance with the MOTI setback standards, all structures must be placed at least 4.5 metres back from a road right-of-way, or 3 meters where the structure has an additional access from another road right-of-way.

The RDN Building Department reviews all building construction to ensure spatial separation is in accordance with the BC Building Code. The type of building materials used in construction and the response time of a relevant fire department influence spatial separation. The proposed setback amendment has been developed to ensure appropriate spatial separation considering the response time

capacity of Fire Departments in the Electoral Areas. In the event that there is a conflict between what is permitted in Bylaw 500 and the requirements of the BC Building Code, the BC Building Code will prevail as is currently the case.

Public Consultation Implications

In accordance with Section 464 of the *Local Government Act*, should the Board grant first and second reading to an amendment bylaw, a Public Hearing is required to be held or waived prior to the Board's consideration of third reading. In accordance with Section 464 of *The Local Government Act*, the Board may waive the holding of a Public Hearing if the proposed amendment bylaw is consistent with the Official Community Plan. In staff's assessment, the proposed general amendments to height and setbacks in residential zones are consistent with the Official Community Plan's for Electoral Areas 'A', 'C', 'E' 'G' and 'H'. Therefore, the recommendation is that the Board waive the Public Hearing for both amendment bylaws and direct staff to proceed with the notification requirements outlined in Section 467 of the *Local Government Act*.

ALTERNATIVES

1. Consider first and second reading of Amendment Bylaw 500.410, 2017 and Amendment Bylaw 400.411, 2017 and proceed with the public hearing waiver notification requirements outlined in Section 467 of the *Local Government Act*.
2. Consider first and second reading of the Amendment Bylaws 500.410, 2017 and 400.411, 2017 and proceed to public hearing.
3. To not proceed with the Amendment Bylaw readings.

FINANCIAL IMPLICATIONS

The fee for development variance permits or Board of Variance applications, under "Regional District of Nanaimo Planning Services Fees and Charges Bylaw No. 1259, 2002" (Bylaw No. 1259) is \$400. The current fee does not cover the administrative expenses of processing each application. If the proposed Bylaw 500 amendments are approved by the Board, it is anticipated that there will be a reduction in variance applications received and therefore a reduction in revenue from these permits. However, due to the low fee for variance permits it is not expected to result in significant loss of revenue. It is important to note that if the amendment bylaws are approved, homeowners, builders and developers will benefit from improved efficiencies in scheduling trades and reduced project carrying costs due to reduced application processing timelines. In addition, less time spent processing common variance applications will allow staff to dedicate more time to other more significant projects and will reduce the time the Board spends addressing relatively minor variances to Bylaw 500.

STRATEGIC PLAN IMPLICATIONS

The reduction of common variances associated with height for residential construction in flood prone lands and the modernization as to how setbacks are calculated in residential zones in Bylaw No. 500 supports the RDN 2016-2020 Strategic Plan key focus area of Service and Organizational Excellence, specifically the strategic priority to "ensure our processes are as easy to work with as possible".

Reducing the need for variances associated with residential construction will increase scheduling efficiencies for home owners and builders. The proposed amendments also support the RDN 2016-2020 Strategic Plan key focus area of Economic Health, specifically the strategic priority of fostering economic development as a reduction in development timelines reduces project carrying costs for residential builders.



Tyler Brown

tbrown@rdn.bc.ca

June 30, 2017

Reviewed by:

- T. Armet, Manager, Building & Bylaw Services
- J. Holm, Manager, Current Planning
- G. Garbutt, General Manager, Strategic & Community Development
- P. Carlyle, Chief Administrative Officer

Attachments

1. Proposed Amendment Bylaw No. 500.410, 2017
2. Proposed Amendment Bylaw No. 500.411, 2017

Attachment 1
Proposed Amendment Bylaw No. 500.410, 2017

**REGIONAL DISTRICT OF NANAIMO
BYLAW NO. 500.410**

**A Bylaw to Amend Regional District of Nanaimo
Land Use and Subdivision Bylaw No. 500, 1987**

The Board of the Regional District of Nanaimo, in open meeting assembled, enacts as follows:

- A. This Bylaw may be cited as “Regional District of Nanaimo Land Use and Subdivision Amendment Bylaw No. 500.410, 2017”.
- B. The “Regional District of Nanaimo Land Use and Subdivision Bylaw No. 500, 1987”, is hereby amended as follows:
 - 1. Under **PART 2, INTERPRETATION, DEFINITIONS** by replacing the definition of “height” with the following:

“**height** means the elevation of a point directly below:

- a) that part of the building or structure being measured above land (or the surface of water at high water), and;
- b)
 - I. on a line connecting the two intersections of the natural grade and the outermost exterior building walls or supports as indicated on a plan showing any complete vertical section of that part of the building or structure being measured; or
 - II. where a building is required to meet the minimum Flood Construction Level, that part of the building being measured above the Flood Construction Level as prescribed in the “Regional District of Nanaimo Floodplain Management Bylaw No. 1469, 2006”;

Introduced and read two times this ___ day of _____ 20XX.

Read a third time this ___ day of _____ 20XX.

Approved by the Minister of Transportation and Infrastructure pursuant to the *Transportation Act* this ___ day of _____ 20XX.

Adopted this ___ day of _____ 20XX.

Chair

Corporate Officer

Attachment 2
Proposed Amendment Bylaw No. 500.411, 2017

**REGIONAL DISTRICT OF NANAIMO
BYLAW NO. 500.411**

**A Bylaw to Amend Regional District of Nanaimo
Land Use and Subdivision Bylaw No. 500, 1987**

The Board of the Regional District of Nanaimo, in open meeting assembled, enacts as follows:

- A. This Bylaw may be cited as “Regional District of Nanaimo Land Use and Subdivision Amendment Bylaw No. 500.411, 2017”.
- B. The “Regional District of Nanaimo Land Use and Subdivision Bylaw No. 500, 1987”, is hereby amended as follows:

1. Under **PART 2, INTERPRETATION, DEFINITIONS** by adding the following definitions in alphabetical order:

“bay window means a projection from the wall of a building that contains a window or a series of windows, is cantilevered and may result in the projection of the adjacent floor structure;

deck means an open, unroofed platform with or without railings or parapets and supported by columns, foundations, walls or ground;

eaves means the part of a roof that meets or overhangs the walls of a building or structure;

hutch means a projection from the wall of a building that does not contain a window, is cantilevered and results in the projection of the adjacent floor structure;

landing means an open, unroofed platform or portion thereof with or without railings or parapets at the foot or head of a flight of stairs or between flights of stairs provided that it:

- a) is used for pedestrian access or egress to a building; and
- b) has a maximum area equal to the width of the stairs squared;”

2. Under **PART 3, LAND USE REGULATIONS, Section 3.3 General Regulations** by adding the following subsection after 3.3.10 c):

d) Projections into Required Setbacks

- i) In RS1, RS1.1, RS1.2, RS2, RS2.1, RS2.2, RS3, RS4, and RS5 zones, decks, stairs, landings and wheel chair ramps less than 0.6 metres above finished grade immediately adjacent to a building may be located up to 0.6 metres from an interior side lot line and 1.5 metres from a rear lot line.
- ii) The following table outlines features which may project into the front, rear, interior side or exterior side lot line setback as specified:

Feature	Zone	Permitted Projection into Required Setbacks			
		Front	Rear	Interior Side	Exterior Side
Hutches, canopies, chimneys, cornices, eaves, gutters, leaders, ornamental features, pilasters, sills, sunshades	RS1	1.75 m	0.6 m	0.6 m	1.75 m
	RS1.1	Not permitted		0.6 m	
	RS1.2	Not permitted		Not permitted	
	RS2	1.75 m		0.6 m	
	RS2.1	1.75 m		0.6 m	
	RS2.2	1.75 m		Not permitted	
	RS3	1.75 m		0.6 m	
	RS4	1.75 m		0.6 m	
	RS5	1.75 m		0.6 m	
Footings below finished grade	RS1	0.5 m	0.5 m	0.5 m	0.5 m
	RS1.1				
	RS1.2				
	RS2				
	RS2.1				
	RS2.2				
	RS3				
	RS4				
RS5					
Bay window	RS1	1.75 m	Not permitted	Not permitted	Not permitted
	RS1.1	Not permitted			
	RS1.2	Not permitted			
	RS2	1.75 m			
	RS2.1	1.75 m			
	RS2.2	1.75 m			
	RS3	1.75 m			
	RS4	1.75 m			
RS5	1.75 m				

- iii) For certainty, a projection into a required setback must not obstruct the sight triangle as specified in Section 3.3.7.
- iv) For certainty, where a lot line is referenced as other and meets the definition of front, rear, interior side or exterior side lot line, the corresponding permitted projection of this section applies.

Introduced and read two times this ___ day of _____ 20XX.

Read a third time this ___ day of _____ 20XX.

Approved by the Minister of Transportation and Infrastructure pursuant to the *Transportation Act* this ___ day of _____ 20XX.

Adopted this ___ day of _____ 20XX.

Chair

Corporate Officer

TO: Electoral Area Services Committee **MEETING:** July 11, 2017

FROM: Stephen Boogaards
Planner **FILE:** PL2017-059

**SUBJECT: Development Variance Permit Application No. PL2017-059
2226 South Lake Road – Electoral Area ‘H’
Strata Lot 375 District Lot 251 Alberni District Strata Plan VIS5160 Together With an
Interest in the Common Property In Proportion To The Unit Entitlement of
The Strata Lot as Shown on Form V**

RECOMMENDATIONS

1. That the Board approve Development Variance Permit No. PL2017-059 to increase the maximum floor area on a single storey of a recreational residence from 70 m² to 105 m² subject to the terms and conditions outlined in Attachment 2 to 4.
2. That the Board direct staff to complete the required notification for Development Variance Permit No. PL2017-059.

SUMMARY

The applicants have requested a variance to increase the maximum permitted floor area on a single storey from 70 m² to 105 m² for a cabin at Horne Lake. Given that no negative impacts are anticipated as a result of the proposed variance, staff recommends that the Board approve the development variance permit pending the outcome of public notification and subject to the terms and conditions outlined in Attachment 2.

BACKGROUND

The Regional District of Nanaimo (RDN) has received an application from Garth and Alison Hastings to permit the construction of a recreational residence on the subject property. The subject property is approximately 0.109 hectares in area and is zoned Horne Lake Comprehensive Development Zone 9 (CD9), pursuant to “Regional District of Nanaimo Land Use and Subdivision Bylaw No. 500, 1987”. The property is located on the south side of Horne Lake and is adjacent to other recreational properties. (see Attachment 1 – Subject Property Map).

Proposed Development and Variances

The proposed development includes the demolition of the existing recreational residence and deck and the construction a new single storey recreational residence. The applicants propose to construct the entire allowable floor area for the recreational residence on a single level, rather than splitting the allowable floor area between the main floor and loft as permitted in CD9 zone (see Attachment 3 – Proposed Survey Plan and Variances and Attachment 4 – Building Elevations). The applicants propose to vary the following regulations from the “Regional District of Nanaimo Land Use and Subdivision Bylaw No. 500, 1987”:

- **Section 3.4.107.2 – Maximum Number and Size of Buildings Structures and Uses c) i)** to increase the maximum permitted floor area for a single story cabin from 70 m² to 105 m².
- **Section 3.4.107.6 Other Regulations xi)** to decrease the maximum permitted floor area on a second story from 35 m² to 0 m².
- **Section 3.4.107.6 Other Regulations xiii)** to decrease floor area for porches and decks from 40 m² to 10 m².

Land Use Implications

The CD9 zone permits a recreational residence with a maximum 70 m² of main floor area and an additional 35 m² of upper, or lower floor loft floor area. The total permitted floor area of a recreational residence in the CD9 zone is 105 m². The CD9 zone also limits the footprint of a recreational residence and deck to a maximum combined area of 110 m²; the maximum footprint can consist of up to 70 m² for the recreational residence main floor and up to 40 m² for an attached porch or deck. The limitation on floor area and footprint in the CD9 zone was originally intended to limit the scale of recreational residences, reinforce the recreational use of the properties, and protect the environment and water quality of Horne Lake.

The applicants propose to construct a single story cabin with a total floor area of 105 m². The proposal represents an increase in the permitted main floor area from 70 m² to 105 m². The proposal also reduces the permitted loft floor area from 35 m² to 0 m² in order to limit the total floor area for the cabin to 105 m². The proposal would also permit an attached porch, or deck of up to 10 m² to be constructed in the future. In order to limit the combined footprint for a cabin and attached porch, or deck in a manner consistent with the original intent of the CD9 zone, the maximum area of porches and decks will be reduced from 40 m² to 10 m² (see Attachment 2 – Terms and Conditions of Permit). A 10 m² porch, or deck is quite modest in the context of recreational residences at Horne Lake. The proposed variances result in a maximum combined total footprint of 115 m² for a cabin and attached porch, or deck, whereas the CD9 zone permits a total footprint of 110 m². The proposal is generally consistent with the intent of the CD9 zone.

“Board Policy B1.5 Development Variance Permit, Development Permit with Variance and Floodplain Exemption Application Evaluation” for evaluation of Development Variance Permit Applications requires that there is an adequate demonstration of an acceptable land use justification prior to the Board’s consideration. The applicants identify that by incorporating all the floor area on a single level the cabin would be more accessible by eliminating the need for stairs or ladders.

The applicants have provided sufficient rationale and the variance will not result in negative view implications for adjacent properties, and have made reasonable efforts to address Board Policy B1.5 guidelines.

Environmental Implications

To reduce the impact of the variance, the applicant will demolish the existing cabin and deck, and site the new cabin outside of the 15.0 metre Streamside Protection and Enhancement Area for Horne Lake, as identified in Development Permit 0120 and previous approval from the Ministry of the Environment under the *Riparian Area Regulations (RAR)*. Development Permit 0120 was approved by the Regional Board in 2001 to establish minimum distances for both new and existing development from Horne Lake or other watercourses, in addition to the requirements of the CD9 zone. Development Permit 0120 also established conditions for development, including restriction on vegetation removal and erosion protection. With the implementation of the RAR in 2007, the Horne Lake Strata completed a riparian area assessment for all strata lots in relation to Development Permit 0120, which was endorsed by the Ministry of the Environment. Demolition of a portion of the existing cabin and deck will occur within 15.0 metres of Horne Lake, however, the work would be covered by the existing conditions in Development Permit 0120.

Public Consultation Implications

Pending the Electoral Area Services Committee’s recommendation and pursuant to the *Local Government Act* and the “Regional District of Nanaimo Development Approvals and Notification Procedures Bylaw No. 1432, 2005”, property owners and tenants of parcels located within a 50.0 metre radius of the subject property will receive a direct notice of the proposal and will have an opportunity to comment on the proposed variance prior to the Board’s consideration of the application.

The Horne Lake Strata owners have indicated their general support to the Horne Lake Strata Council for increases to the main floor area of cabins through combining the permitted loft floor area with the permitted main floor area, which is consistent with this application.

ALTERNATIVES

1. To approve Development Variance Permit No. PL2017-059 subject to the conditions outlined in Attachments 2 to 4.
2. To deny Development Variance Permit No. PL2017-059.

FINANCIAL IMPLICATIONS

Staff have reviewed the proposed development and note that the proposal has no implications related to the Board 2017 – 2021 Financial Plan.

STRATEGIC PLAN IMPLICATIONS

Staff have reviewed the proposed development and note that the proposal has no implications for the 2016 – 2020 Board Strategic Plan.



Stephen Boogaards
sboogaards@rdn.bc.ca
June 22, 2017

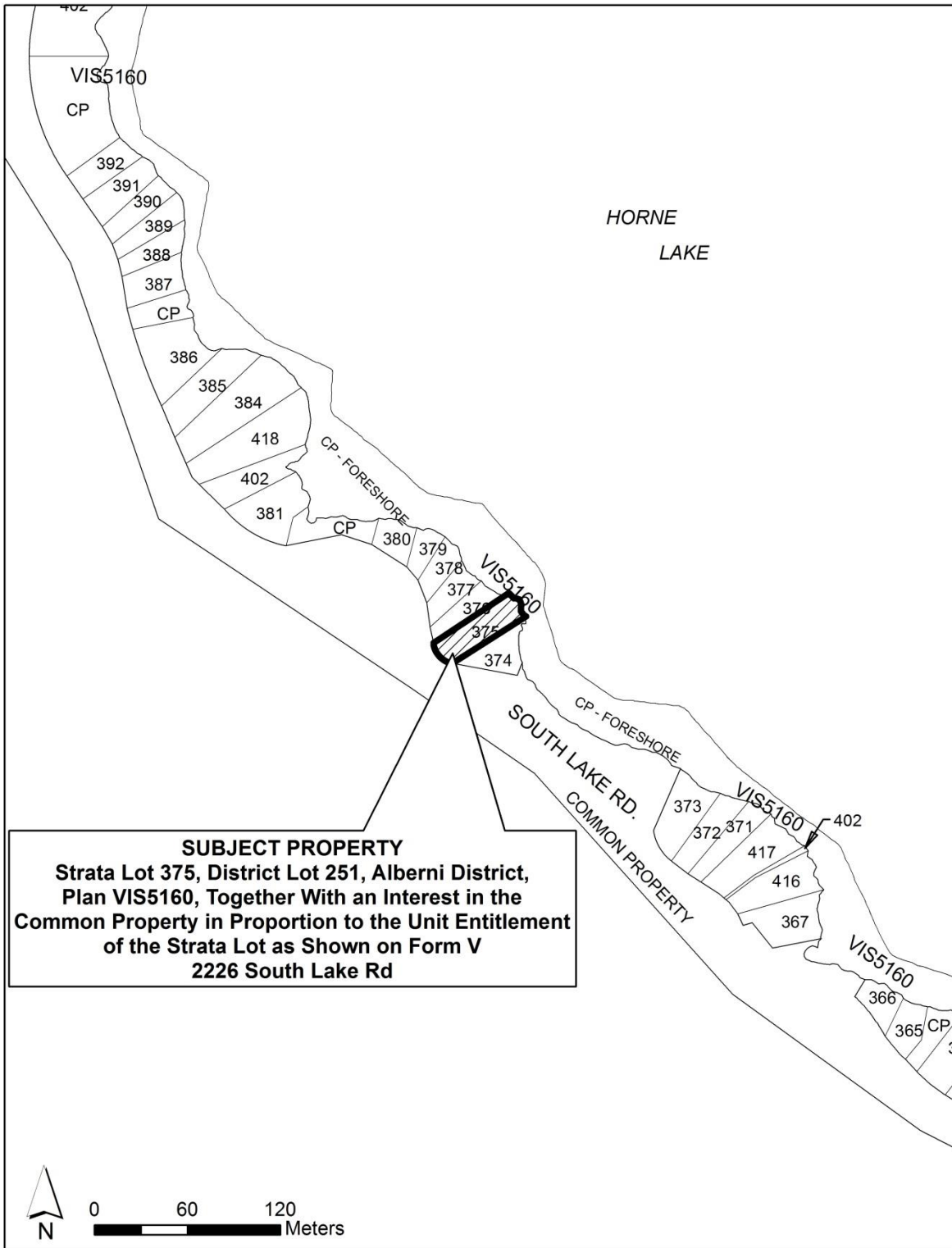
Reviewed by:

- J. Holm, Manager, Current Planning
- G. Garbutt, General Manager, Strategic & Community Development
- P. Carlyle, Chief Administrative Officer

Attachments

1. Subject Property Map
2. Terms and Conditions of Permit
3. Proposed Survey Plan and Variances
4. Building Elevations

**Attachment 1
Subject Property Map**



Attachment 2 Terms and Conditions of Permit

The following sets out the terms and conditions of Development Variance Permit No. PL2017-059:

Bylaw No. 500, 1987 Variances

With respect to the lands, “Regional District of Nanaimo Land Use and Subdivision Bylaw No. 500, 1987” is varied as follows:

1. **Section 3.4.107.2 – Maximum Number and Size of Buildings Structures and Uses c) i)** to increase the maximum permitted floor area for a single story cabin from 70 m² to 105 m².
2. **Section 3.4.107.6 Other Regulations xi)** to decrease floor area the maximum permitted floor area on a second story from 35 m² to 0 m².
3. **Section 3.4.107.6 Other Regulations xiii)** to decrease floor area for porches and decks from 40 m² to 10 m².

Conditions of Approval

1. The site is developed in accordance with the Survey Plan prepared by Bruce Lewis dated June 15, 2017 and attached as Attachment 3.
2. The proposed cabin, excluding the deck, is in general compliance with the plans and elevations attached as Attachment 4.
3. The property owner shall obtain the necessary permits for construction in accordance the Regional District of Nanaimo Building Regulations.

Attachment 3
Proposed Survey Plan and Variances (Page 1 of 2)

SKETCH PLAN TO ACCOMPANY BUILDING PERMIT APPLICATION
 FOR: STRATA LOT 375, DISTRICT LOT 251, ALBERNI DISTRICT,
 STRATA PLAN VIS5160.

DATE: JUNE 15, 2017.

LEGEND

PID 025-249-258

Grid bearings are derived from G.P.S. observations, to derive local astronomic bearings subtract 1°17'34", and are referred to the meridian through the Rock Post No 07.

- - denotes - Standard Iron Post
- CP - denotes - Common Property
- D.P. - denotes - Development Permit
- OD - denotes - Overall Distance
- PNB - denotes - Present Natural Boundary
- - - - - denotes - Top of Bank

SCALE = 1 : 250

5 0 5 10 15 20
 All distances are in metres and decimals thereof unless otherwise stated

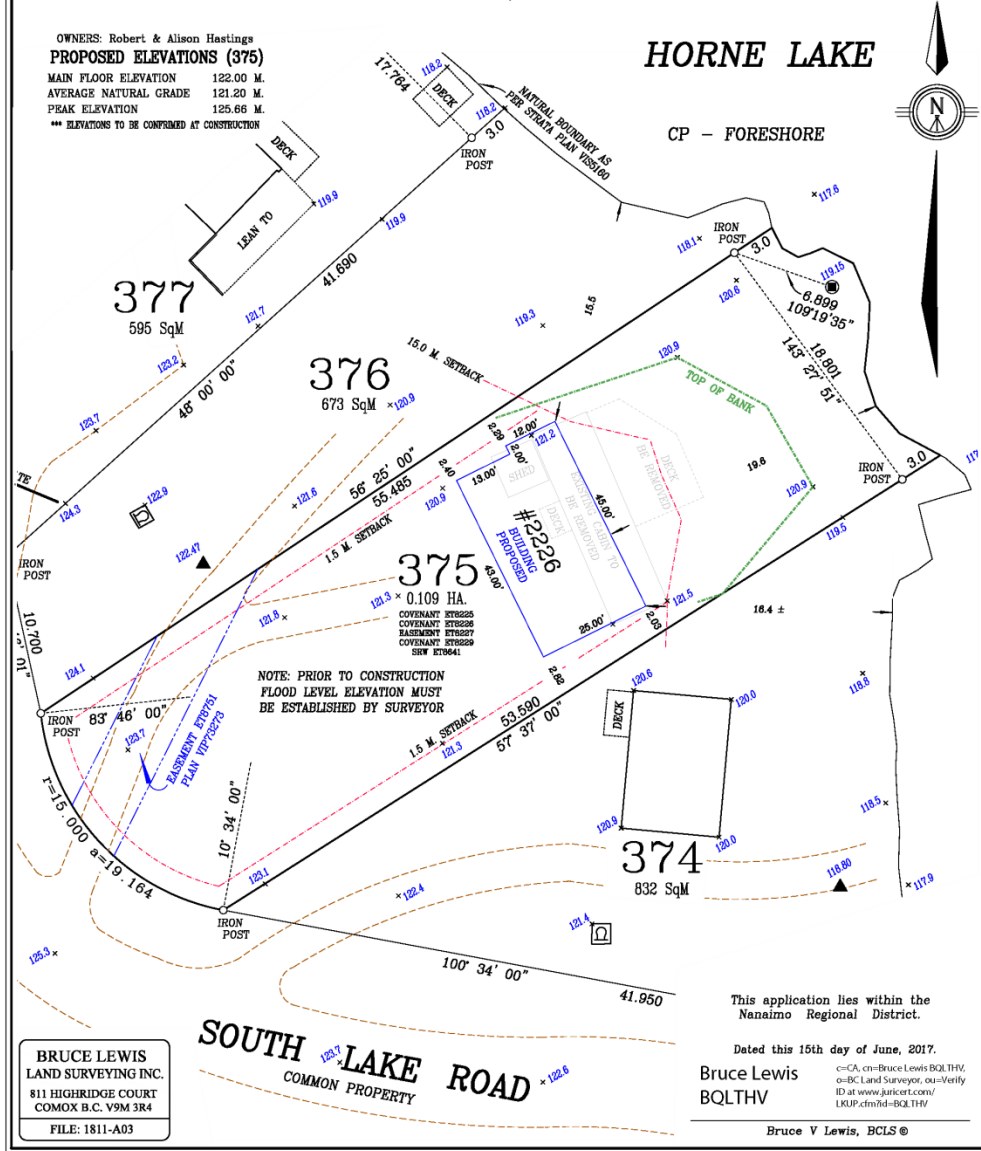
GENERAL NOTES

- 1) ALL PROPOSED IMPROVEMENTS MUST BE CLEAR OF ZONING AND APPROVED D.P. SETBACKS
 - INCLUSIVE OF EAVES, CHIMNEYS, DECKS, STEPS, ETC.
- 2) SEPTIC HOLDING TANK MUST BE GREATER THAN 15 METRES FROM THE NATURAL BOUNDARY AND WITHIN ZONING SETBACKS
- 3) MAIN FLOOR ELEVATION MUST BE CONFIRMED PRIOR TO CONSTRUCTION.
- 4) ALL PROPOSED IMPROVEMENTS WITHIN THE DP ZONE MUST BE INDICATED (INCLUSIVE OF PARKING, ACCESS, PATHS, DECKS & PATIOS).
- 5) PROPOSED BUILDING SETBACK INFORMATION MAY VARY UPON LEGAL SURVEY.
- 6) ELEVATIONS ARE GEODETIC AND HAVE BEEN ESTABLISHED BY TRIGONOMETRIC OBSERVATIONS, DIFFERENTIAL LEVELING AND WATER LEVEL TRANSFERS.
- 7) ELEVATIONS ARE REFERENCED TO GEODETIC SURVEYS OF CANADA, CONTROL MONUMENT 84C022 (150.443) AND ARE IN METRES AND DECIMALS THEREOF
- 8) SITE INFORMATION PROVIDED FROM FEB. 22, 2000 SURVEY.

OWNERS: Robert & Alison Hastings
PROPOSED ELEVATIONS (375)
 MAIN FLOOR ELEVATION 122.00 M.
 AVERAGE NATURAL GRADE 121.20 M.
 PEAK ELEVATION 125.66 M.
 *** ELEVATIONS TO BE CONFIRMED AT CONSTRUCTION

HORNE LAKE

CP - FORESHORE



NOTE: PRIOR TO CONSTRUCTION
 FLOOD LEVEL ELEVATION MUST
 BE ESTABLISHED BY SURVEYOR

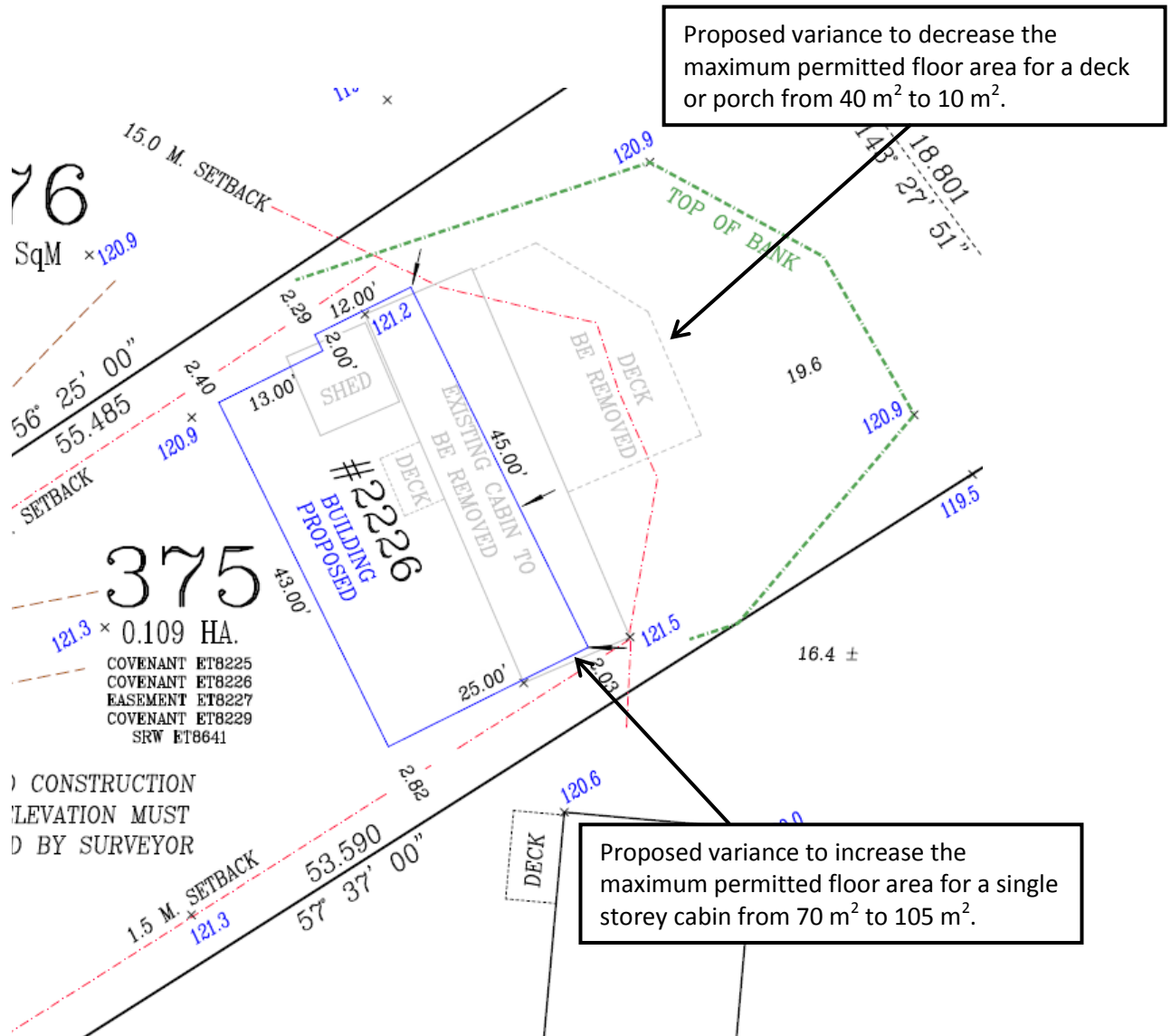
This application lies within the
 Nanaimo Regional District.

Dated this 15th day of June, 2017.

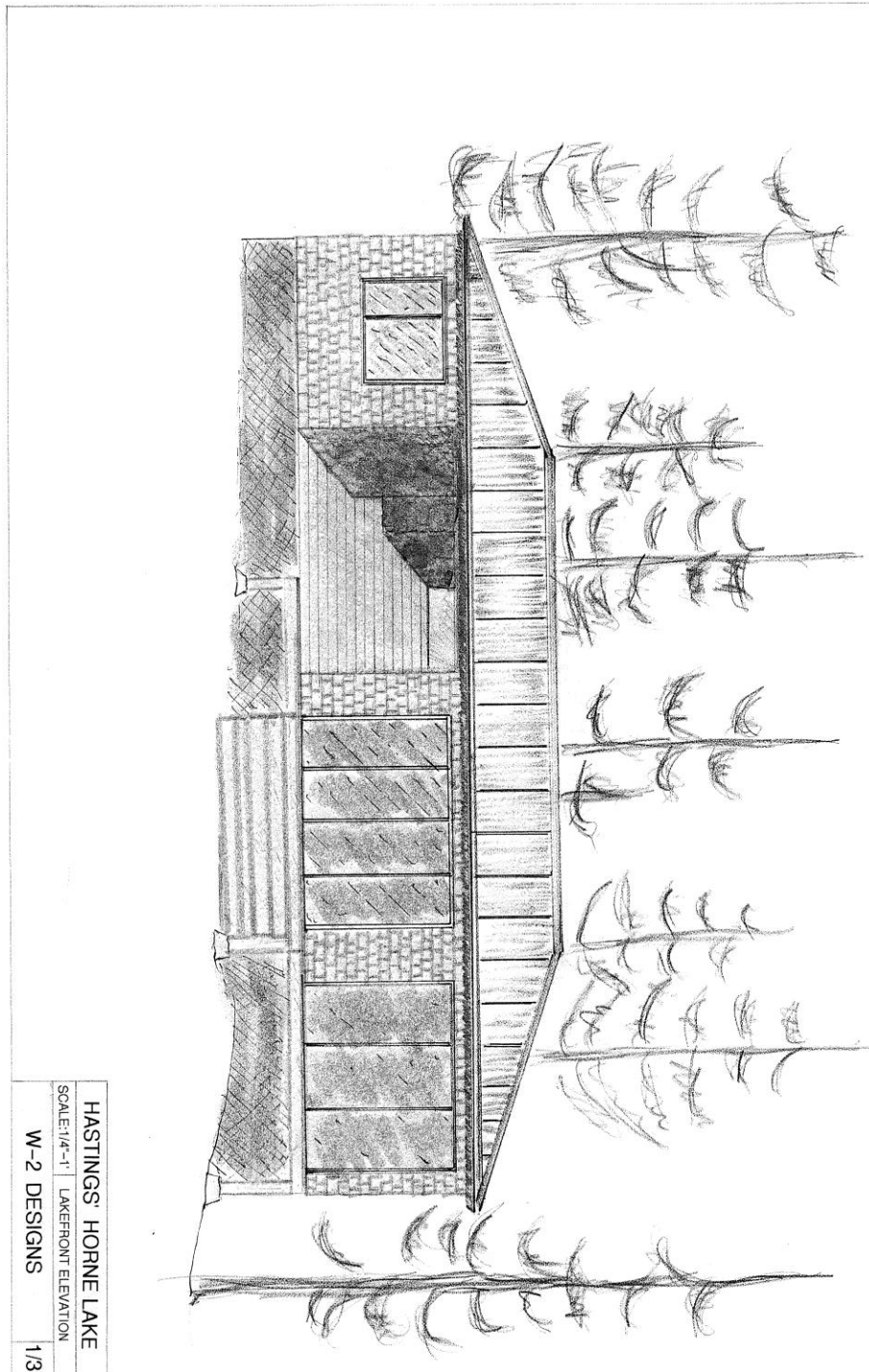
Bruce Lewis
 BOLTHV

Bruce V Lewis, BCLS ©

Attachment 3
Proposed Site Plan and Variances (Page 2 of 2)



Attachment 4
Building Elevations



TO: Electoral Area Services Committee **MEETING:** July 11, 2017

FROM: Kristy Marks
Planner **FILE:** PL2017-063

SUBJECT: **Development Variance Permit Application No. PL2017-063**
3036 Bay Road – Electoral Area ‘H’
Strata Lot 185, District Lot, 251 Alberni District, Strata Plan VIS5160 Together with an
Interest in the Common Property in Proportion to the Unit Entitlement of the Strata Lot
as Shown on Form V

RECOMMENDATIONS

1. That the Board approve Development Variance Permit No. PL2017-063, subject to the terms and conditions outlined in Attachments 2 to 4, to:
 - a. increase the maximum permitted floor area and increase the maximum permitted height to allow the construction of an accessory building and;
 - b. reduce the maximum accessory building floor area for any additional accessory building, accessory water storage structure, or accessory wood storage structure.
2. That the Board direct staff to complete the required notification for Development Variance Permit No. PL2017-063.

SUMMARY

This is an application to allow the construction of a garage on the subject property with variances to increase the maximum permitted floor area and height for an accessory building. Given that no negative impacts are anticipated as a result of the proposed variances, staff recommends that the Board approve the development variance permit pending the outcome of public notification and subject to the terms and conditions outlined in Attachment 2.

BACKGROUND

The Regional District of Nanaimo (RDN) has received an application from Fern Road Consulting Ltd. on behalf of Kelly and Gordon Pladson to permit the construction of an accessory building that exceeds the maximum permitted floor area and height. The subject property is approximately 0.12 hectares in area and is zoned Horne Lake Comprehensive Development Zone 9 (CD9), pursuant to “Regional District of Nanaimo Land Use and Subdivision Bylaw No. 500, 1987”. The property is located at the northeast end

of Horne Lake and is surrounded by Horne Lake to the south, Bay Road to the north and developed recreational properties to the east and west (see Attachment 1 – Subject Property Map).

The property is relatively flat, sloping gently from north to south, towards the lake and currently contains a recreational residence, detached carport, shed, and a small wood storage structure. The CD9 zone permits a total of 28 m² of accessory building and structure floor area per parcel in the following configurations:

- One 10.0 m² and one 6.0 m² accessory building for each recreational residence;
- One accessory water storage structure of 6.0 m² per recreational residence;
- One accessory wood storage structure of 6.0 m² per recreational residence.

Proposed Development and Variance

The proposed development includes the construction of an accessory building on the subject property. The applicant proposes to vary the following regulations from the “Regional District of Nanaimo Land Use and Subdivision Bylaw No. 500, 1987”:

- 1. Section 3.4.107(c)(iii) – Floor Area** to increase the maximum accessory building floor area from 10.0 m² to 22.5 m² for one accessory building.
- 2. Section 3.4.107(c)(iii) – Floor Area** to reduce the maximum accessory building floor area from 6.0 m² each for any additional accessory building, accessory water storage structure, or accessory wood storage structure to a maximum combined floor area of 5.5 m².
- 2. Section 3.4.107(d) (ii) – Height** to increase the maximum permitted height from 3.0 metres to 3.5 metres for an accessory building.

The Horne Lake Strata owners have indicated their support to the Horne Lake Strata Council for larger accessory buildings not to exceed 28.0 m² which is the combined floor area of all of the accessory buildings allowed in the CD9 zone. Should this variance be approved the subject property would be permitted 28.0 m² of overall accessory building floor area.

Land Use Implications

The applicant is proposing to construct an accessory building with variances to the maximum permitted floor area by combining most of the floor area permitted for individual accessory buildings to allow the construction of one larger accessory building with a maximum floor area of 22.5 m². To ensure that the maximum overall permitted accessory building floor area of 28.0 m² is not exceeded, the applicant has agreed to reduce the combined floor area for any additional accessory buildings to 5.5 m². In addition, the applicant is requesting a height variance to allow the proposed garage to be a maximum of 3.5 meters in height.

The proposed garage would be sited in the same general location as the existing accessory buildings, on the north side of the recreational residence away from Horne Lake. The applicant has provided a site plan and building elevation drawings in support of the application (see Attachment 3 – Site Plan and Attachment 4 – Building Elevations).

Board Policy B1.5 “Development Variance Permit, Development Permit with Variance and Floodplain Exemption Application Evaluation” for the evaluation of Development Variance Permit Applications requires an adequate demonstration of an acceptable land use justification prior to the Board’s consideration. In this case the applicant has indicated that the provisions of the CD9 Zone do not allow sufficient floor area to efficiently store watercraft and all-terrain vehicles within an accessory building. The applicant also suggests that it would be easier to secure one larger accessory building rather than four smaller ones (as permitted in the CD9 zone). The applicant has also indicated that it is more economical to construct one larger accessory building rather than four smaller ones and notes that the proposed development will not negatively impact adjacent parcels.

With respect to the requested height variance, the maximum permitted height of an accessory building in the CD9 zone is 3.0 metres as measure from natural grade. The applicant has indicated that the proposed accessory building has been designed to be 2.9 metres in height, however the established floodplain elevation in the CD9 zone is 121.7 metres Geodetic Survey of Canada Datum (GSC) and the building site is below this elevation. As such, the applicant is required to elevate the proposed accessory building to meet the flood elevation which results in the proposed garage being approximately 3.5 metres in height above natural grade. Given the location of the proposed accessory building at the rear of the recreation residence, away from the lake, and in the same general location as the existing accessory buildings, they do not anticipate any view implications for adjacent properties as a result of the requested variance.

Given that the applicant has provided sufficient rationale and the variances will not result in negative impacts for adjacent properties, the applicants have made reasonable efforts to address the variance evaluation criteria outlined in Policy B1.5.

Public Consultation Implications

Pending the Electoral Area Services Committee’s recommendation and pursuant to the *Local Government Act* and the “Regional District of Nanaimo Development Approvals and Notification Procedures Bylaw No. 1432, 2005”, property owners and tenants of parcels located within a 50.0 metre radius of the subject property will receive a direct notice of the proposal and will have an opportunity to comment on the proposed variance prior to the Board’s consideration of the application.

ALTERNATIVES

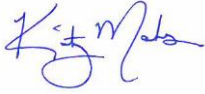
1. To approve Development Variance Permit No. PL2017-063 subject to the conditions outlined in Attachments 2 to 4.
2. To deny Development Variance Permit No. PL2017-063.

FINANCIAL IMPLICATIONS

Staff have reviewed the proposed development and note that the proposal has no implications related to the Board 2017 – 2021 Financial Plan.

STRATEGIC PLAN IMPLICATIONS

Staff have reviewed the proposed development and note that the proposal has no implications for the 2016 – 2020 Board Strategic Plan.



Kristy Marks
kmarks@rdn.bc.ca
June 15, 2017

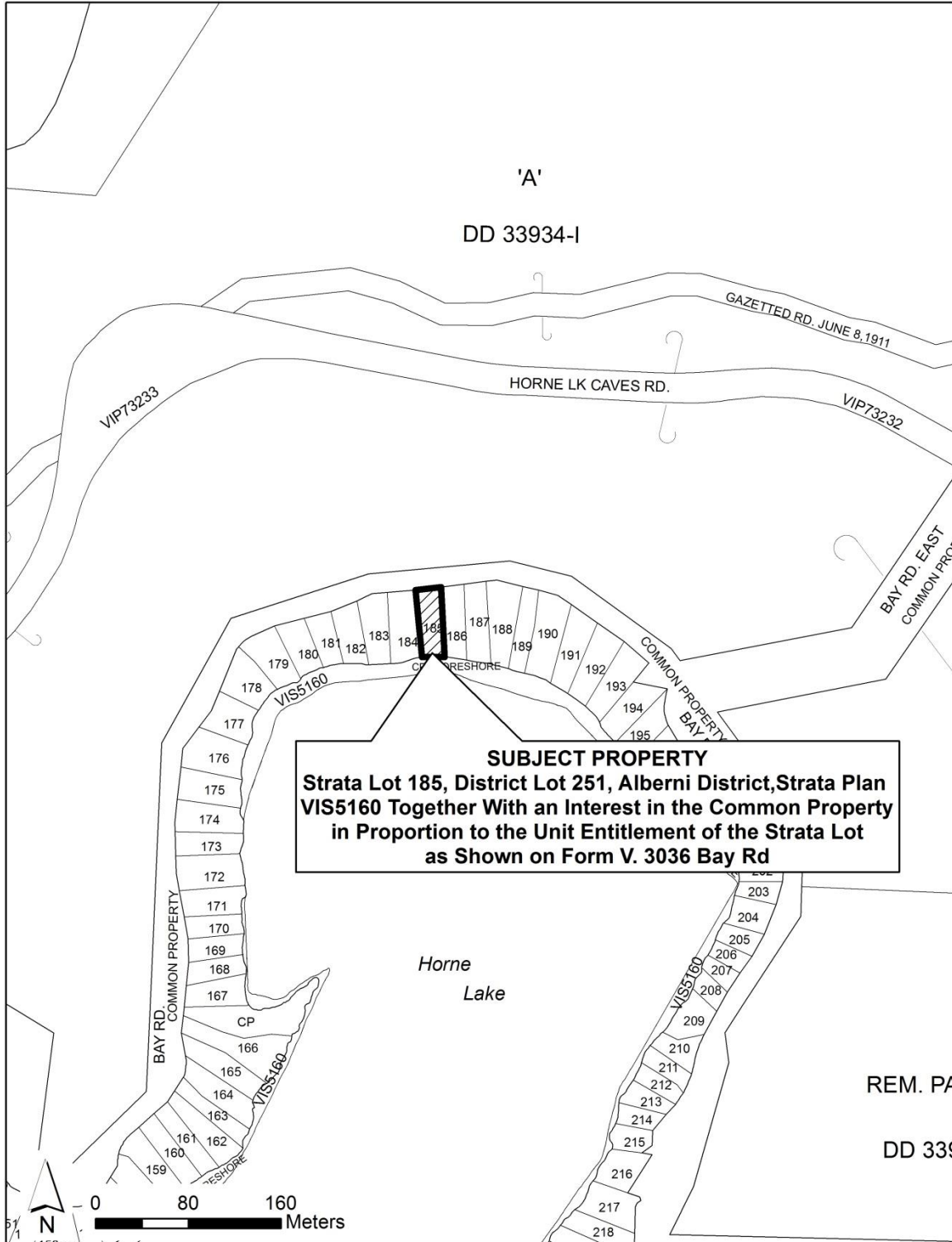
Reviewed by:

- J. Holm, Manager, Current Planning
- G. Garbutt, General Manager, Strategic & Community Development
- P. Carlyle, Chief Administrative Officer

Attachments

1. Subject Property Map
2. Terms and Conditions of Permit
3. Proposed Site Plan and Variances
4. Building Elevations

Attachment 1
Subject Property Map



Attachment 2 Terms and Conditions of Permit

The following sets out the terms and conditions of Development Variance Permit No. PL2017-063:

Bylaw No. 500, 1987 Variances

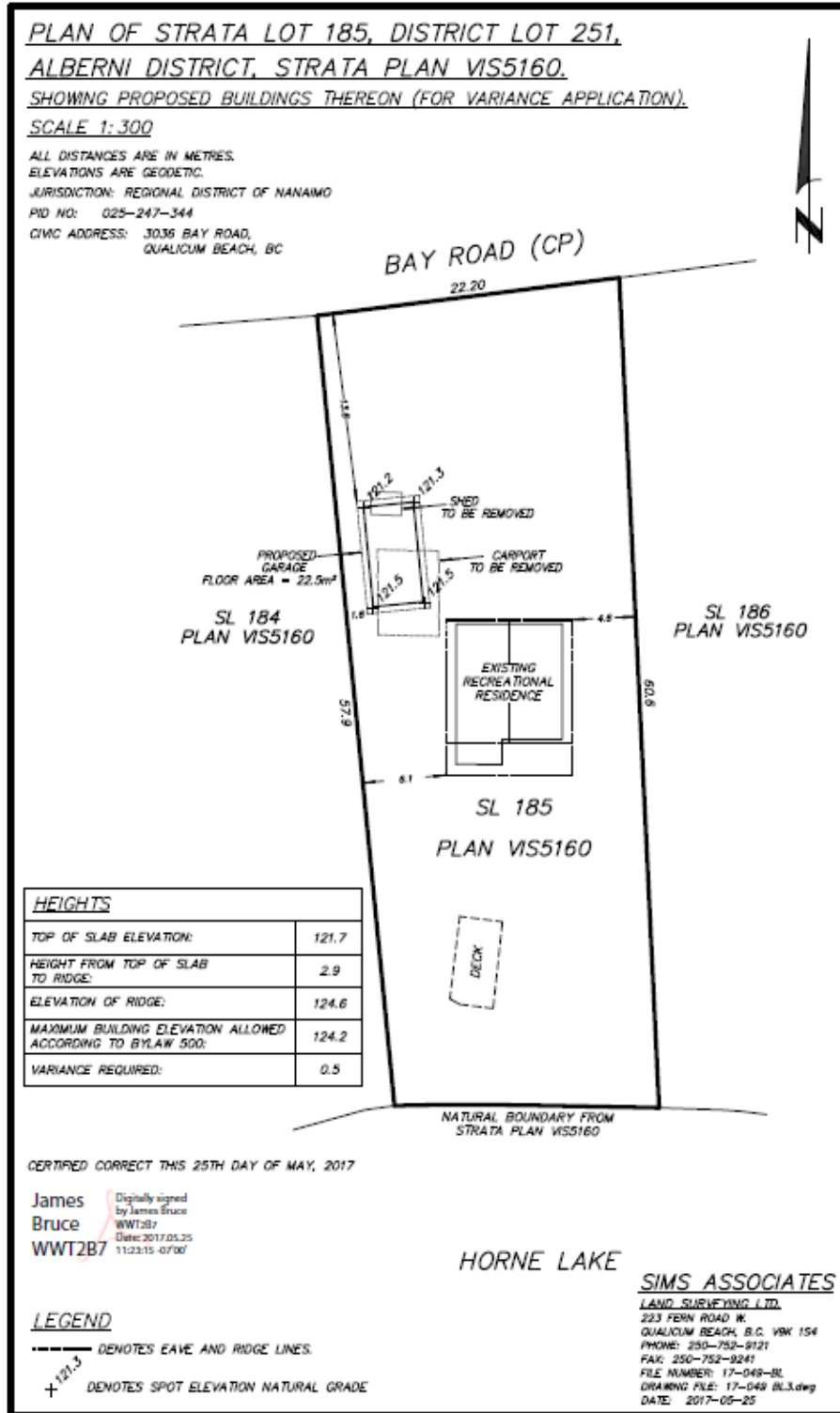
With respect to the lands, “Regional District of Nanaimo Land Use and Subdivision Bylaw No. 500, 1987” is varied as follows:

1. **Section 3.4.107(c)(iii) – Floor Area** to increase the maximum accessory building floor area from 10.0 m² to 22.5 m² for an accessory building.
2. **Section 3.4.107(c)(iii) – Floor Area** to reduce the maximum accessory building floor area from 6.0 m² each for any additional accessory building, accessory water storage structure, or accessory wood storage structure to a maximum combined floor area of 5.5 m².
3. **Section 3.4.107(d)(ii) – Height** to increase the maximum permitted height from 3.0 metres to 3.5 metres for an accessory building.

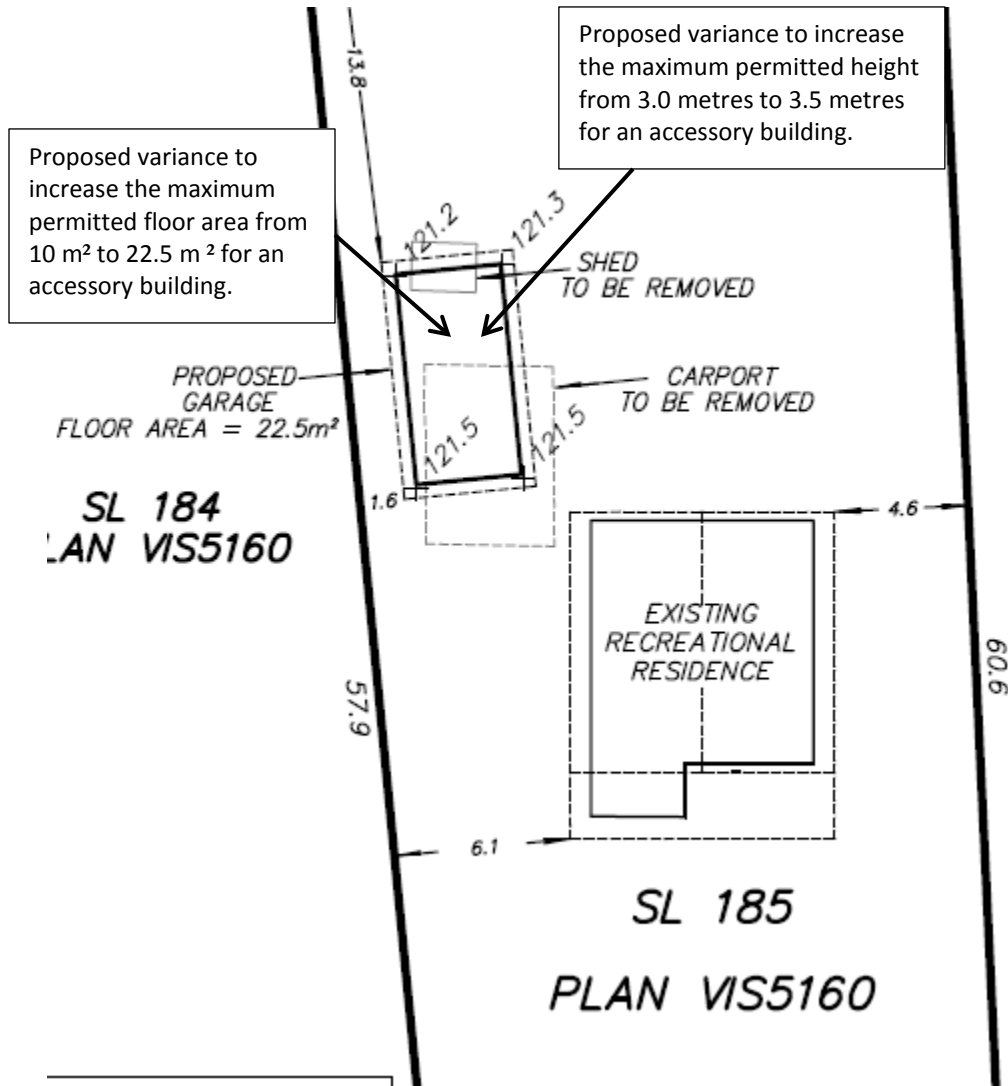
Conditions of Approval

1. The site is developed in accordance with the Site Plan prepared by Sims Associates Land Surveying Ltd., dated May 25, 2017 and attached as Attachment 3.
2. The proposed development is in general compliance with the plans and elevations submitted on May 12, 2017 and attached as Attachment 4.
3. The property owner shall obtain the necessary permits for construction in accordance with Regional District of Nanaimo Building Regulations.

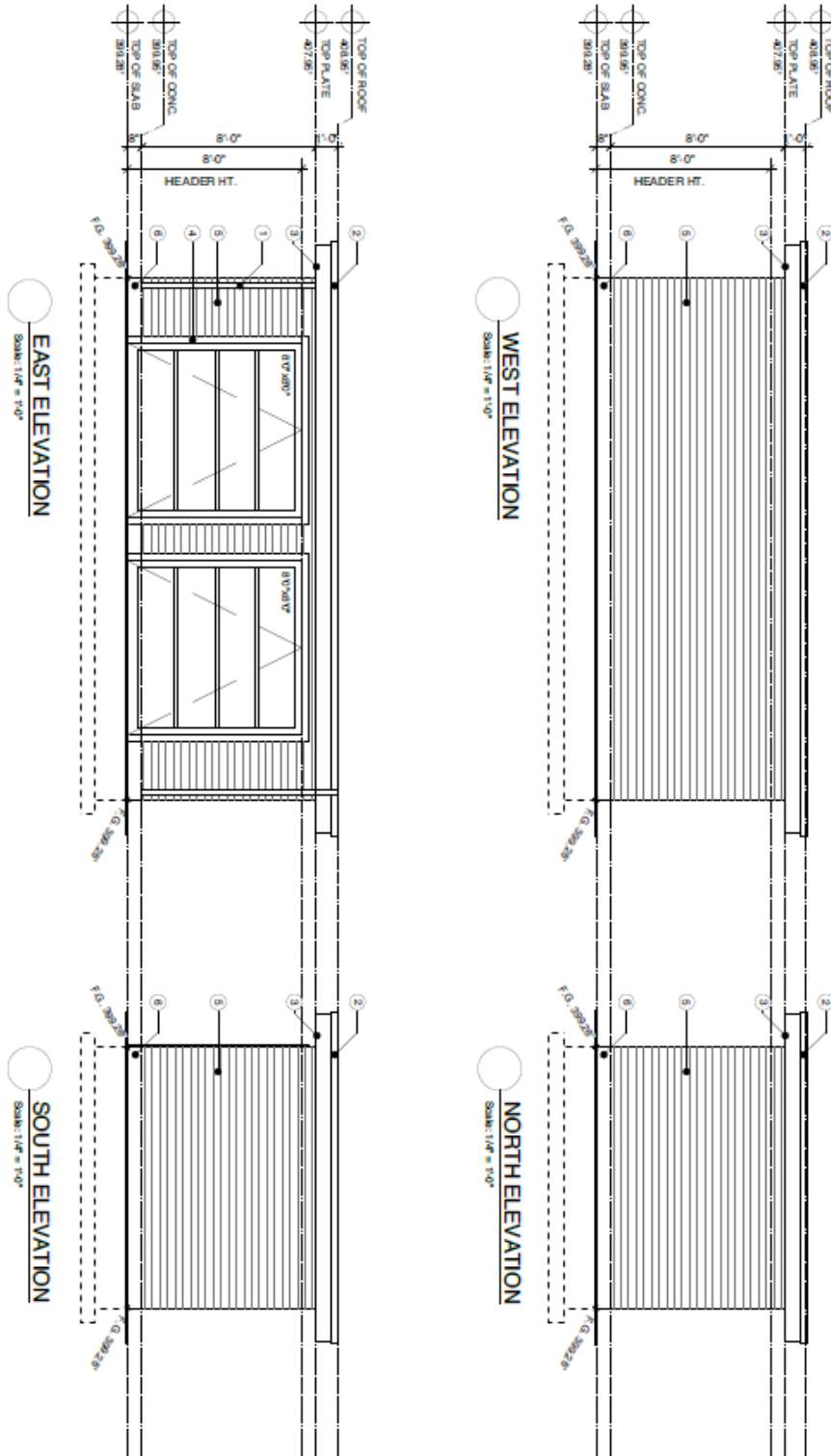
Attachment 3
Proposed Site Plan and Variances
 (Page 1 of 2)



Attachment 3
Proposed Site Plan and Variances
(Page 2 of 2)



Attachment 4
Building Elevations



TO: Electoral Area Services Committee **MEETING:** July 11, 2017

FROM: Kristy Marks
Planner **FILE:** PL2016-123

**SUBJECT: Development Variance Permit Application No. PL2016-123
Brynmarl Road – Electoral Area ‘E’
Lot 2, District Lot 38, Nanoose District, Plan EPP63432**

RECOMMENDATIONS

1. That the Board approve Development Variance Permit No. PL2016-123 to reduce the setback from the natural boundary of the sea for a swimming pool and patio and reduce the setback from the interior side lot line for a patio subject to the terms and conditions outlined in Attachment 2 to 4.
2. That the Board direct staff to complete the required notification for Development Variance Permit No. PL2016-123.

SUMMARY

This is an application to allow the construction of a swimming pool and patio with variances to the setback from the natural boundary of the sea and to the setback from the interior side lot line. Given that no negative impacts are anticipated as a result of the proposed variances, staff recommends that the Board approve the development variance permit pending the outcome of public notification and subject to the terms and conditions outlined in Attachment 2.

BACKGROUND

The Regional District of Nanaimo (RDN) has received an application from Dan Saliken and Sarah Mellings to permit construction of a dwelling unit and associated swimming pool and patio with variances to the setback from the natural boundary of the sea for the pool and the interior side lot line for a patio. The subject property is approximately 0.22 hectares in area and is zoned Residential 1 Zone (RS1), Subdivision District ‘N’, pursuant to “Regional District of Nanaimo Land Use and Subdivision Bylaw No. 500, 1987”. The property is located to the north of the Beachcomber Marina and is surrounded by the sea to the west, Brynmarl Road to the east, a developed residential parcel to the south and a vacant residential parcel to the north (see Attachment 1 – Subject Property Map).

The property is currently vacant and slopes gently to the southwest over the first half of the parcel and then contains progressively steeper slopes on the western portion of the parcel toward the ocean. The subject property was recently subdivided and the parent parcel contained a dwelling unit and a large greenhouse. These structures have been removed and the proposed dwelling unit and pool would be sited in generally the same location as the previous buildings.

Proposed Development and Variance

The proposed development includes the construction of a dwelling unit and accessory structures including a swimming pool and patio. The applicants propose to vary the following regulations from the “Regional District of Nanaimo Land Use and Subdivision Bylaw No. 500, 1987”:

1. **Section 3.3.8 b) iv) – Setbacks – Sea** to reduce the setback from the natural boundary of the sea from 15.0 metres to 11.5 metres for a swimming pool and patio.
2. **Section 3.4.61 – Minimum Setback Requirements** to reduce the setback from the interior side lot line from 2.0 metres to 1.05 metres for a patio.

In Electoral Area ‘E’ the setback from the sea is 8.0 metres from the top of a slope that is 30% or greater; or 15.0 metres from the natural boundary, whichever is greater. In this case the setback from the natural boundary is the more restrictive. The setback from the natural boundary generally follows the setback from the top of the bank and then sweeps landward through a portion of the proposed pool and patio (see Attachment 3 – Site Plan).

Land Use Implications

The applicants are proposing to construct a dwelling unit and accessory structures and are requesting variances to the setback from the natural boundary of the sea for a portion of a proposed swimming pool and patio and a variance to the setback from the interior side lot line for a portion of the proposed patio. The proposed dwelling unit does not require any variances. The pool and patio would be located in the same general location as the previous greenhouse and the applicants have provided a site plan and building elevation drawings in support of the application (see Attachment 3 – Site Plan and Attachment 4 – Building Elevations).

“Board Policy B1.5 Development Variance Permit, Development Permit with Variance and Floodplain Exemption Application Evaluation” for evaluation of Development Variance Permit Applications requires that there is an adequate demonstration of an acceptable land use justification prior to the Board’s consideration. In this case the applicants have indicated that the proposed pool and patio have been sited in the same general location as the previous greenhouse structure, which included a concrete foundation that extended closer to the natural boundary than the proposed pool and patio. In addition, all proposed structures would be located greater than 8.0 metres from the top of the bank, which was the required setback to the sea until the bylaw was amended in 2006. The applicants have also indicated that they have sited the proposed dwelling unit further away from the natural boundary to provide space for the pool and patio and minimize the requested variance. The pool and patio are not anticipated to have any view implications for the adjacent parcel to the south as this area is somewhat buffered from a portion of the dwelling unit which does not require any variances. In addition, no

environmental or view implications are anticipated as this area was already disturbed and contained structures that were closer to the natural boundary than the proposed pool and patio.

With respect to the requested variance to the setback from the interior side lot line for a portion of the proposed patio, the applicants have indicated that the patio would provide access to the north side of the pool. Given that the adjacent parcel is currently vacant and owned by the applicants and that the dwelling unit on the parcel further to the north is oriented away from the subject property and is closer to the sea there are no privacy or view implications anticipated for these parcels.

The applicants have provided a Geotechnical Recommendations report prepared by Lewkowich Engineering Associates Ltd. dated July 21, 2016. This report provides general recommendations for the construction of the pool. RDN Building Inspection staff advised that the construction of the pool will be required to be supervised by an engineer through building permit application. Staff recommend that the applicant be required to register the Geotechnical Recommendations Report as a Section 219 covenant on title including a save harmless clause that releases the Regional District of Nanaimo from all losses and damages as a result of any geotechnical hazard (see Attachment 2 – Conditions of Permit)

Given that the applicants have provided sufficient rationale and the variances will not result in negative view implications for adjacent properties, the applicants have made reasonable efforts to address Board Policy B1.5 guidelines.

Public Consultation Implications

Pending the Electoral Area Services Committee's recommendation and pursuant to the *Local Government Act* and the "Regional District of Nanaimo Development Approvals and Notification Procedures Bylaw No. 1432, 2005", property owners and tenants of parcels located within a 50.0 metre radius of the subject property will receive a direct notice of the proposal and will have an opportunity to comment on the proposed variance prior to the Board's consideration of the application.

ALTERNATIVES

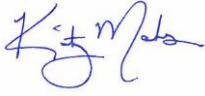
1. To approve Development Variance Permit No. PL2016-123 subject to the conditions outlined in Attachments 2 to 4.
2. To deny Development Variance Permit No. PL2016-123.

FINANCIAL IMPLICATIONS

Staff have reviewed the proposed development and note that the proposal has no implications related to the Board 2017 – 2021 Financial Plan.

STRATEGIC PLAN IMPLICATIONS

The proposal has no implications for the 2016 – 2020 Board Strategic Plan.



Kristy Marks
kmarks@rdn.bc.ca
June 16, 2017

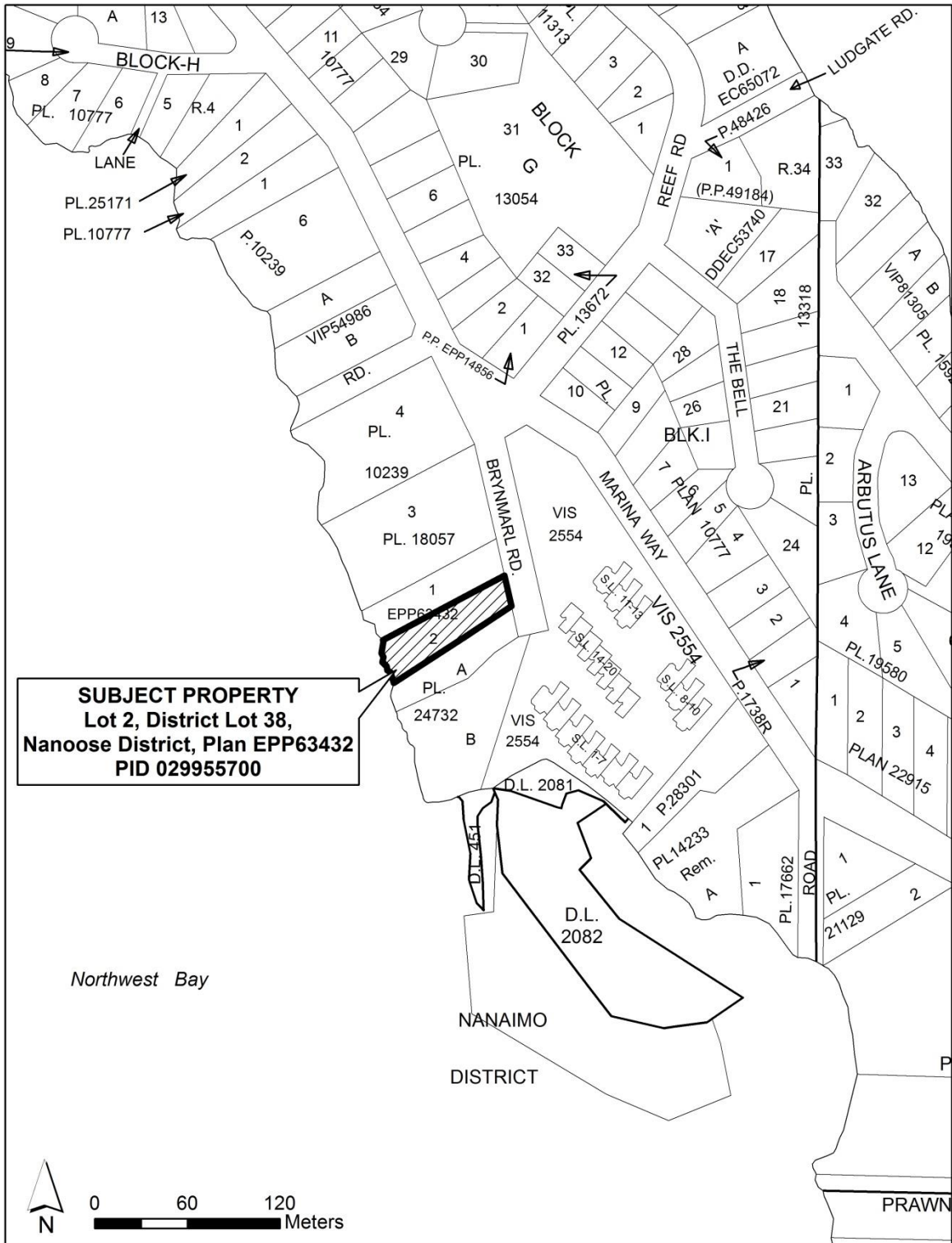
Reviewed by:

- J. Holm, Manager, Current Planning
- G. Garbutt, General Manager, Strategic & Community Development
- P. Carlyle, Chief Administrative Officer

Attachments

1. Subject Property Map
2. Terms and Conditions of Permit
3. Proposed Site Plan and Variances
4. Building Elevations

Attachment 1
Subject Property Map



Attachment 2 Terms and Conditions of Permit

The following sets out the terms and conditions of Development Variance Permit No. PL2016-123:

Bylaw No. 500, 1987 Variances

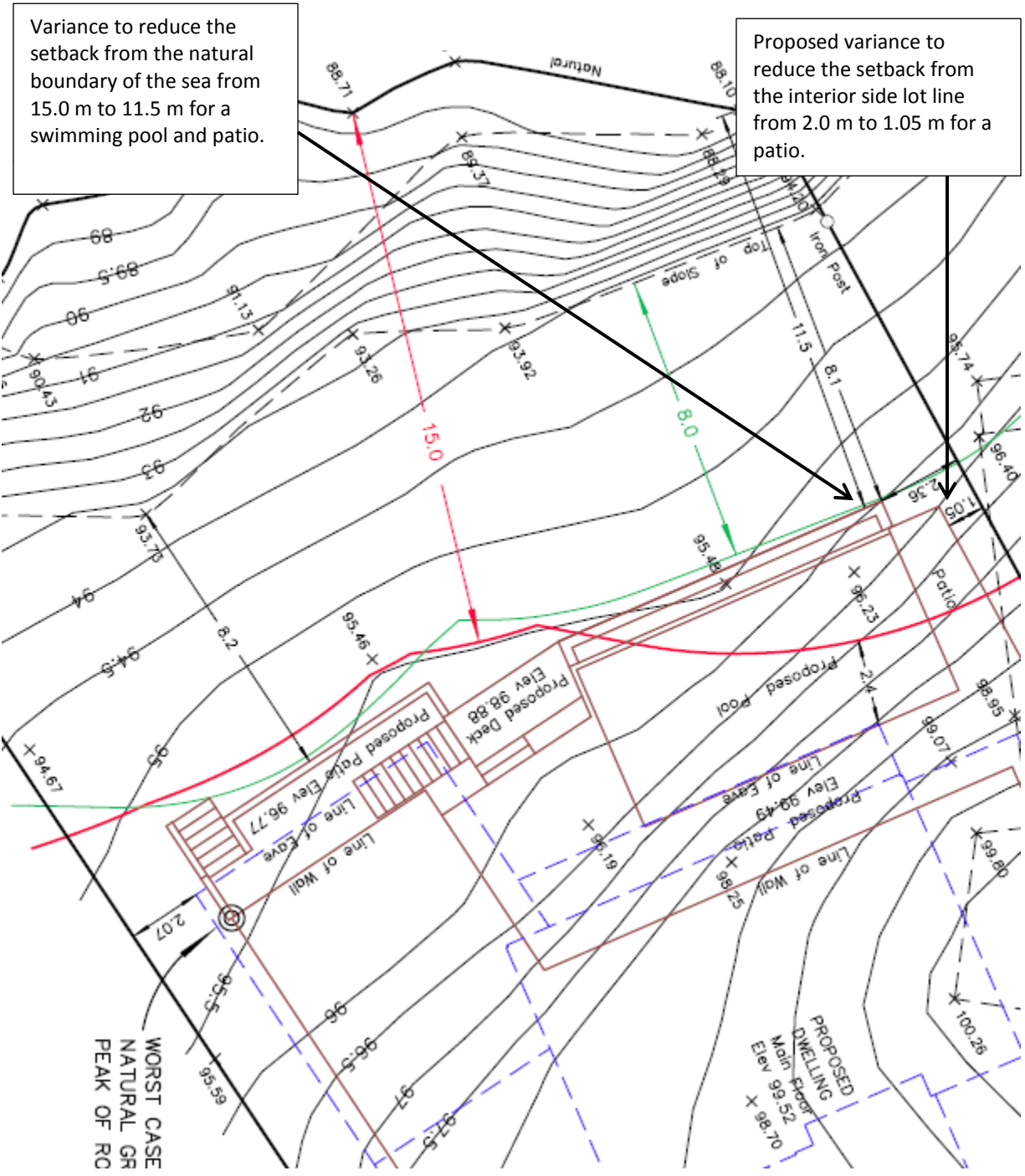
With respect to the lands, “Regional District of Nanaimo Land Use and Subdivision Bylaw No. 500, 1987” is varied as follows:

1. **Section 3.3.8 b) iv) – Setbacks – Sea** to reduce the setback from the natural boundary of the sea from 15.0 metres to 11.5 metres for a swimming pool and patio.
2. **Section 3.4.61 – Minimum Setback Requirements** to reduce the setback from the interior side lot line from 2.0 metres to 1.05 metres for a patio.

Conditions of Approval

1. The site is developed in accordance with the Site Plan prepared by JE Anderson and Associates, dated April 21, 2017 and attached as Attachment 3.
2. The proposed development is in general compliance with the plans and elevations prepared by Saturna Studios, dated June 16, 2017 and attached as Attachment 4.
3. The subject property shall be developed in accordance with the recommendations contained in the Geotechnical Recommendations report prepared by Lewkowich Engineering Associates Ltd., dated July 21, 2016.
4. Staff shall withhold the issuance of this Permit until the applicant, at the applicant’s expense, registers a Section 219 Covenant on the property title containing the Geotechnical Recommendations Report prepared by Lewkowich Engineering Associates Ltd., dated July 21, 2016 and includes a save harmless clause that releases the Regional District of Nanaimo from all losses and damages as a result of any geotechnical hazard.
5. The property owner shall obtain the necessary permits for construction in accordance with Regional District of Nanaimo Building Regulations.

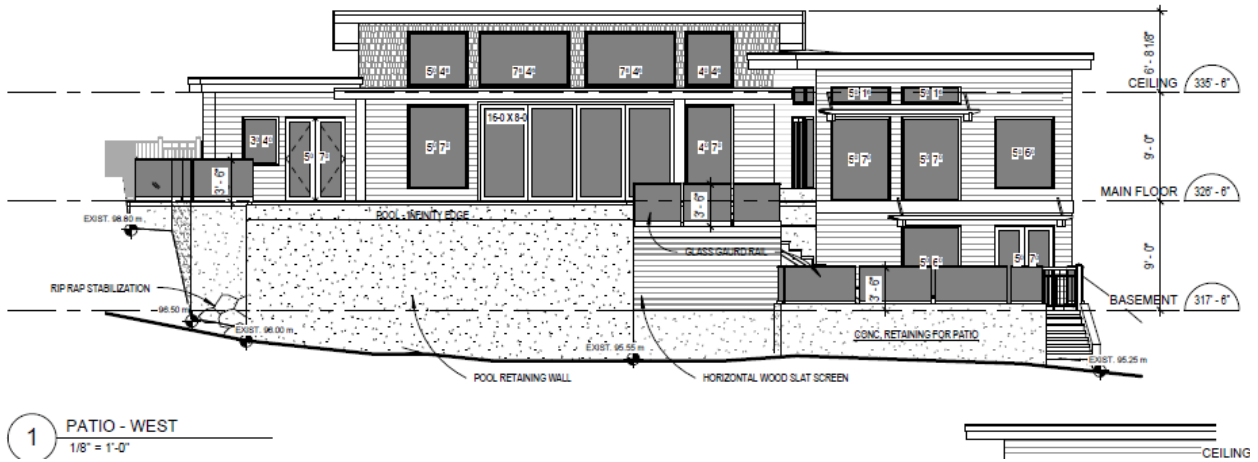
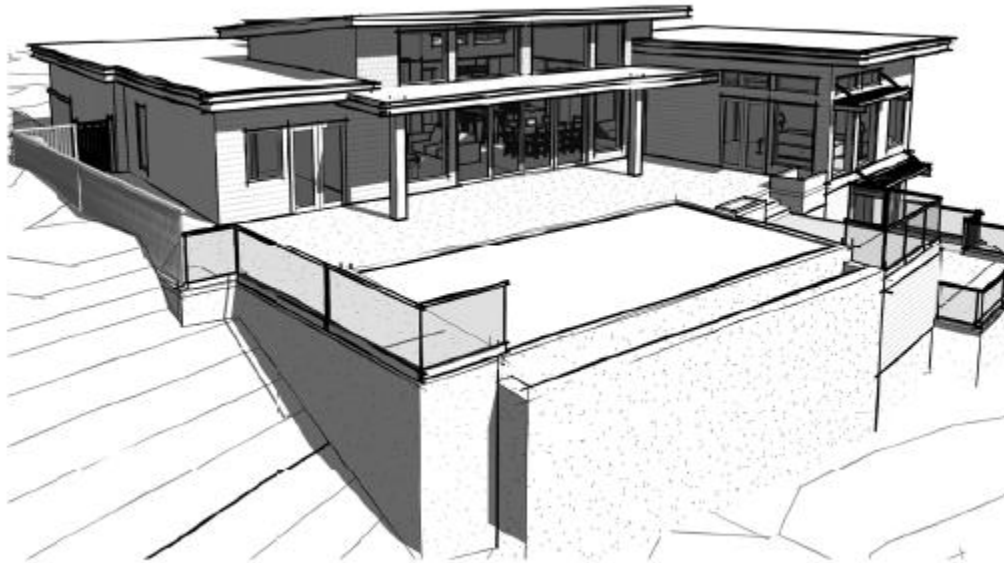
Attachment 3
Proposed Site Plan and Variances
(Page 2 of 2)



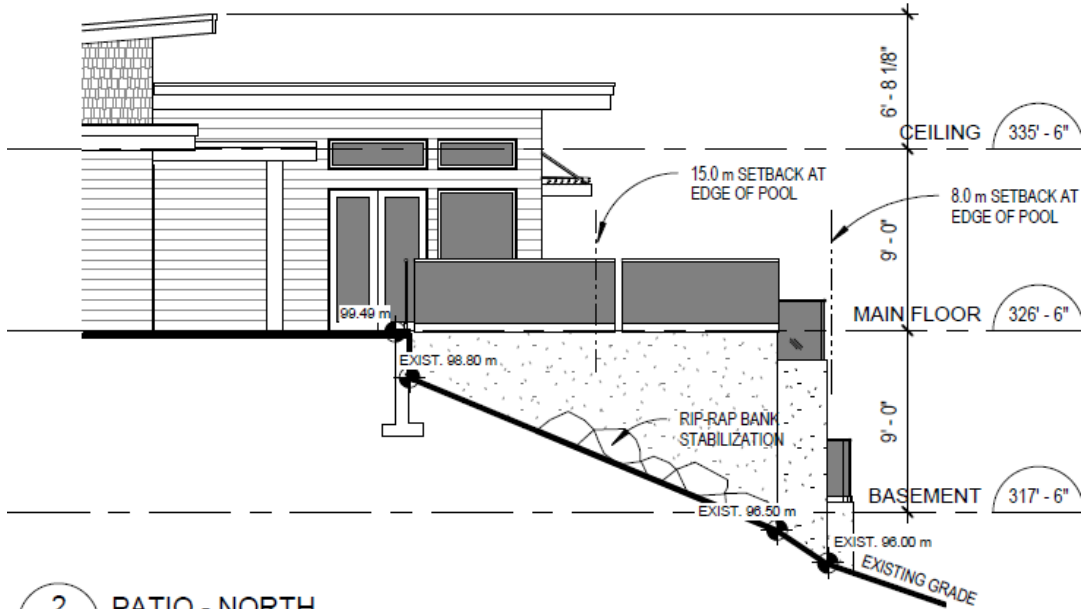
Variance to reduce the setback from the natural boundary of the sea from 15.0 m to 11.5 m for a swimming pool and patio.

Proposed variance to reduce the setback from the interior side lot line from 2.0 m to 1.05 m for a patio.

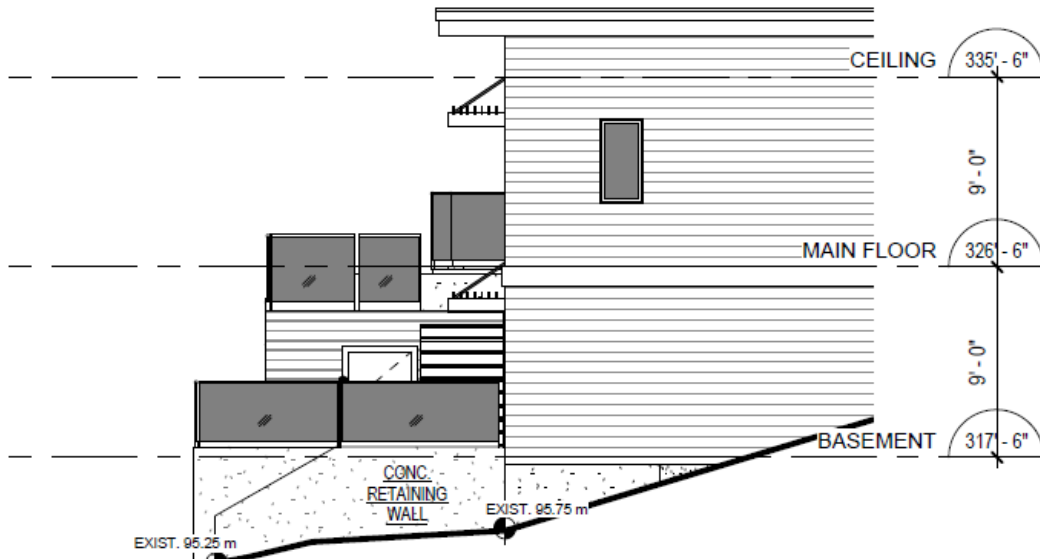
Attachment 4
Building Elevations
 (Page 1 of 2)



Attachment 4
Building Elevations
(Page 2 of 2)



2 PATIO - NORTH
 A3.03 1/8" = 1'-0"



3 PATIO - SOUTH
 1/8" = 1'-0"

This application also includes a request to amend the Lakes District and Schooner Cove Phased Development Agreement (PDA) to accommodate the proposed development. The key changes to the PDA are to accept a floating boardwalk using the marina floats rather than a land based route, timing and trigger mechanisms for the required amenities, access to the existing boat ramp, and fire protection equipment.

In accordance with the PDA, the applicant is proposing a number of community amenities in conjunction with this phase including a floating waterfront pathway/boardwalk, public access and open space, a multi-use pathway and upgrades along Dolphin Drive, and other associated improvements.

Representatives of the RDN and the applicant met with the Snaw-Naw-As First Nation Chief and members of their Council to discuss the proposed development. Given the issues identified, the applicant has advised that they will work directly with Snaw-Naw-As First Nation to address their areas of interest.

Given that the Development Permit (DP) guidelines have been met and no negative impacts are anticipated as a result of the proposed variances, staff recommends that the Board approve the development permit with variance pending the outcome of public notification and subject to the terms and conditions outlined in Attachment 2. Given that the proposed PDA Amendment Agreement would provide an equivalent community amenity package, staff recommends that the Board approve the PDA amendment agreement as outlined in Attachment 13.

BACKGROUND

The Regional District of Nanaimo (RDN) has received an application from 1042719 BC Ltd. to permit the construction of 50 dwelling units and 1,924 m² of commercial floor space on the subject properties, which are within Phase 1Sc of Schooner Cove as identified in the PDA. The land proposed to be developed is approximately 1.3 hectares in area, contains a large previously-occupied vacant commercial building (Building A), and is located at the northwest corner of Dolphin Drive and Outrigger Road (see Attachment 1 – Subject Property Map and Proposed Development Context Map). The topography slopes down moderately in a north-west direction from a high point of approximately 15.0 metres geodetic at the corner of Dolphin Drive and Outrigger Road to the natural boundary of the ocean.

The subject property is zoned Village Mixed Use (CD45-MU). The Marina and a small portion of Building A are located within the Marina subzone (CD45-MA) (see Attachment 1 – Subject Property Map – Current Zoning and Proposed Development Context). Adjacent uses include, an existing multiple-unit residential building (Schooner House Strata) and undeveloped land zoned for multiple-unit residential to the east, undeveloped land zoned for multi-unit residential to the south, existing single unit detached residential to the south and west, and the Schooner Cove Marina to the north. The property is serviced by RDN community water and community sewer services.

The proposed development is subject to the following Development Permit Areas (DPA) as per the Schooner Cove Neighbourhood Plan:

1. Schooner Cove DPA 1: Village Form and Character

2. Schooner Cove DPA 2: Environmentally Sensitive Development
3. Schooner Cove DPA 3: Hazardous Conditions
4. Schooner Cove DPA 4: Energy Conservation, Water Conservation and the Reduction of Greenhouse Gases

Proposed Development

The application includes the renovation of the existing building (Building A) to be repurposed to include 11 dwelling units and approximately 1,830 m² of commercial floor area. The proposal also includes the construction of a new six storey residential building containing 39 dwelling units and approximately 94 m² of commercial floor area (Building B). The proposed residential units have been designed to adaptive housing standards allowing future conversions of the units to accommodate residents' future needs. A range of amenities, including a publicly accessible waterfront boardwalk, internal pathways, public access open space, and other improvements and infrastructure works required by the PDA and PDA Amendment Agreement, are proposed in conjunction with the development. Signage for the proposed development is not included as part of this application as the applicant has indicated that signage will be addressed through a separate development permit application to reflect the tenant mix.

Development Implications

The following provides an overview of the proposed development with regard to the applicable DPA Guidelines followed by a brief discussion on individual buildings, parking and requested variances.

To satisfy DPA 1 Guidelines, the applicant has submitted site plans and building elevations dated June 21, 2017 prepared by Collabor8 Architecture and Design (See Attachments 3 and 4). The applicant has also submitted a detailed landscaping plan dated May 8, 2017, prepared by PMG Landscape Architects (See Attachment 5), along with an itemized landscaping cost estimate, and security deposit in the amount of \$181,545. The applicant has also submitted a grading and drainage plan dated February 22, 2017 prepared by McElhanney Consulting Services Ltd. which directs rainwater from impervious surfaces to an oil water separator before discharging it into the ocean (See Attachment 6).

This first phase of development at Schooner Cove is intended to reenergize the neighbourhood and reintroduce commercial services that had been discontinued some years ago. The provision of local commercial services is critical to implementation of the neighbourhood plan and the creation of a compact complete community. The scale and design mixed commercial use along with multi-residential dwellings is in keeping with the Official Community Plan vision and is supported by the Schooner Cove Neighbourhood Plan.

The buildings incorporate natural and non-combustible building materials in accordance with the development permit guidelines. Features such as bicycle racks, pedestrian pathways, and public access open space contribute to the creation of a well-defined public realm and encourage active transportation. With respect to general site design, the proposed development is consistent with the applicable DPA 1 Guidelines.

To satisfy DPA 2 Guidelines, the applicant has submitted a Marine Habitat Assessment Report dated May 2017 prepared by Archipelago Marine Research Ltd. The report indicates that no sensitive habitats were observed and the proposed marina gangway ramp locations are natural bedrock formations. The Assessment recommends shoreline intertidal zone and subtidal habitat enhancements on the subject

property. Development in accordance with the Marine Habitat Assessment Report has been included as a condition of approval (See Attachment 2 – Terms and Conditions of Permit).

To satisfy DPA 4 Guidelines, the applicant is proposing to include a number of approaches to promote energy and water conservation and the reduction of greenhouse gases including native drought-tolerant plant species, large balconies and other design features which provide shade. In addition, the proposed reuse of the existing building will eliminate a significant volume of construction waste, reduce construction traffic, and reduce the use of raw materials.

Building A – Design and Variances

The applicant is proposing to replace the roof and cladding and renovate Building A in its current location (see Attachment 3 and 4). A slight modification to the roof is proposed to add insulation. In order to satisfy the DPA 1 Guidelines, the applicant is adding dormers and other architectural features to break up the massing of the building and to add architectural interest. Given that the applicant is proposing to retain Building A and has made efforts to reduce the massing of the building and to add architectural detail, Building A is consistent with DPA 1 Guidelines.

The following variances to the height requirements of the CD45-MU and CD45-MA zones are required to recognize the height of the existing building within those zones and allow roof insulation to be added as outlined in Attachment 2.

- **Section 3.4.145.5 – Maximum Size of Buildings and Structures** to increase the height of a portion of Building A from 18.0 m geodetic to 20.1 m geodetic to recognize the existing structure and incorporate roof insulation.
- **Section 3.4.145.6 – Maximum Size of Buildings and Structures** to increase the height of a portion of Building A from 7.0 m geodetic elevation or 1 storey whichever is less to 16.32 m or 3 storeys, whichever is less to recognize a portion of the existing building which is encroaching into the CD45-MA zone.

Building A has been in its current location for many years and the proposed variances would increase the height of the existing building by approximately 30 cm, as such, it is not anticipated that the requested variances relating to Building A would have an impact on views from adjacent properties.

Building B – Design and Variances

Building B has been designed in a manner consistent with the DPA 1 Guidelines including the following:

- reduced overall building massing by setting it into the topography and stepping it along the south, east, and west elevations;
- articulation and architectural details which further reduce the building mass;
- authentic detailing and exterior finishes such as stone finishing at the building base;
- deep overhangs and covered balconies; and,
- a colour pallet of rich earthy tones.

This application has requested two variances that relate to Building B. The first is an increase in the maximum number of storeys permitted from five to six but not to increase the permitted height. Building B is located within Height Area E within the CD45-MU zone which permits a maximum height of

31.0 metres geodetic. Building B will have a maximum height of 30.8 metres geodetic, which complies with the maximum height permitted in the zone.

In considering this variance to the number of storeys, where there are sloping lots and underground parking is incorporated, the Schooner Cove Neighbourhood Plan permits two additional storeys. For the purpose of interpreting the CD45-MU zone, a storey must be above grade for it to be counted in the maximum number of storeys. The proposed development includes a complex building on a sloping lot with a maximum of six storeys and underground parking. While maintaining the overall permitted building height, the proposed six storey building would limit the overall footprint, would accommodate two additional levels of underground parking, and would help minimize impervious surfaces. The proposed increase to the number of storeys from five to six is consistent with the Schooner Cove Neighbourhood Plan and DPA Guidelines.

The second variance related to proposed Building B is for a roof overhang which is located approximately 18.0 metres above grade adjacent to Dolphin Drive. The proposed roof overhang is intended to help articulate the elevation along Dolphin Drive and is part of a series of similar features proposed for the building. As the proposed roof overhang is located below the highest ridge of the building no impacts on views from adjacent properties are anticipated.

The applicant proposes to vary the following regulations from the “Regional District of Nanaimo Land Use and Subdivision Bylaw No. 500, 1987” (as per the PDA) as outlined in Attachment 2:

- **Section 3.4.145.5 – Maximum Size of Buildings and Structures** to increase the maximum number of storeys permitted from 5 to 6 for Building B.
- **Section 3.4.145.5 – Minimum Setback Requirements** to reduce the minimum setback requirements for lot lines fronting a highway from 4.5 m to 3.0 m to permit an architectural roof overhang on proposed Building B which is approximately 6.9 m in width and is located approximately 18 m above grade adjacent to Dolphin Drive.

Parking – Design and Variance

In addition to the general site design features discussed above, in order to satisfy the DPA 1 Guidelines, the applicant is proposing that parking requirements for the proposed development are being satisfied through a combination of surface and two levels of underground parking. In addition, surface parking and loading areas include extensive landscaping and screening.

The parking requirements in the CD45-MA zone permit a minimum of 25% of the required parking for marina use to be located in the CD45-MU Zone. The remaining 75% of the marina parking may be provided on the lands zoned CD45-RMD (see Attachment 1 – Current Zoning). Parking for other uses must be located on the same site as the use which the parking accommodates. The off-site parking location is currently used as an informal parking area for vehicles and boat trailers.

Since a portion of the off-site parking area is temporary in nature and the balance of the off-site parking is subject to change pending the future design of development on that parcel, landscaping and security lighting on the off-street parking area was not addressed in this development permit application. The

applicant provided written confirmation of the commitment to address landscaping and security lighting of the of-site parking area through a subsequent development permit application.

To ensure that adequate parking is provided during the construction of Building B, a variance is required to allow off-site parking on a temporary basis. If approved, the proposed variance would allow parking to be located near the tennis courts on the parcel legally described as Lot 1, District Lot 78, Nanoose District, Plan 28544 generally as shown on Attachment 3 – Proposed Variances Page 2. This temporary off-site parking would be for up to 24 months following the issuance of this development permit with variance and would be secured through easement and covenant (see Attachment 2 – Terms and Conditions of Permit). The proposed parking improvements and parking variance represent an overall improvement over existing conditions as it would help to formalize this parking area.

The applicant proposes to vary the following regulations from the “Regional District of Nanaimo Land Use and Subdivision Bylaw No. 500, 1987” (as per the PDA) as follows and as outlined in Attachment 2:

- **Schedule 3B – Off-Street Parking and Loading Spaces Section 1.1 – Location** to permit temporary off-street parking on the parcel legally described as Lot 1, District Lot 78, Nanoose District, Plan 28544 for a duration not to exceed 24 months from the date of issuance of this development permit to satisfy the parking requirements for Building A.

Board Policy B1.5 "Development Variance Permit, Development Permit with Variance & Floodplain Application Evaluation

Board Policy B1.5 for the evaluation of variance applications requires that there is an adequate demonstration of an acceptable land use justification prior to the Board's consideration of a variance proposal. Staff have reviewed the applicant's requested variances in consideration of Board Policy B1.5 and are of the opinion that an acceptable land use justification has been provided and the applicant has made reasonable efforts to reduce the extent of the variances requested.

Given that the applicant has satisfied Board Policy B1.5 guidelines, the proposal is consistent with the DPA Guidelines, and the requested variances are not anticipated to negatively impact adjacent properties, staff recommends that the requested development permit with variance application PL2016 -188 be approved subject to the conditions of approval in Attachment 2.

Phased Development Agreement and Amendment Agreement Implications

The existing PDA sets out the requirements for the provision and timing of amenities that are to be provided by the owner in conjunction with development of the Schooner Cove and Lakes District lands. The proposed PDA amendments are largely required as a result of the applicant's proposal to retain rather than to demolish Building A and to develop by simply constructing a new building and modifying an existing building rather than proceeding by subdivision as originally contemplated. The amendments require the provision of these public amenity improvements to within 18 months from the issuance of a building permit or subdivision, whichever occurs first within a phase. A summary of the proposed changes to the PDA is provided in Attachment 8.

Proposed amendments to the PDA have been prepared and are in the form of a PDA Amendment Agreement (See Attachment 13). The applicant is in concurrence with the proposed changes and has signed the proposed PDA Amendment Agreement.

In staff's assessment, the proposed changes to the PDA would result in an equivalent overall community amenity package as compared to the original agreement. It is also anticipated that the proposed PDA amendments would result in some amenity improvements relative to the original agreement including the retention of a publicly accessible boat ramp and a floating walkway with ample opportunity to interact with the marine environment. Therefore, staff recommends that the Board approve the proposed PDA Amendment Agreement included as Attachment 13.

The PDA includes a number of amenities and requirements in conjunction with Phase 1Sc which generally include the construction of the first segment of the waterfront boardwalk/pathway, the construction of an upgraded road standard for Dolphin Drive fronting Phase 1Sc lands (subject to MOTI approval – see Attachment 7), a multi-use pathway adjacent to Dolphin Drive from Outrigger Road to Schooner Road (subject to MOTI approval), a location for a future transit shelter. As per the PDA the owner is required to pay for bus shelter once transit service is established, public art and interpretive signage, and publicly accessible open space and pathways. With regard to road improvements, the applicant is proposing to upgrade approximately 261 metres of Dolphin Drive generally fronting the subject property to include resurfacing, concrete curb and gutter and a boulevard planted with grass. The applicant is also proposing to construct approximately 343 metres of the 3.0 metres wide multi-use pathway extending from Outrigger Road to Schooner Road which is also anticipated in the PDA (see Attachments 3 and 7 for proposed road and multi-use trail improvements).

Procedural Implications

The proposed PDA amendments are considered “minor amendments” in accordance with Section 519 of the *Local Government Act* and paragraph 61 of the PDA. Should the Board wish to approve the proposed PDA Amendment Agreement, it would do so through an authorizing resolution.

To ensure that the proposed development is consistent with the requirements of the PDA, it is recommended that the Board consider the PDA Amendment Agreement prior to its consideration of development permit with variance application PL2016-188. Should the Board wish to deny the proposed PDA Amendment Agreement, it is recommended that the Board refer the development permit with variance application and PDA Amendment Agreement back to staff with direction.

Intergovernmental Implications

The application was referred to Snaw-Naw-As First Nation, Ministry of Transportation and Infrastructure (MOTI), and the Nanoose Volunteer Fire Department (NVFD). The NVFD indicated that it was satisfied with the proposed site plan and fire protection measures.

Representatives of the RDN met with the Snaw-Naw-As First Nation Chief and members of their Council on May 8, 2017 to discuss the proposed development. Although no written submissions have been received in response to the written referral, four concerns related to marina operation and development of the land were identified including the impact of Styrofoam on the marine environment, a spill containment plan and identifying the location of the marina fuel tanks, archaeological monitoring during the development process, and access to Crown lands. In response to the above concerns, the applicant has agreed to have Snaw-Naw-As First Nation members on site during the initial archaeological investigation and during excavation for proposed Building B. The applicant has advised that they will

work directly with Snaw-Naw-As First Nation to address the issues raised that relate to operation of the marina.

The MOTI provided referral comments on June 20, 2017 which indicate that a commercial access permit, a setback permit, and a permit for works within the road right-of-way are required (see Attachment 9). The MOTI indicated that it will not assume responsibility for the proposed multi-use pathway which is inconsistent with the commitments made by MOTI as outlined in a letter received by the RDN from Minister Stone dated August 28, 2013 (See Attachment 10). Minister Stone's letter indicates that MOTI would assume responsibility for both existing and new sidewalks in Schooner Cove and the Lakes District. In response to MOTI's comments of June 20th 2017, staff recommends that the Board direct staff to prepare a letter to MOTI advising that it is the RDN's expectation that MOTI will retain responsibility for sidewalks in the Lakes District and Schooner Cove as per Minister Stone's commitment of August 28, 2013.

In recognition of the recent change to MOTI's position with respect to maintenance of the multi-use pathway, and in order to move this application forward in a timely manner, staff have included provisions in the proposed PDA amendment agreement that will ensure responsibility for sidewalks is addressed before development can proceed (see Attachment 8 – Summary of PDA Amendments). To address the maintenance of the multi-use pathway, the proposed PDA amendment would require the owner to petition the RDN to establish a Local Service Area if MOTI does not follow through with Minister Stone's commitment for MOTI to take responsibility for sidewalks.

The MOTI also provided comments related to future off-site road improvements in relation to both Schooner Cove and the Lakes District. The Ministry will require roads internal to the development and off-site improvements to roads and intersections as subdivision and development of the lands occur and based on an analysis of the traffic demands resulting from development. The developer will be providing improvements to Dolphin Drive in proximity of the development anticipated in the PDA which are beyond the standards required by MOTI. As per the PDA, the developer will address any additional off-site improvements as required by MOTI through the commercial access permit for this phase of development.

Public Consultation Implications

A Public Information Meeting (PIM) hosted by the RDN was held on May 30, 2017. Approximately 200 members of the public attended and two written submission were received at the PIM (see Attachment 12 – Minutes of the Public Information Meeting). A number of concerns were raised at the PIM including impacts on traffic and road safety, impacts on views from adjacent properties, height of building B, loss of village feel, and the impacts of construction traffic.

As per the PDA and in response to the concerns raised in relation to construction traffic, the applicant has provided a Construction Traffic Management Plan (CTMP) (see Attachment 11) as part of the Construction Environmental Management Plan (CEMP). The recommendations contained in the CTMP address a number of road safety items including construction parking, site access, traffic control, hours of work, and construction signage and fencing. The PDA requires that the CEMP be registered on title as a Section 219 covenant prior to subdivision, or the issuance of a building permit, whichever occurs first.

Pending the Electoral Area Services Committee’s recommendation and pursuant to the *Local Government Act* and the “Regional District of Nanaimo Development Approvals and Notification Procedures Bylaw No. 1432, 2005”, property owners and tenants of parcels located within a 50.0 metre radius of the subject property will receive a direct notice of the proposal and will have an opportunity to comment on the proposed variances prior to the Board’s consideration of the application on July 25th, 2017.

ALTERNATIVES

1. To approve Development Permit with Variance No. PL2016-188 and the Phased Development Agreement Amendment Agreement subject to the terms and conditions outlined in Attachments 2 to 7.
2. To deny Development Permit with Variance No. PL2016-188 and the Phased Development Agreement Amendment Agreement.

FINANCIAL IMPLICATIONS

Although there are no financial implications related to the Financial Plan, it should be noted that the RDN Planning Service Fees Charges Bylaw does not include any fees related to amending or drafting a PDA. Considerable staff time and resources were required in order to process this PDA amendment and amendments to the Bylaw are required to reflect the resource allocation where Phased Development Agreements accompany OCP, zoning amendment applications or Development Variance Permits. In the fall, staff will prepare a report outlining required amendments to “Regional District of Nanaimo Planning Service Fees and Charges Bylaw No. 1259, 2002” by adding fees relating to PDA amendments and the creation of new PDAs.

The owner will be responsible for maintaining the boat ramp, floating walkway, and publicly accessible open space and pathways. If MOTI maintains its position with respect to maintenance of the multi-use pathway as per its June 20, 2017 comments, a Local Service Area (LSA) will be established for the multi-use pathway and all costs will be covered by the participants of the LSA. In addition, it is envisioned by the Memorandum of Understanding between the RDN and the owner of the lands subject to the PDA dated July 23, 2014 that LSAs would be established or extended to provide for the operation and maintenance of street lighting and other behind the curb improvements. This may also extend to the public art and interpretive signage.

STRATEGIC PLAN IMPLICATIONS

Staff have reviewed the proposed development and note that the proposal will contribute towards the RDN Strategic Priorities by fostering economic development, supporting an aging population by designing adaptive housing units, and helping to support active transportation through transit infrastructure and walking and cycling improvements. The proposal will also contribute towards an enhancement of the marine environment through mitigation efforts proposed as part of this application.



Greg Keller
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July 05, 2017

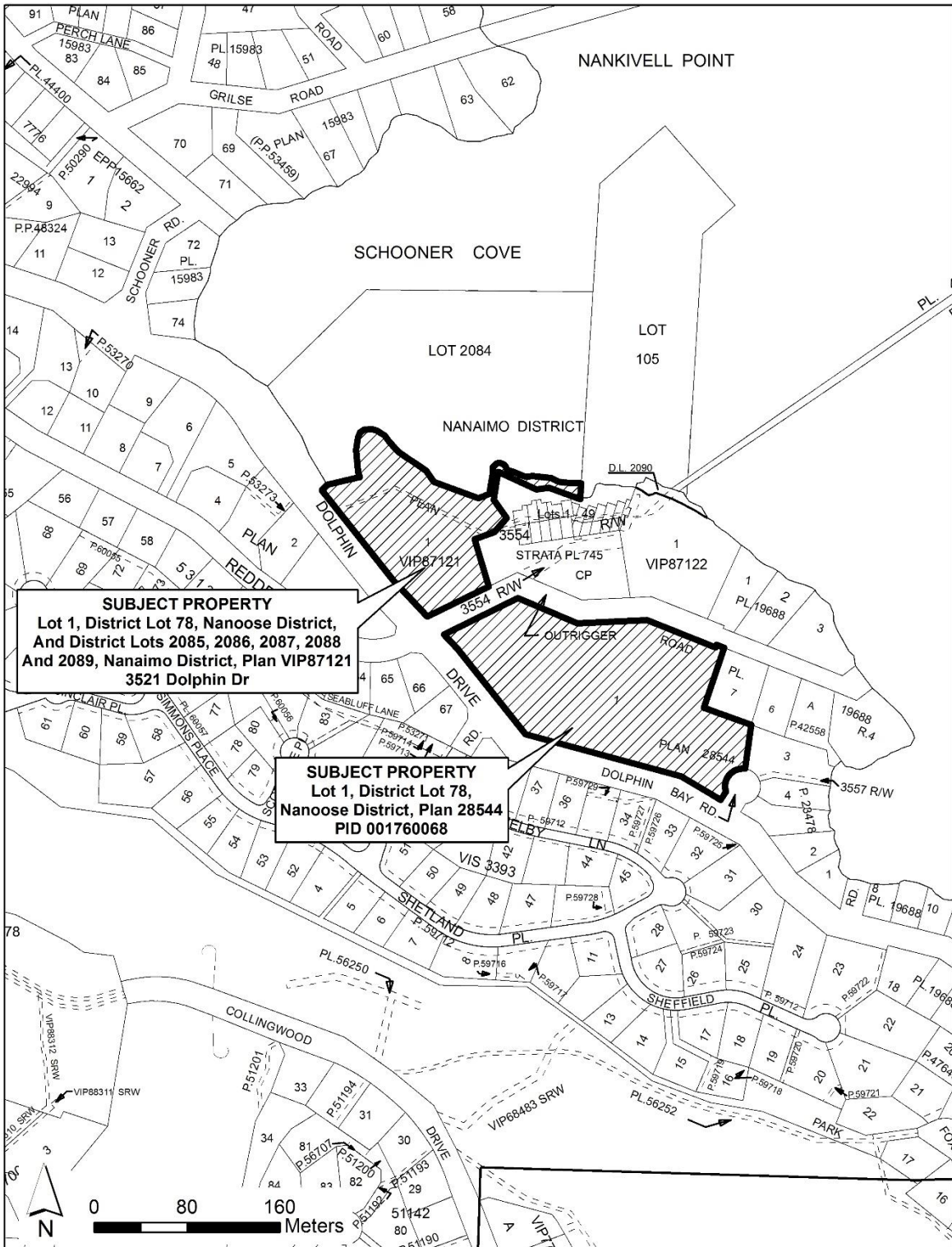
Reviewed by:

- J. Holm, Manager, Current Planning
- G. Garbutt, General Manager, Strategic & Community Development
- P. Carlyle, Chief Administrative Officer

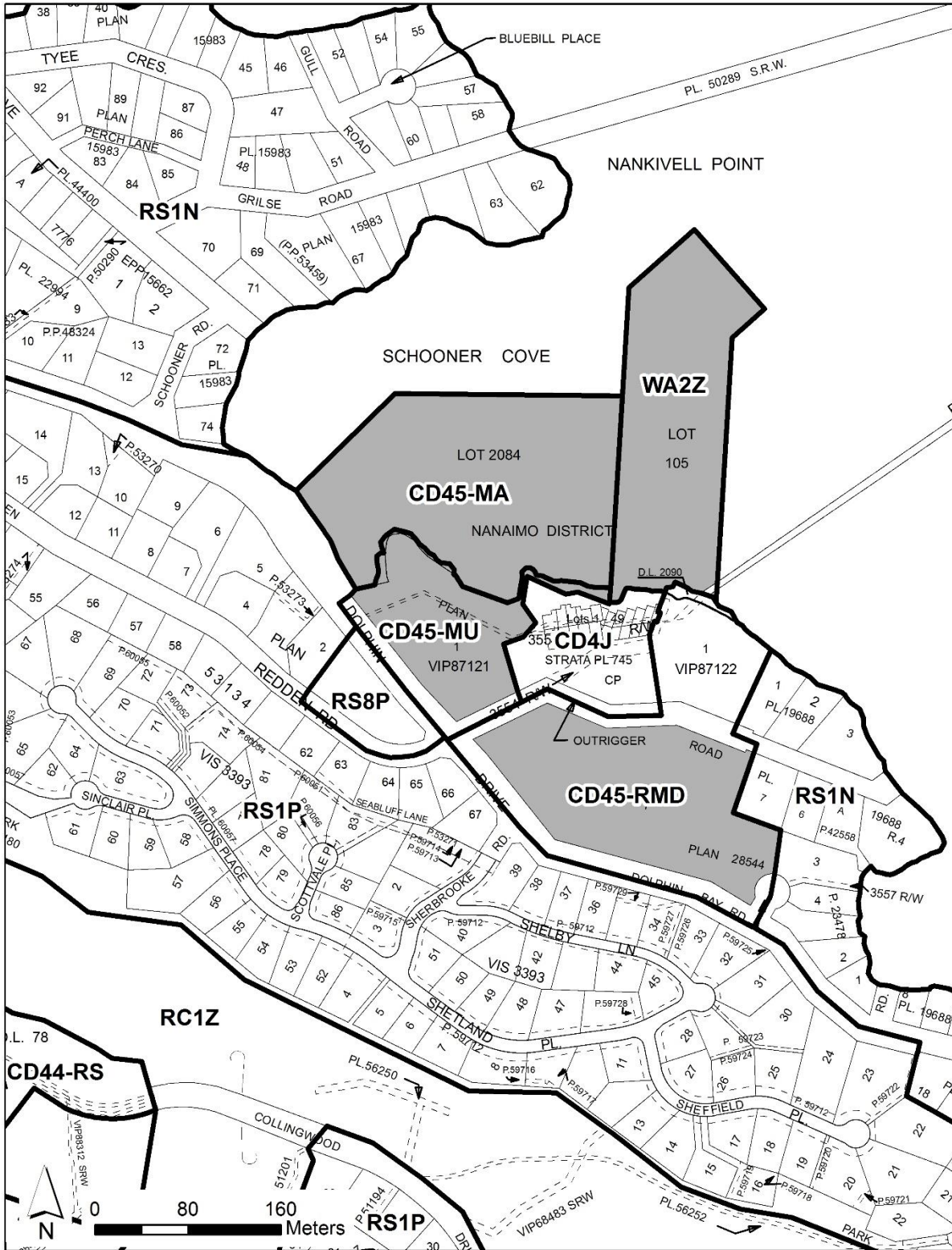
Attachments

1. Subject Property Map
2. Terms and Conditions of Permit
3. Proposed Site Plan and Variances
4. Building Elevations and Plans
5. Proposed Landscaping Plans
6. Grading and Drainage Plan
7. Proposed Dolphin Drive and Multi-Use Pathway General Design
8. Summary of PDA Amendments
9. MOTI Comments – June 20, 2017
10. Minister Stone's Letter – August 28, 2013
11. Construction Traffic Management Plan
12. Minutes of the Public Information Meeting Held on May 30, 2017
13. Draft PDA Amendment Agreement

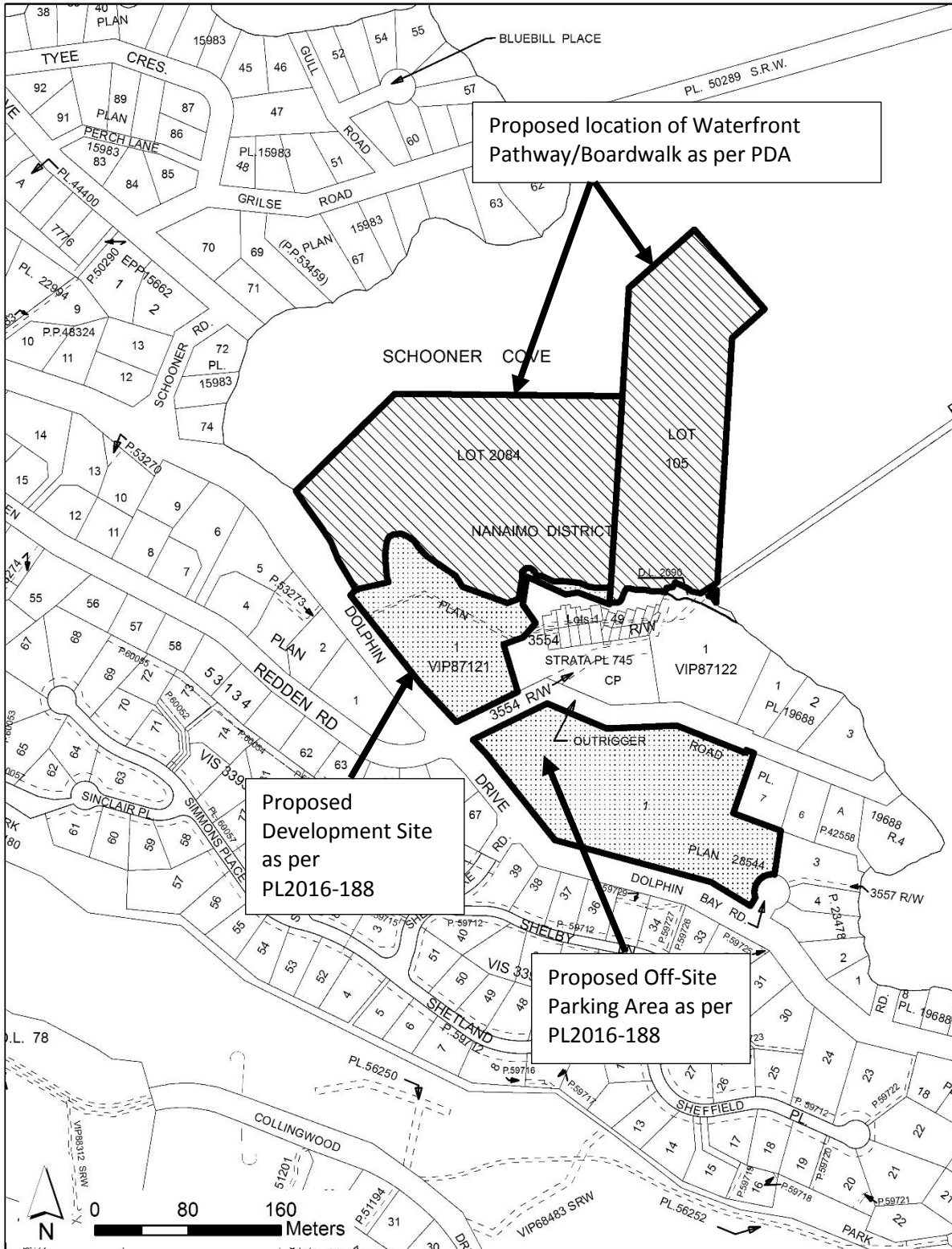
Attachment 1 (Page 1 of 3)
Subject Property Map



Attachment 1 (Page 2 of 3)
Subject Property Map – Current Zoning



Attachment 1 (Page 3 of 3)
Subject Property Map – Proposed Development Context



Attachment 2 Terms and Conditions of Permit

The following sets out the terms and conditions of Development Permit with Variance No. PL2016-188:

Bylaw No. 500, 1987 Variances

With respect to the lands, “Regional District of Nanaimo Land Use and Subdivision Bylaw No. 500, 1987” (as per the PDA) is varied as follows:

- **Section 3.4.145.5 – Maximum Size of Buildings and Structures** to increase the height of a portion of Building A from 18.0 m geodetic to 20.1 m geodetic to recognize the existing structure and incorporate roof insulation.
- **Section 3.4.145.6 – Maximum Size of Buildings and Structures** to increase the height of a portion of Building A from 7.0 m geodetic elevation or 1 storey whichever is less to 16.32 m or 3 storeys, whichever is less to recognize a portion of the existing building which extends into the CD45-MA zone.
- **Section 3.4.145.5 – Maximum Size of Buildings and Structures** to increase the maximum number of storeys permitted from 5 to 6 for Building B.
- **Section 3.4.145.5 – Minimum Setback Requirements** to reduce the minimum setback requirements for lot lines fronting a highway from 4.5 m to 3.0 m to permit an architectural roof overhang on proposed Building B which is approximately 6.9 m in width and is located approximately 18.0 m above grade adjacent to Dolphin Drive.
- **Schedule 3B – Off-Street Parking and Loading Spaces Section 1.1 – Location** to permit temporary off-street parking on the parcel legally described as Lot 1, District Lot 78, Nanoose District, Plan 28544 for a duration not to exceed 24 months from the date of issuance of this development permit to satisfy the parking requirements for Building A.

Conditions of Approval

1. Staff shall withhold the issuance of this Permit until the applicant, at the applicant’s expense and to the satisfaction of the Regional District of Nanaimo, registers an easement and Section 219 Covenant in favour of Lot 1, District Lot 78, Nanoose District and District Lots 2085, 2086, 2087, and 2089, Nanaimo District Plan VIP 87121 which includes the following:
 - a. A requirement that Building A cannot be used for any purpose until the following have been completed to the satisfaction of the Regional District of Nanaimo:
 - i. Parking has been constructed for the uses contained in Building A on site in the location approved by Development Permit with Variance PL2016-188 in accordance with the minimum required number and standards set out in Bylaw 500 or,

- ii. Off-site parking has been constructed in the general location approved by Development Permit with Variance PL2016-188 and in accordance with the minimum required number and standards set out in Bylaw 500.
 - b. A requirement that, in the event that Building B is not constructed within 24 months from the date of issuance of Development Permit with Variance PL2016-188, that parking be constructed on-site in the general location approved by Development Permit with Variance PL2016-188 and in accordance with the minimum required number and standards set out in Bylaw 500.
 - c. If on-site parking is constructed as required in (b) above, landscaping of the parking area shall be required in accordance with Attachment 5. If landscaping is not consistent with Attachment 5, a new Development Permit would be required for that portion.
 - d. To allow the easement and covenant to be discharged once the parking requirements have been satisfied on Lot 1, District Lot 78, Nanoose District and District Lots 2085, 2086, 2087, and 2089, Nanaimo District Plan VIP 87121 to the satisfaction of the Regional District of Nanaimo.
2. The site is developed in accordance with the Site Plan prepared by Collabor8 Architecture and Design, dated June 21, 2017 and attached as Attachment 3.
 3. The proposed development is in compliance with the plans and elevations prepared by Collabor8 Architecture and Design, dated June 21, 2017 and attached as Attachments 3 and 4.
 4. The proposed development shall be developed in accordance with the plans and specifications included in Attachments 3 to 7.
 5. The proposed landscaping shall be provided and maintained in accordance with the Landscaping Plan prepared by PMG Landscape Architects, dated December 21, 2016 and attached as Attachment 5.
 6. The applicant shall provide a landscaping security in the amount of \$181,545 to be held until all of the landscaping works as required by Attachment 5 have been completed to the satisfaction of the RDN. Upon completion, a one-year written guarantee from a landscape contractor shall be required, otherwise 25% of the landscaping cost will be retained to ensure proper maintenance for a one year period.
 7. All parking to be provided in accordance with Bylaw 500 (as per the PDA), except where varied by this permit.
 8. The subject property shall be developed in accordance with the recommendations contained in the Geotechnical Engineer's report dated April 28, 2017 prepared by RJC Engineers.
 9. The subject property shall be developed in accordance with the recommendations contained in the Marine Habitat Assessment Report dated May 2017 prepared by Arhipelago Marine Research Ltd. Once the mitigation work has been completed, a confirmation letter from a qualified Marine

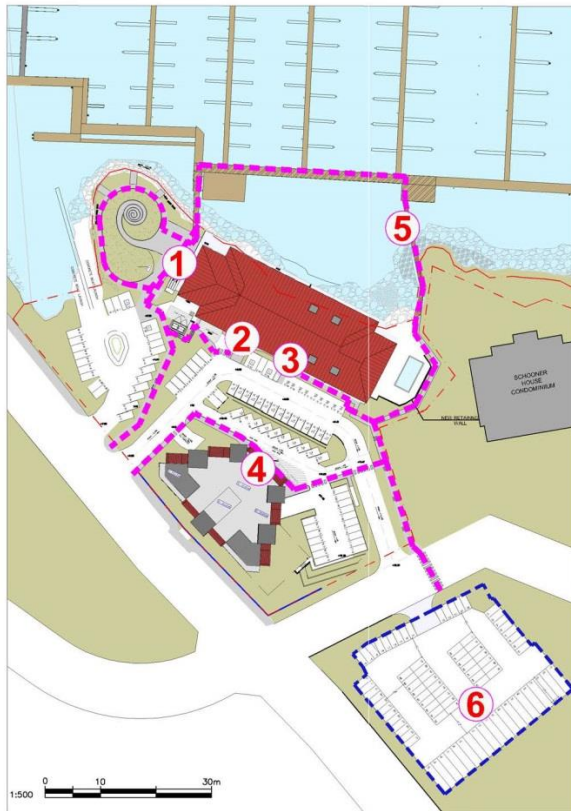
Biologist shall be required to certify that the mitigation work has been completed in accordance with the report.

10. The property owner shall obtain the necessary permits for construction in accordance with the Regional District of Nanaimo Building Regulations.
11. The property owner shall develop the property in substantial compliance with “Regional District of Nanaimo Phased Development Agreement (Lakes District and Schooner Cove) Authorization Bylaw No. 1692, 2013” as amended.
12. The owner shall secure the necessary approvals including a setback relaxation, permit for works within a road right-of-way, and a commercial access permit from the Ministry of Transportation and Infrastructure.

Attachment 3
Proposed Site Plan – Enlarged for Convenience (page 2 of 3)



SITE LOCATION



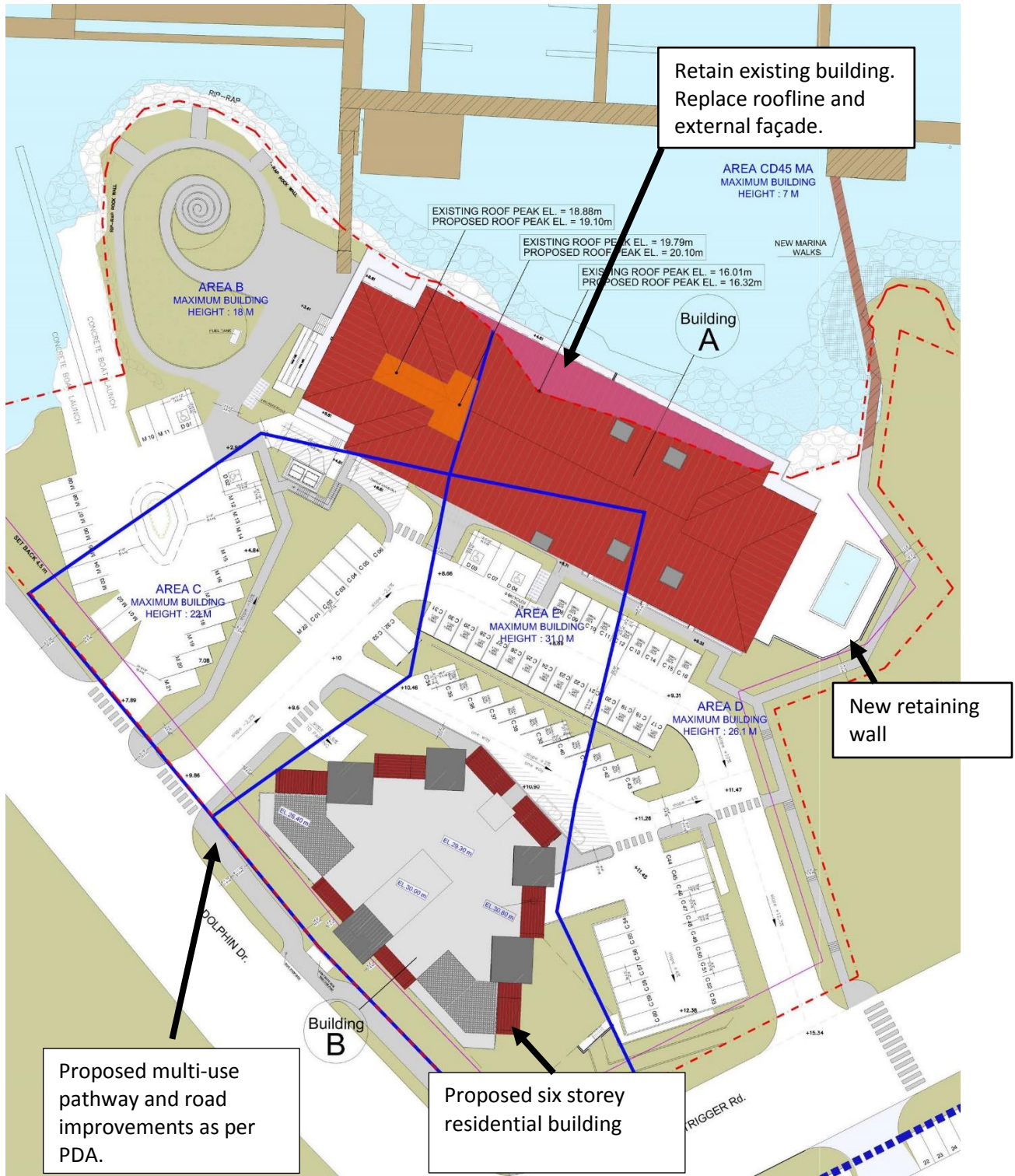
NEW PEDESTRIAN WALK

LEGEND

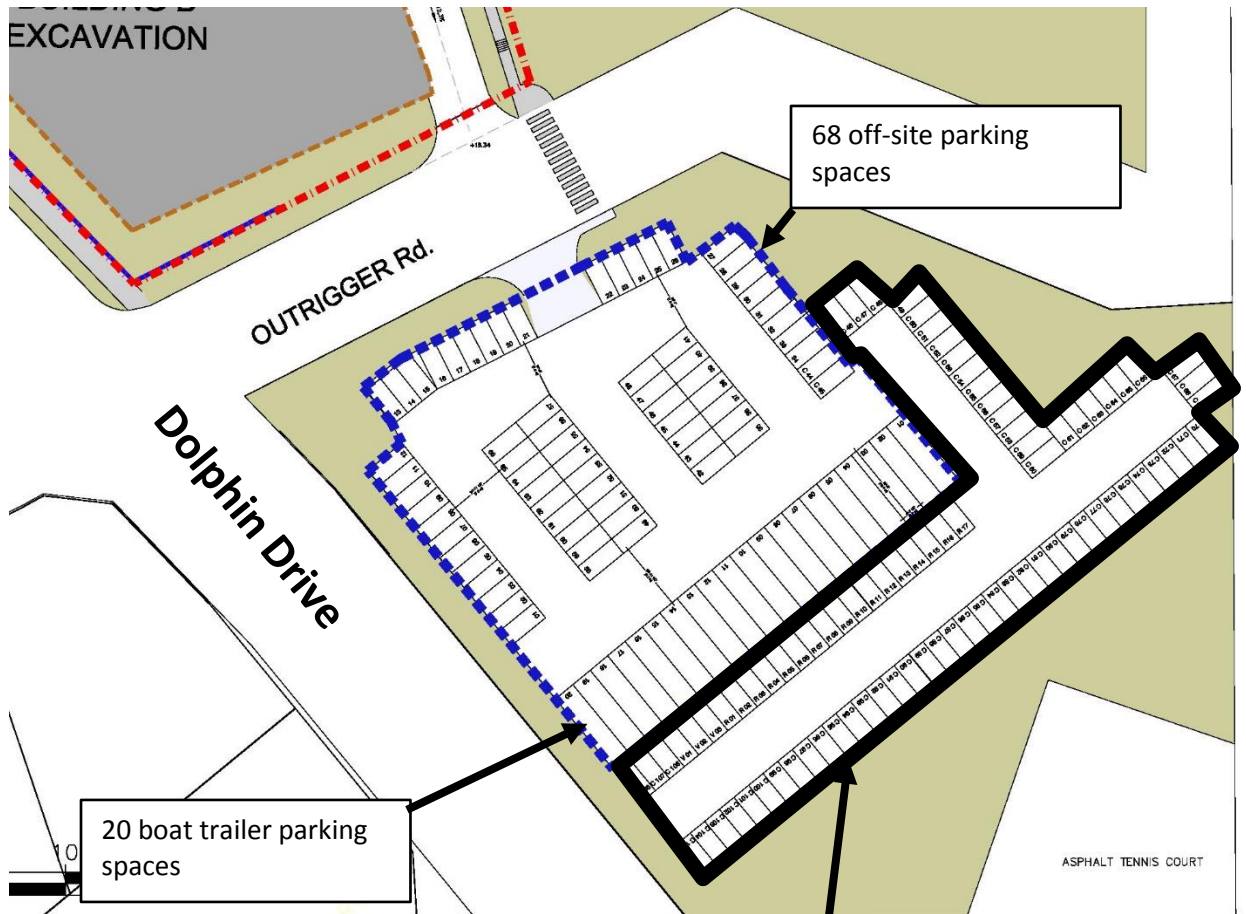
-  NEW PEDESTRIAN WALK
- 1 - GROCERY SHOP
COFFEE SHOP ENTRANCE
- 2 - PUB/RESTAURANT ENTRANCE
- 3 - RESIDENTIAL ENTRANCE
- 4 - NEW CONDOMINIUM ENTRANCE
- 5 - NEW PEDESTRIAN WALK
ON MARINA GANGWAY
-  6 - n.86 STALLS
 - n.66 MARINA'S PARKING STALLS
LOCATED OUTSIDE THE SITE
 - n.20 BOATTRAILER STALLS

All parking to comply with Section 3.4.145 (5)
and Schedule 3B of Bylaw 500

Attachment 3
Proposed Site Plan – Enlarged for Convenience (page 3 of 3)

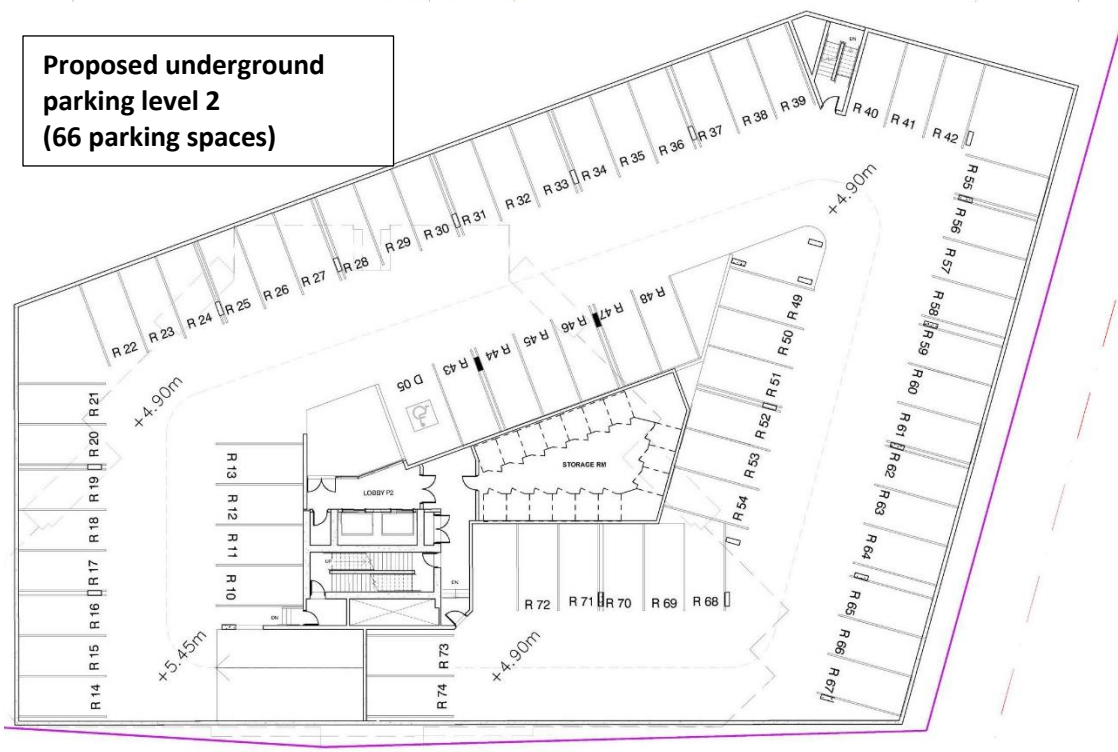
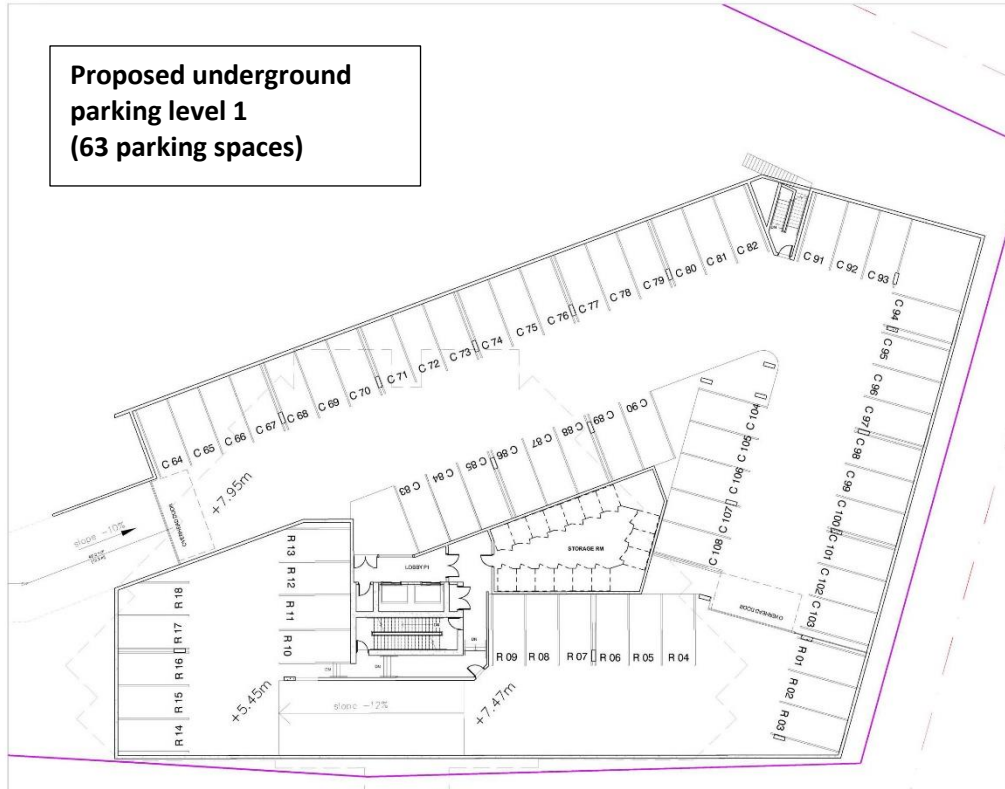


Attachment 3
Proposed Variances (Page 2 of 2)

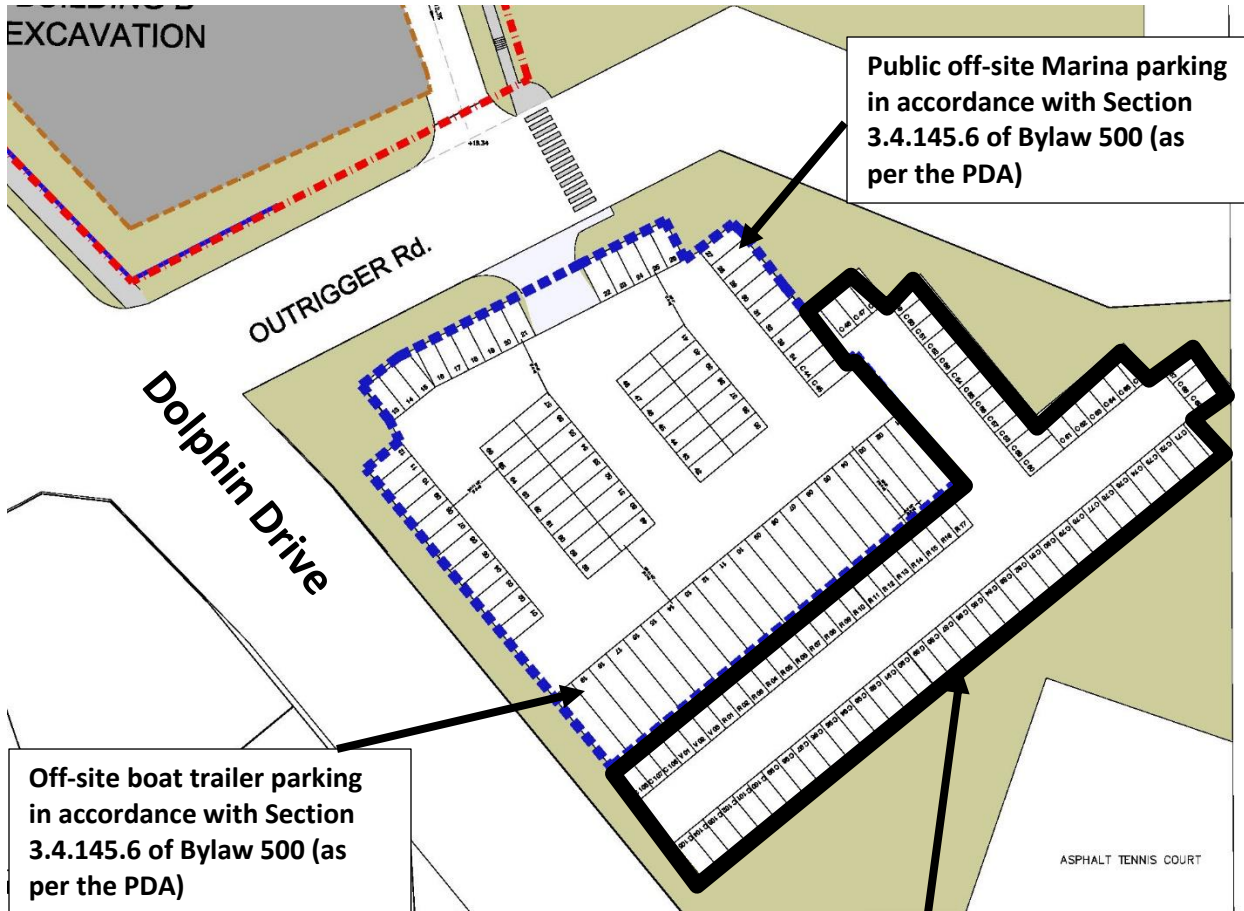


Proposed variance to permit 83 temporary off-street parking spaces on the parcel legally described as LOT 1, DISTRICT LOT 78, NANOOSE DISTRICT, PLAN 28544 for a duration not to exceed 24 months from the date of issuance of this development permit to satisfy the parking requirements for Building A.

Attachment 3
Proposed Parking Areas (page 2 of 4)
Proposed Underground Parking Facility beneath Building B



Attachment 3
Proposed Parking Areas (page 3 of 4)
Proposed Off-Site Parking



Attachment 4
Building Elevations – Building A (page 1 of 3)



Attachment 4
Building Elevations – Building A (page 2 of 3)



North Elevation

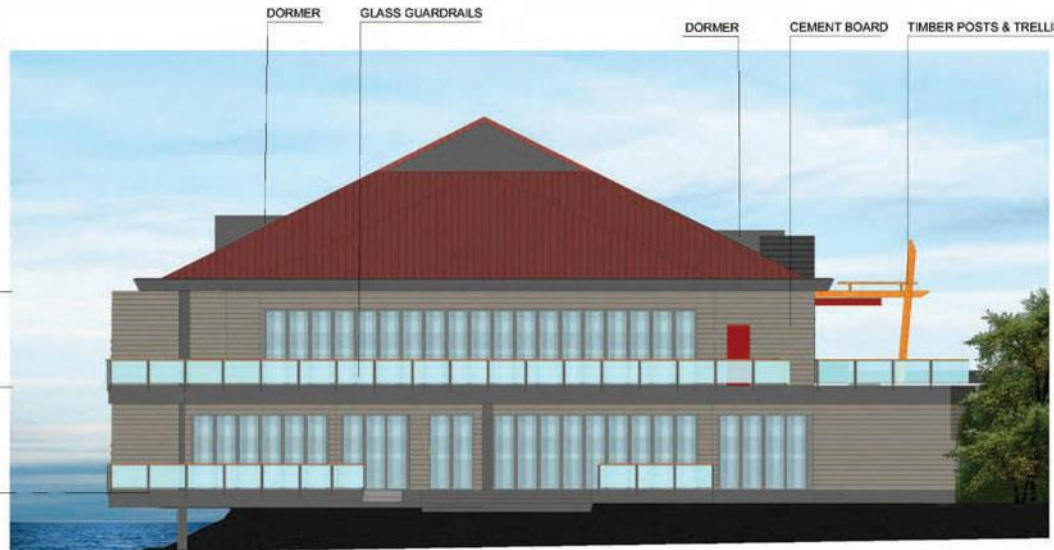


South Elevation

Attachment 4
Building Elevations – Building A (page 3 of 3)



East Elevation



West Elevation

Materials Palette



WOOD



ROOFING METAL
STANDING SEAM RED



FIBER CEMENT
LIGHT GREY



FIBER CEMENT
DARK GREY

Attachment 4
Building Elevations – Building B (page 1 of 5)



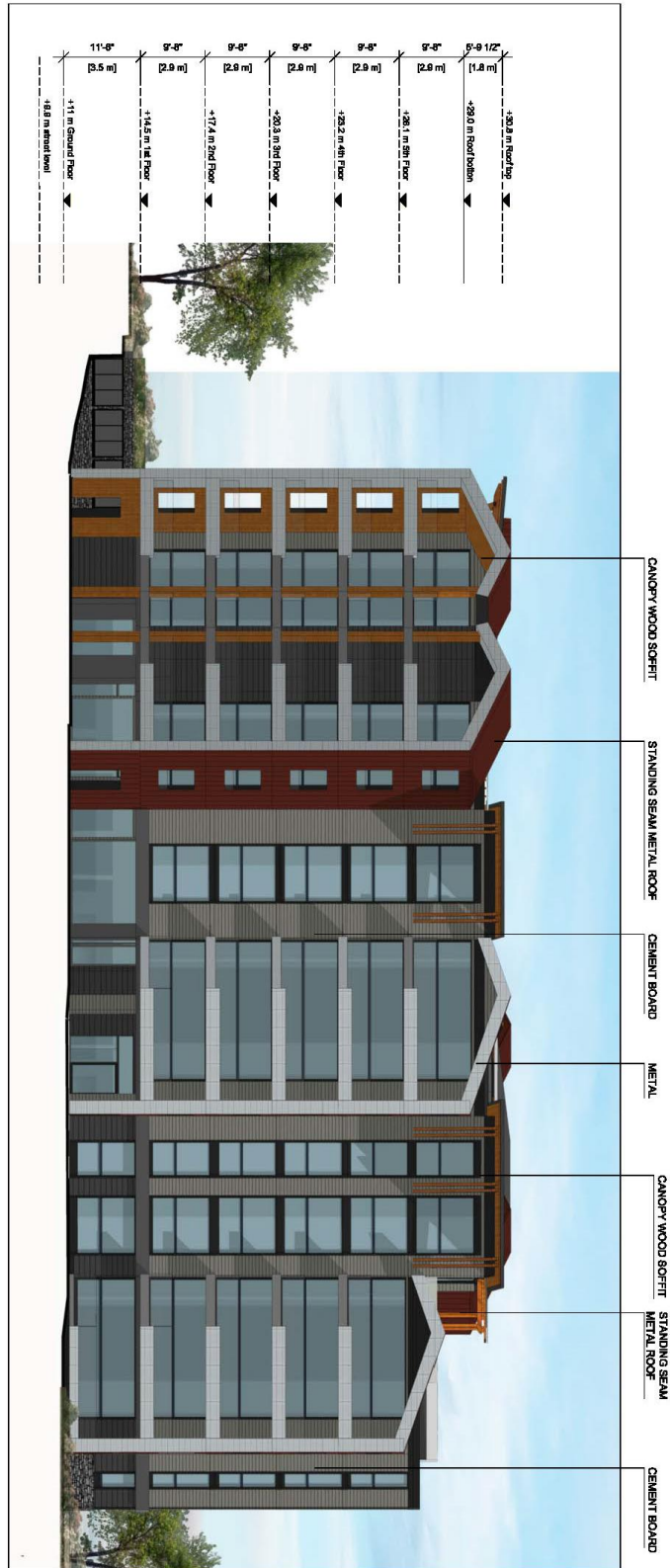
Attachment 4
Building Elevations Enlarged for Convenience – South West Elevation Building B (page 2 of 5)



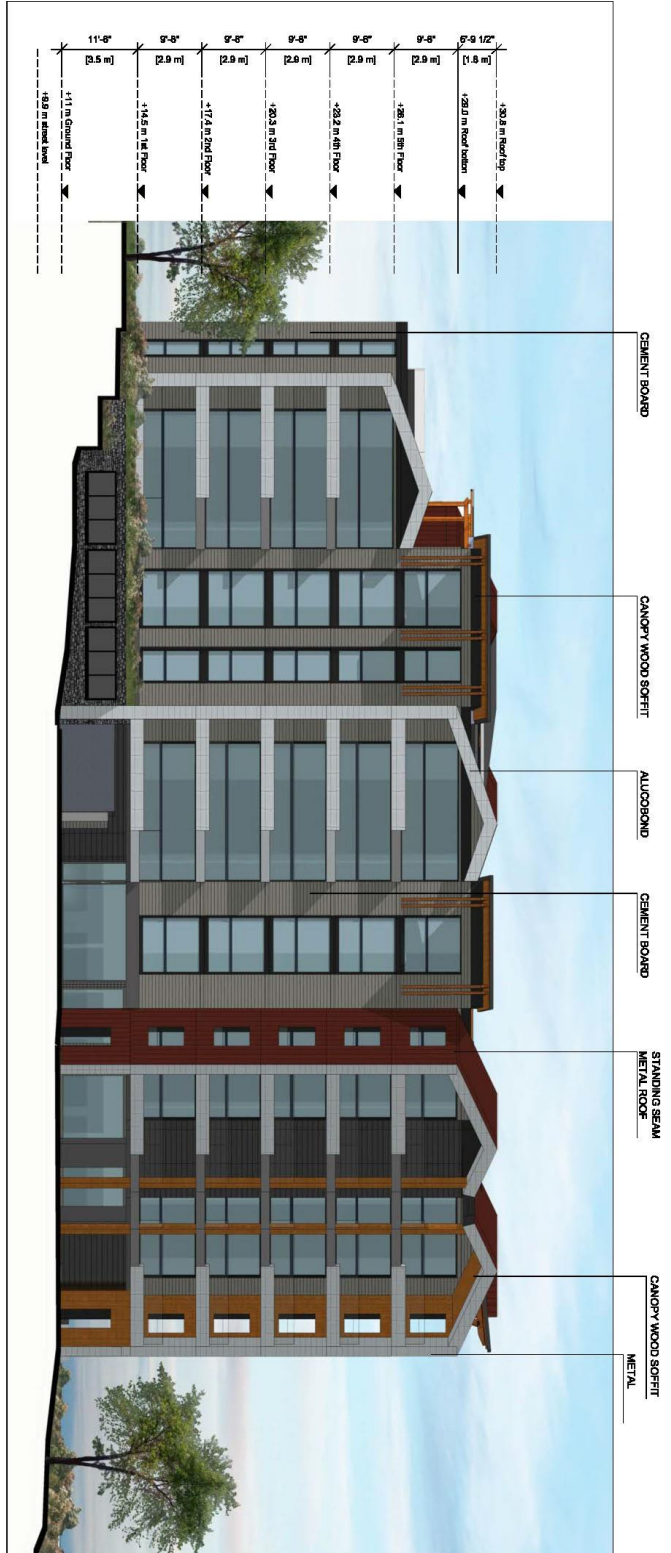
Attachment 4
Building Elevations Enlarged for Convenience – North East Elevation Building B (page 3 of 5)



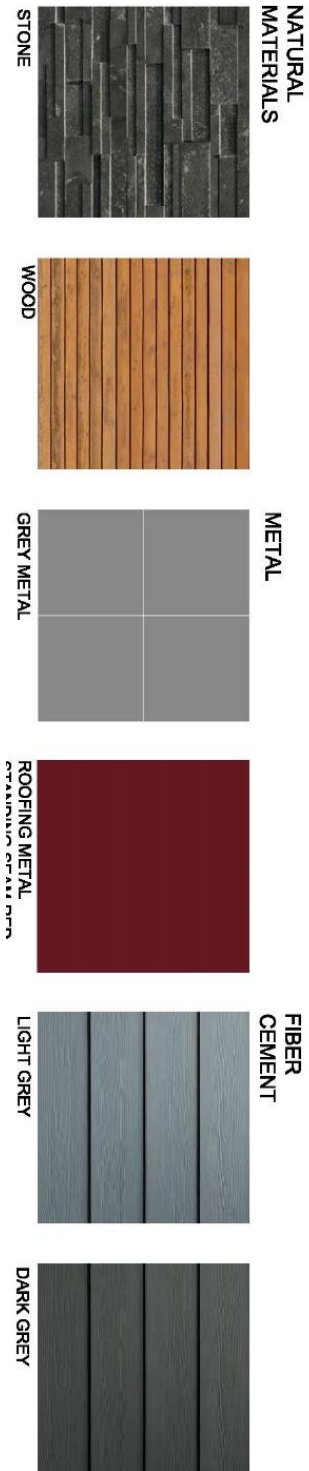
Attachment 4
Building Elevations Enlarged for Convenience – West Elevation Building B (page 4 of 5)



Attachment 4
Building Elevations Enlarged for Convenience – East Elevation Building B (page 5 of 5)




Materials Palette



Attachment 4
South East View of Proposed Buildings A and B

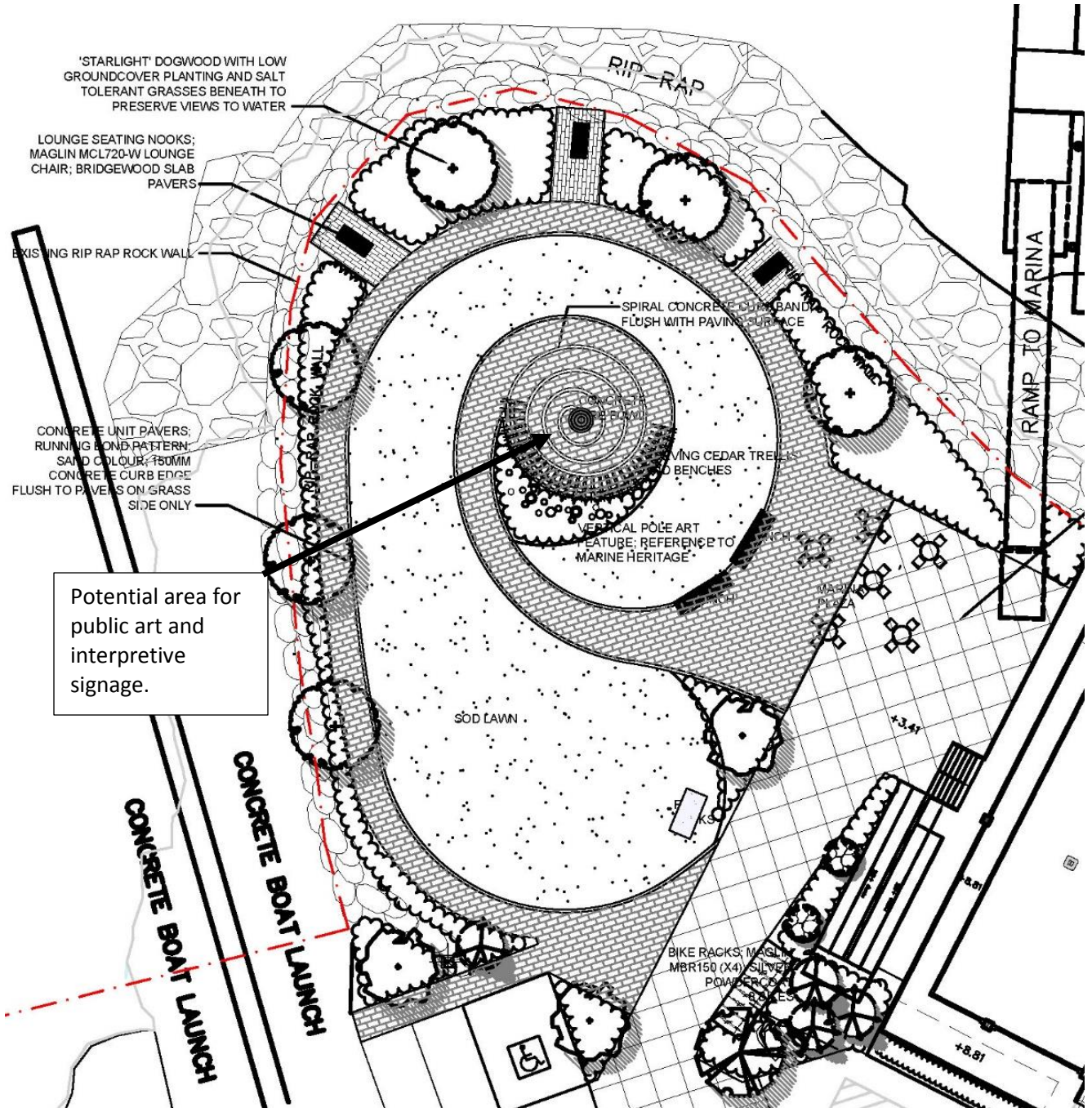


Attachment 5
Proposed Landscaping Plan (page 2 of 6) – Tree Schedule

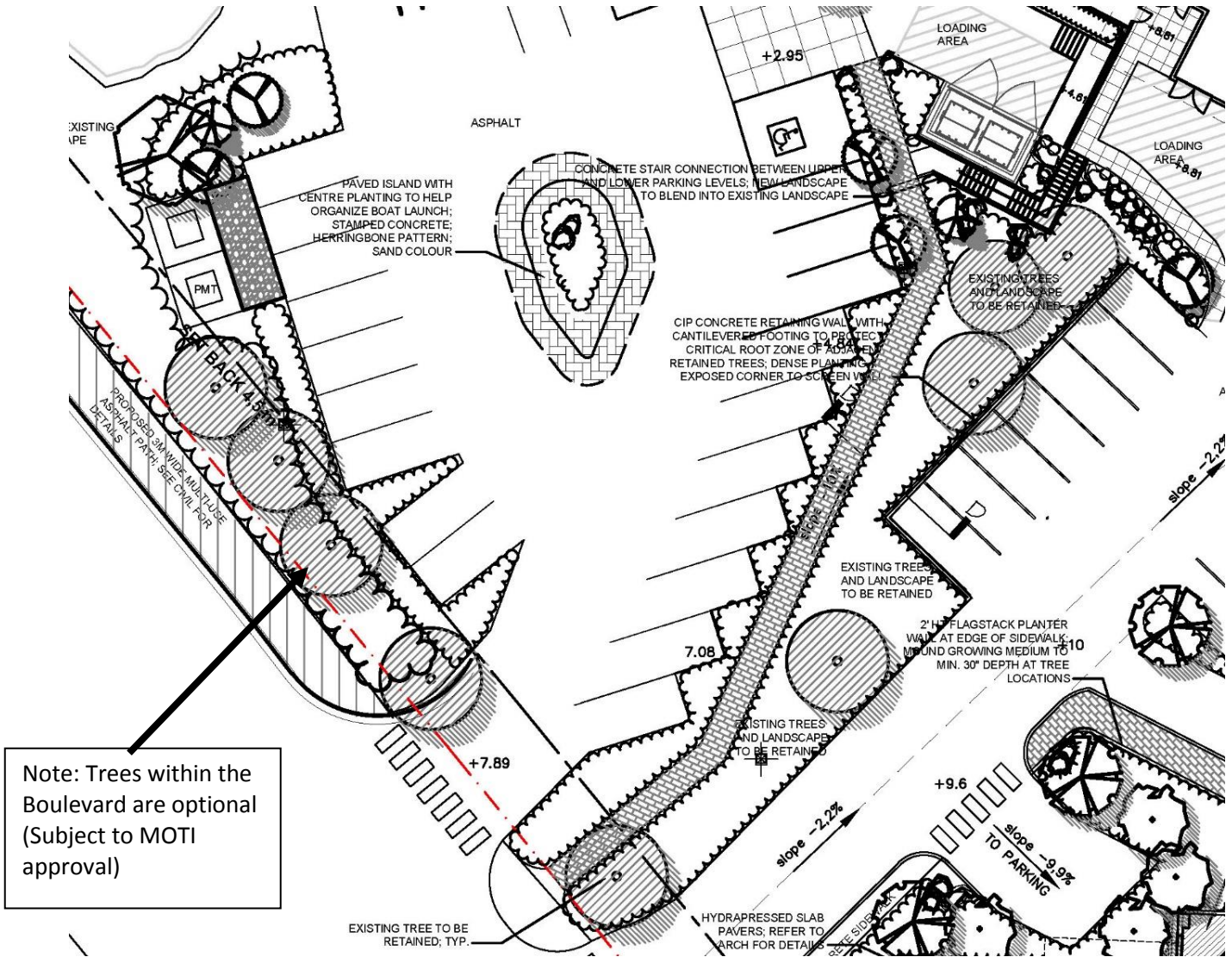
TREE SCHEDULE			
KEY	QTY	BOTANICAL NAME	COMMON NAME
		PLANTED SIZE / REMARKS	
PMG PROJECT NUMBER: 16-205			
			
16		ACER CIRCINATUM	VINE MAPLE
15		ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE
18		AMELANCHIER x GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY
16		CORNUS KOUSA X NUTTALLI 'STARLIGHT'	STARLIGHT HYBRID DOGWOOD
11		LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	SLENDER SILHOUETTE SWEETGUM
13		PARROTIA PERSICA 'RUBY VASE'	RUBY VASE PERSIAN IRONWOOD
33		PICEA OMORIKA	SERBIAN SPRUCE
5		QUERCUS PALUSTRIS 'CROWN RIGHT'	CROWN RIGHT PIN OAK
9		STREET TREES	BY CITY

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED CANADIAN LANDSCAPE STANDARDS LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY

Attachment 5
Proposed Landscaping Plan (page 3 of 6) – North West Portion Enlarged for Convenience



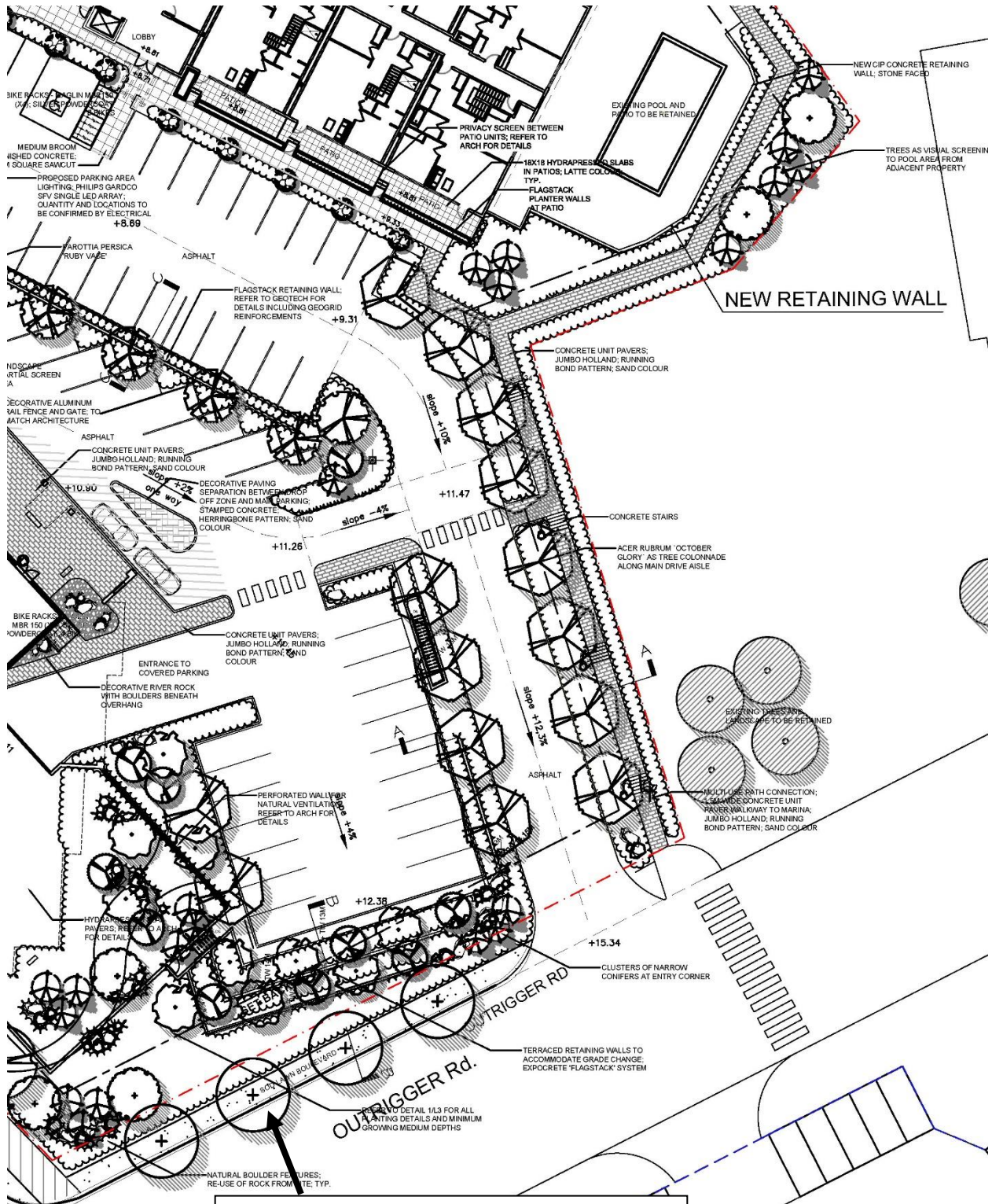
Attachment 5
Proposed Landscaping Plan (page 4 of 6) South West Portion Enlarged for Convenience



IRRIGATION NOTE:

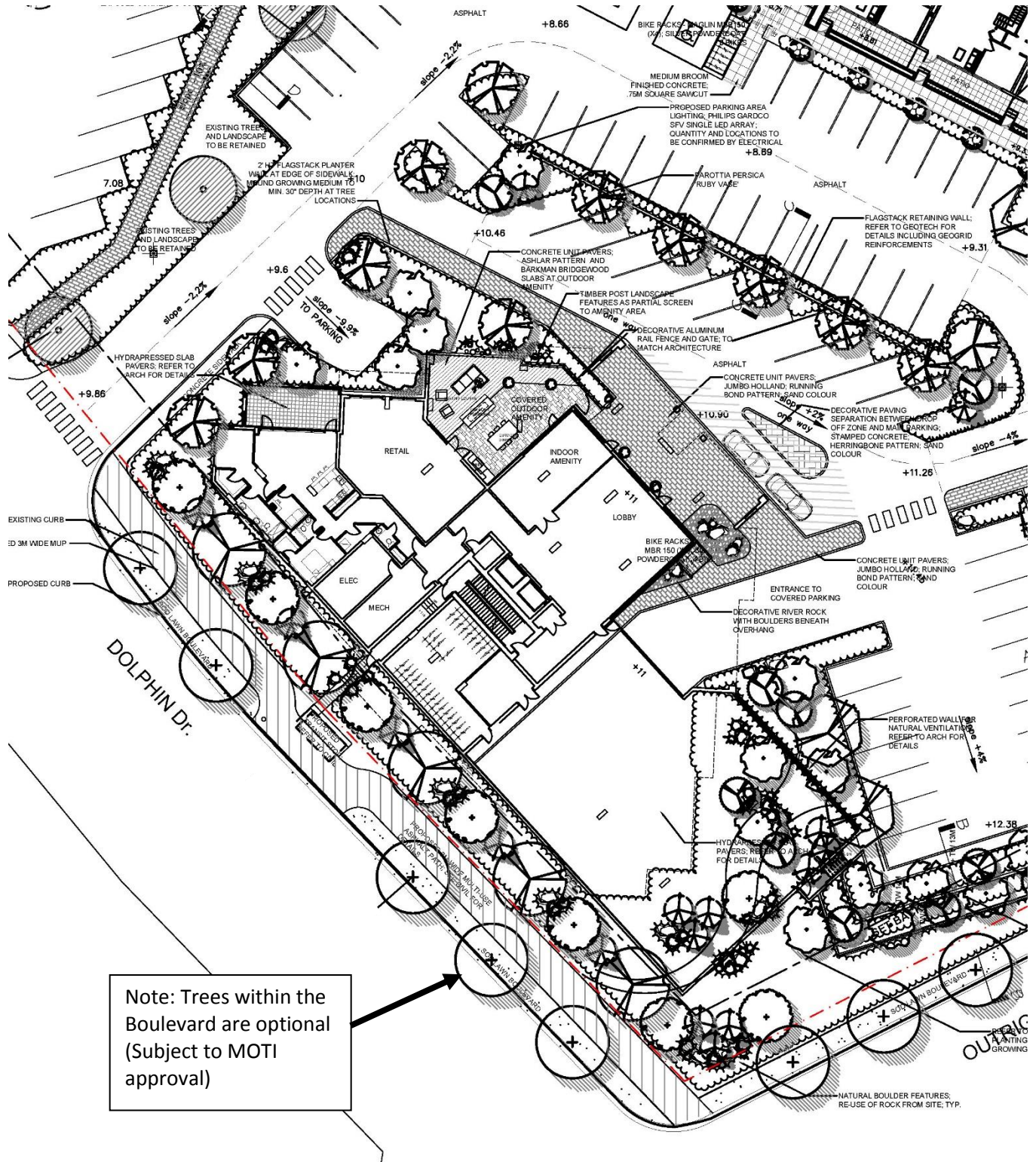
HIGH EFFICIENCY DRIP IRRIGATION SYSTEM TO BE DESIGNED AND INSTALLED BY AN IRRIGATION INDUSTRY ASSOCIATION OF BRITISH COLUMBIA CERTIFIED IRRIGATION DESIGNER; IRRIGATION TO BE SUPPLIED FOR ALL ON SLAB PLANTING, INDIVIDUAL PLANTERS AND IN HIGH TRAFFIC AREAS

Attachment 5
Proposed Landscaping Plan (page 5 of 6) South East Portion Enlarged for Convenience



Note: Trees within the Boulevard are optional
 (Subject to MOTI approval)

Attachment 5
Proposed Landscaping Plan (page 6 of 6) South Portion Enlarged for Convenience

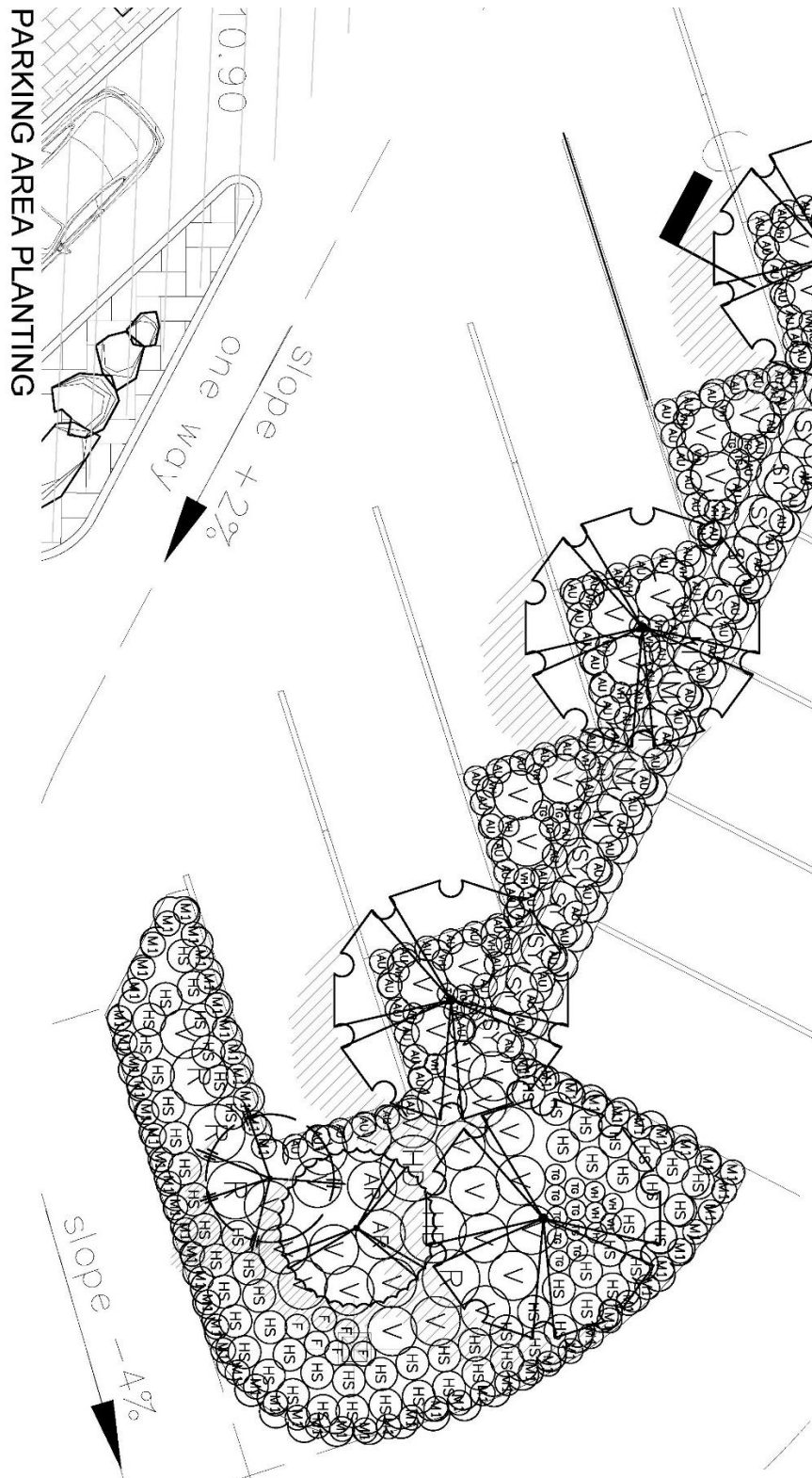


Attachment 5
Proposed Landscaping Detail (Page 1 of 4)

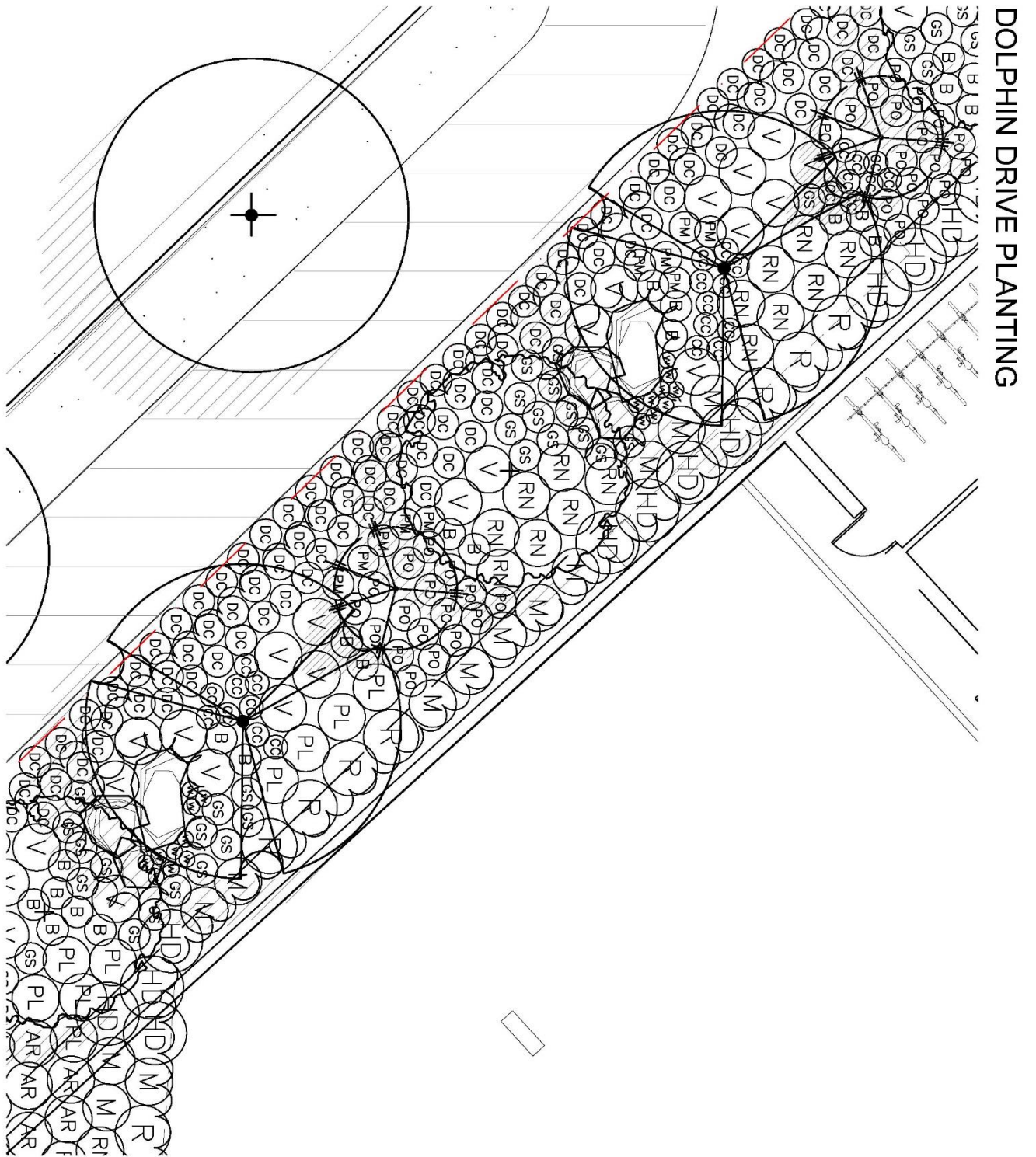
PROPOSED SHRUB SCHEDULE			PMG PROJECT NUMBER: 16-205
KEY	QTY	BOTANICAL NAME	COMMON NAME
			PLANTED SIZE / REMARKS
SHRUB			
(A)		ARONIA MELANOCARPA	CHOKEBERRY
(B)		CORNUS SERICEA 'KEL SEYI'	DWARF KEISEY DOGWOOD
(C)		GAULTHERIA SHALLOON	SALAL
(D)		HOLODISCUS DISCOLOR	OCEANSPRAY
(E)		MAHONIA AQUIFOLIUM	OREGON GRAPE
(F)		PACHYSTIMA MYRSINITES	FALSE BOX
(G)		PHILADELPHUS LEWISII	LEWIS' MOCK ORANGE
(H)		RIBES SANGUINEUM	RED FLOWERING CURRANT
(I)		ROSA NUTKANA	NOOTKA ROSE
(J)		SYMPHORICARPOS ALBUS	SNOWBERRY
(K)		TAXUS X MEDIA 'HICKSII'	HICKS' YEW
(L)		VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY
GRASS			
(M)		CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS
(N)		DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS
(O)		HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS
(P)		STIPA TENUISSIMA	MEXICAN FEATHER GRASS
PERENNIAL			
(Q)		ARMERIA MARITIMA	COMMON THRIFT
(R)		LAVENDULA ANGSTIFOLIA 'MUNSTEAD'	ENGLISH LAVENDER: COMPACT, VIOLET-BLUE
(S)		TELLIMA GRANDIFLORA	FRINGE CUP
(T)		VANCOUVERIA HEXANDRA	INSIDE-OUT FLOWER
G.C.			
(U)		ARCTOSTAPHYLOS UVA-URSI	KINNIKINICK
(V)		BLECHNUM SPICANT	DEER FERN
(W)		CORNUS CANADENSIS	BUNCHBERRY
(X)		FRAGARIA VIRGINIANA	WILD STRAWBERRY
(Y)		MAHONIA REPENS	CREeping OREGON GRAPE
(Z)		POLYSTICHUM MUNITTUM	WESTERN SWORD FERN
(AA)		VACCINIUM VITIS IDAEA	LINGONBERRY

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION (PREVIOUSLY BC LANDSCAPE STANDARD). CONTAINER SIZES SPECIFIED AS PER CNLA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED CANADIAN LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY

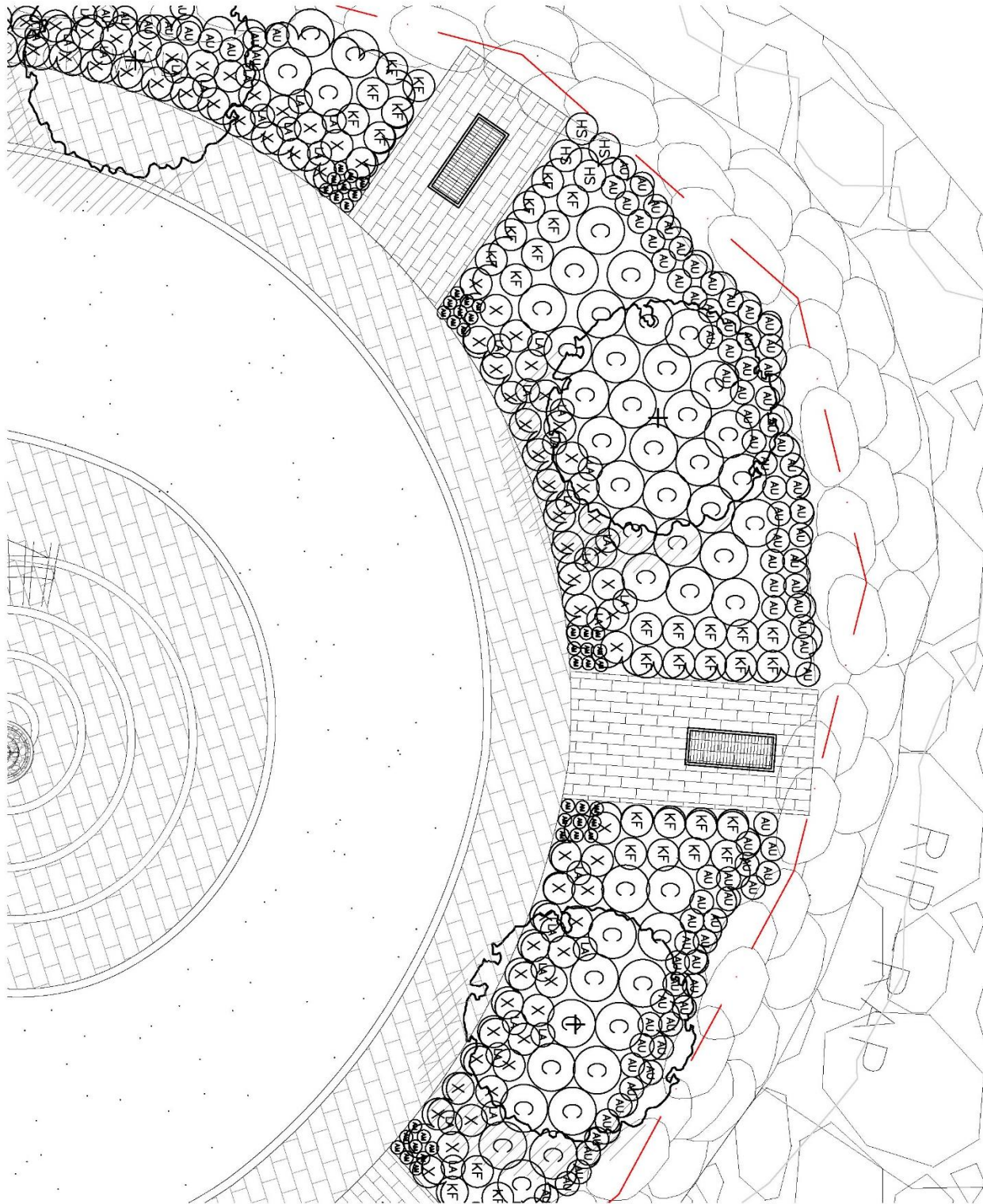
Attachment 5
Proposed Landscaping Detail (Page 2 of 4)



Attachment 5
Proposed Landscaping Detail (Page 3 of 4)

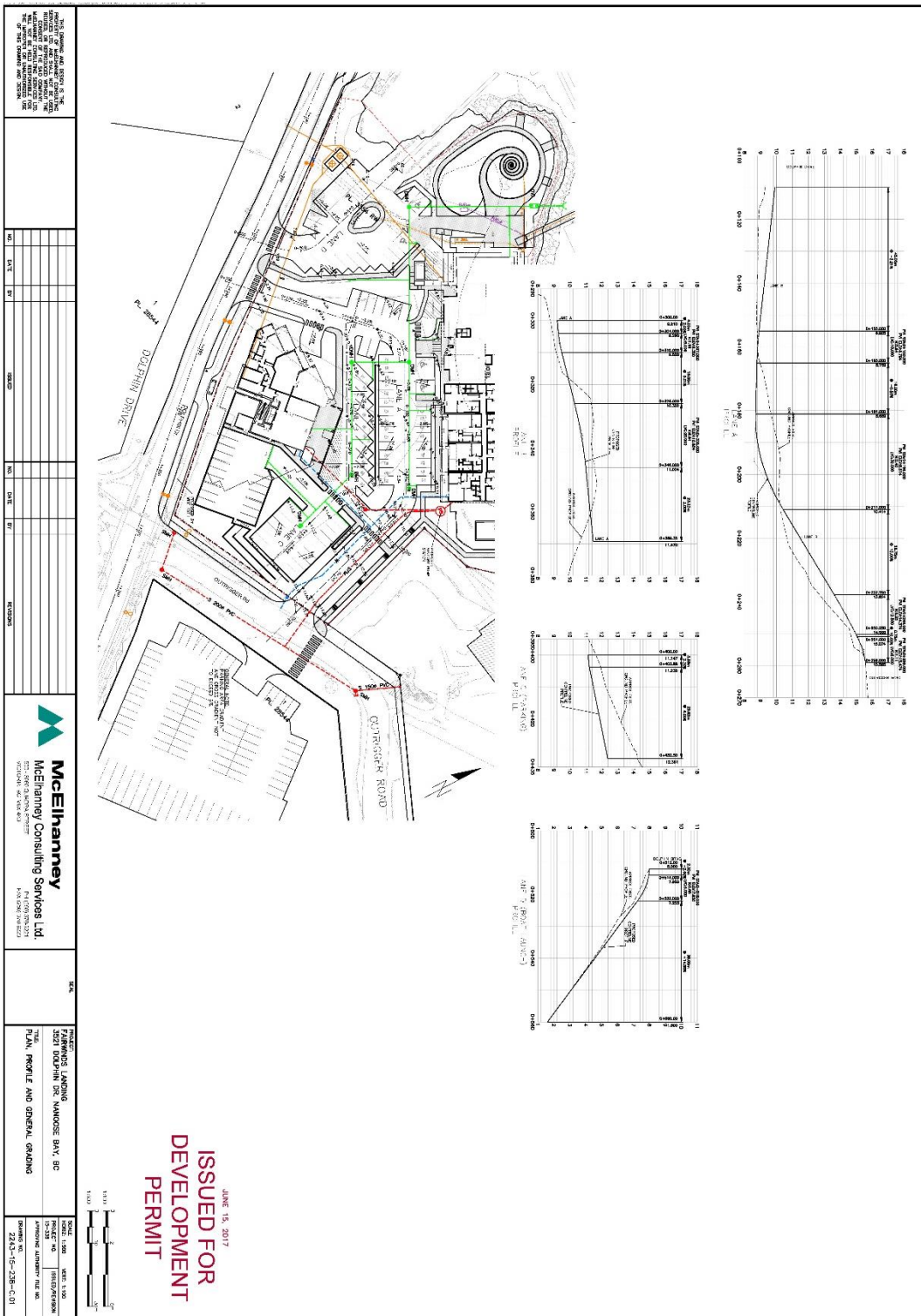


Attachment 5
Proposed Landscaping Detail (Page 4 of 4)

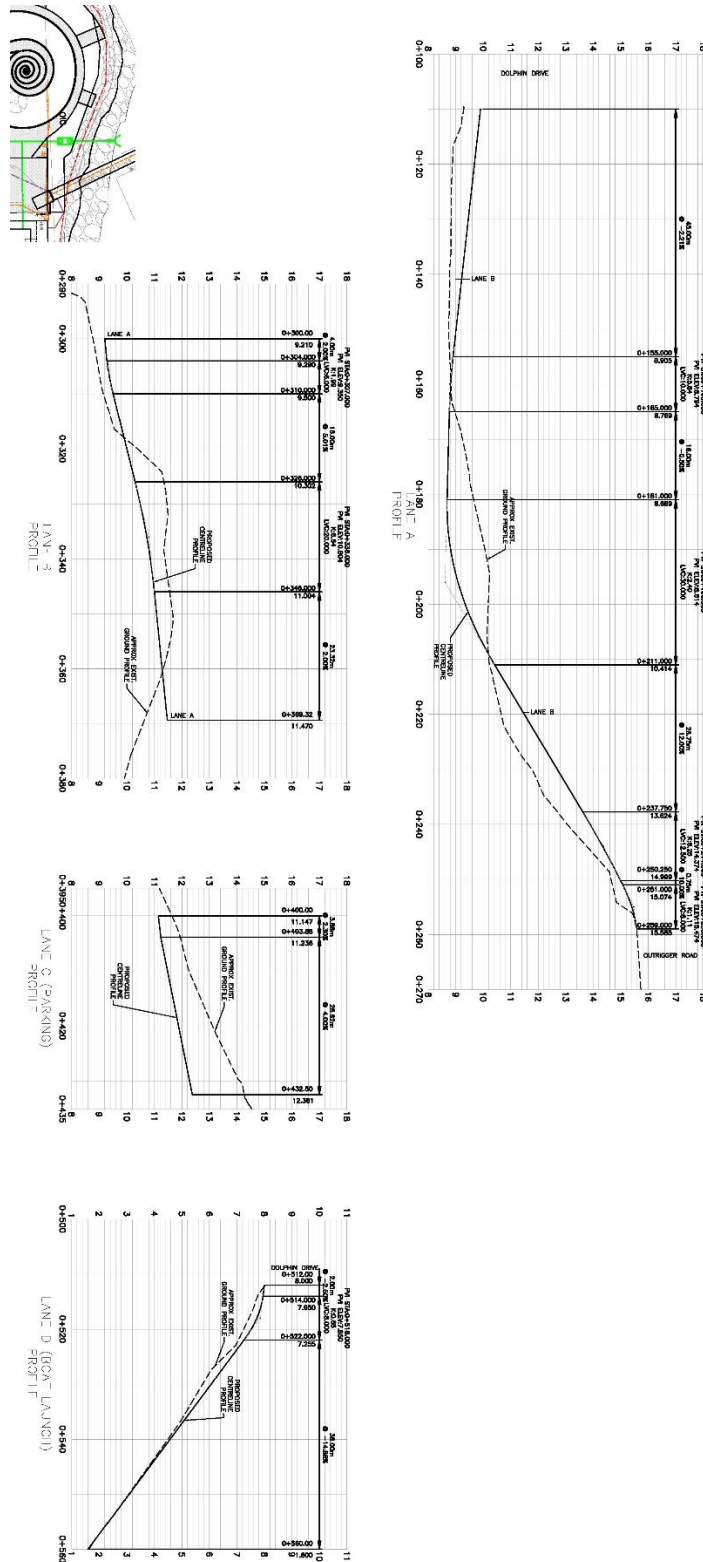


PARK / WATERFRONT PLANTING

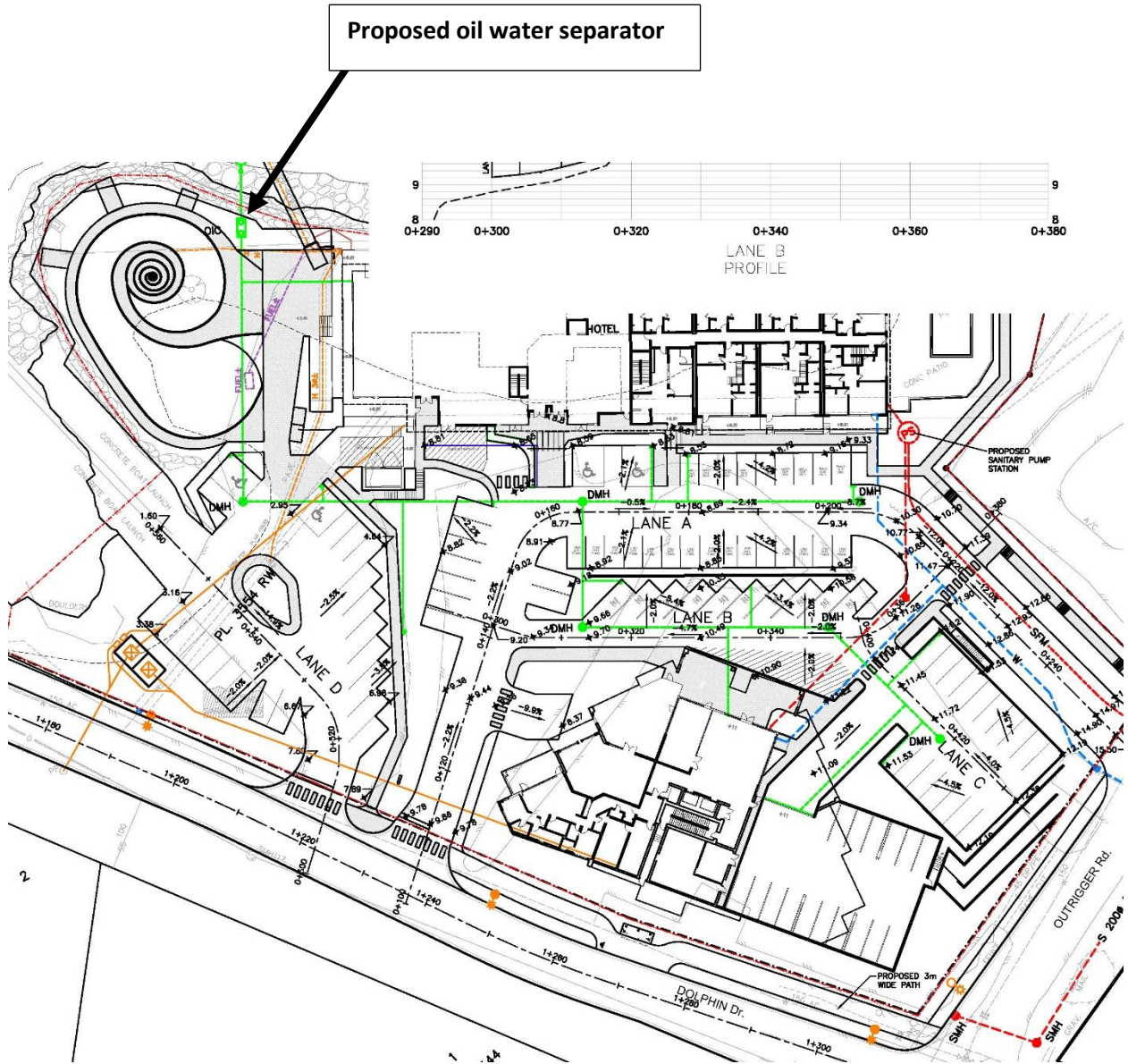
Attachment 6
Grading and Drainage Plan (Page 1 of 3)



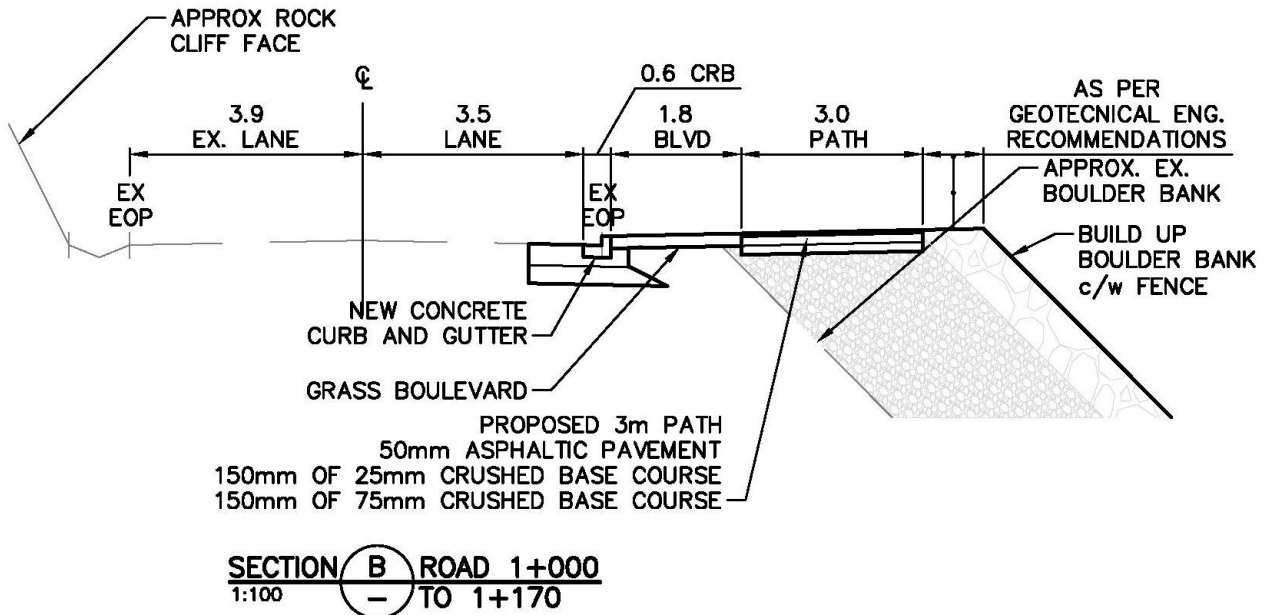
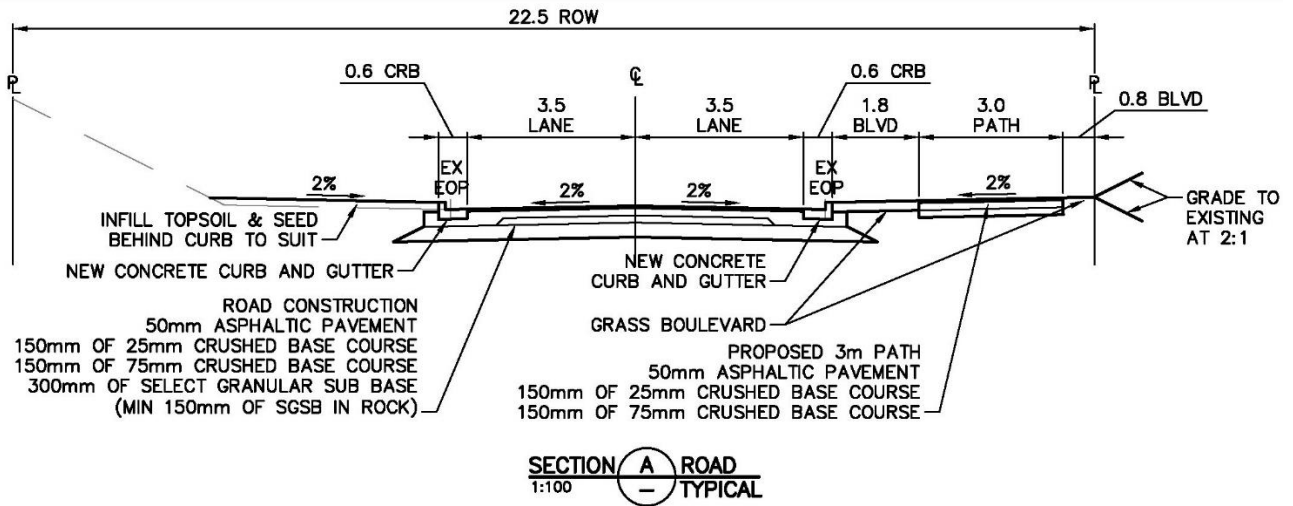
Attachment 6
Grading Plan (Page 2 of 3) – Enlarged for Convenience



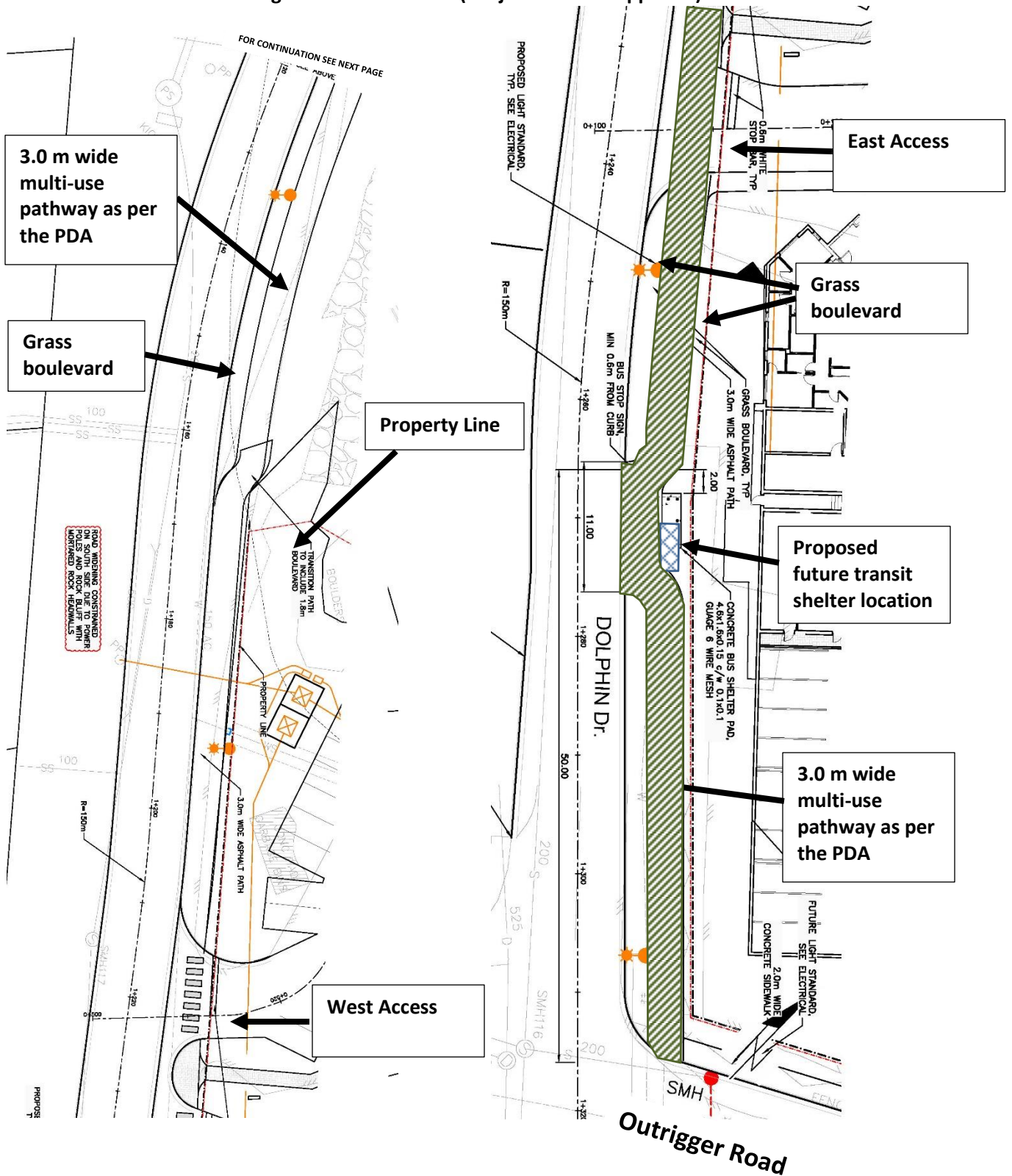
Attachment 6
Grading and Drainage Plan (Page 3 of 3) – Enlarged for Convenience



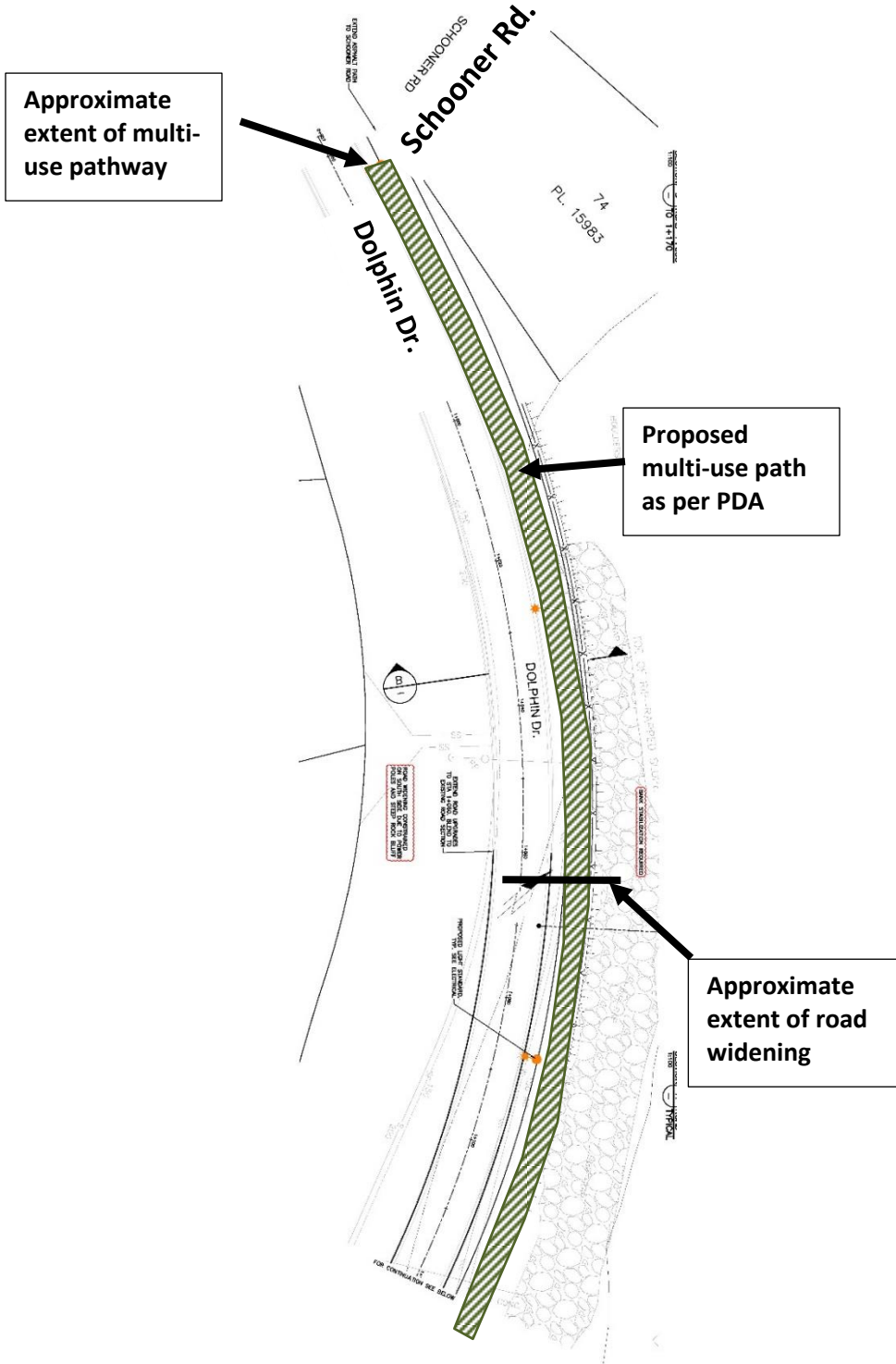
Attachment 7
Proposed Dolphin Drive and Multi-Use Pathway Design (Page 1 of 4)



Attachment 7
Proposed Dolphin Drive and Multi-Use Pathway Design – Section A Portion (Page 3 of 4)
Enlarged for Convenience (Subject to MOTI approval)



Attachment 7
Proposed Dolphin Drive and Multi-Use Pathway Design – Section B Portion (Page 4 of 4)
Enlarged for Convenience (Subject to MOTI approval)



Attachment 8 Summary of PDA Amendments

The following information provides a summary of the proposed PDA amendments.

Waterfront Boardwalk and Pathway

Schedule I of the current PDA currently requires the owner to provide a publicly accessible land-based waterfront boardwalk/pathway to be provided and constructed by the owner along the foreshore in front of phases 1Sc and 2Sc in Schooner Cove. Under the current PDA, the RDN would assume responsibility for the boardwalk. Now that the proposal is to retain Building A, the land-based route is no longer feasible on the portion of the owner's land occupied by Building A. In response, the applicant is proposing to use marina floats for some or all of the waterfront boardwalk.

The proposed boardwalk is located within two water lots which are held under lease by the owner. Since the floating boardwalk would not be located on titled land, it is not possible to grant the RDN a statutory right-of-way, as originally envisioned by the PDA for the land-based waterfront boardwalk. As a result, the proposed floating boardwalk does not provide security of tenure equivalent to the acceptance of a land-based route. Unlike a perpetual statutory right-of-way which cannot be discharged without the RDN's consent, if the owner were to default on the water lot leases, the leases may not be renewed and the public could lose access to the floating boardwalk. The shift towards a floating boardwalk has resulted in a need to consider the following amendments to the PDA:

1. To include language and requirements that continue to identify that the land-based waterfront boardwalk route is the preferred option and to include requirements in support of securing a land-based route where feasible over time. In the event that Building A is demolished, a land-based route would be required.
2. To specify that the owner, rather than the RDN, will be responsible for any floating portions of the waterfront boardwalk.
3. To include a process and requirements for protecting public access across the floating boardwalk. The proposed changes would require the owner to provide the RDN with a license providing public access to the floating portion of the waterfront pathway as well as a covenant that requires the owner to use the land in a manner that allows public access to the floating boardwalk.
4. To mitigate the risk associated with the potential loss of the water lot leases by requiring the owner to provide an amenity contribution in the event that any one of the water lot(s) are no longer available for public use that can be used to provide an amenity with comparable public value elsewhere within the general vicinity of the waterfront boardwalk/pathway.

Maintenance of the Multi-Use Pathway

In response to MOTI's comments of June 20, 2017 that indicate it will not maintain the multi-use pathway, the proposed amendments will require one of the following two options to occur prior to the first subdivision, or within 18 months of the issuance of the first building permit, and prior to occupancy:

1. MOTI agrees to take on maintenance of the multi-use pathway or, in the event that it does not;
2. the owner successfully petitions the RDN Board to establish a local service area for the maintenance, operation, and management of the multi-use pathway.

Timing and Trigger Mechanisms

The current PDA relies almost exclusively on development being initiated with the subdivision of land or strata subdivision within a particular development phase. As a result, the requirements and amenities outlined in the PDA are triggered at the time of subdivision and not through the development permit or building permit stage.

In general terms, the proposed amendments to trigger mechanisms for the provision of amenities are a result of the proposal not to initiate development activities through the subdivision of land. The proposed amendments are intended to ensure that the requirements of the PDA are fulfilled at logical stages of development regardless of how development proceeds in the future whether initiated by subdivision or building permit.

Boat Ramp

The current PDA requires the owner to provide a jib crane hoist as the development concept at that time was to remove the boat ramp in order to utilize that area for development. As the land near the boat ramp is no longer required for development and there is public interest to maintain the boat ramp, the applicant is proposing to retain the boat ramp and omit the jib crane hoist from the PDA.

The proposed PDA amendment would require the owner to register a statutory right-of-way to secure public access to the existing boat ramp on a fee for use basis.

Fire Protection Equipment

The applicant is proposing to install a fire alarm system in Building A and B and a video monitoring system in Building B. To secure these commitments, the proposed PDA amendment requires the owner to install the proposed fire protection equipment.

Attachment 9
MOTI Comments – June 20, 2017



June 20, 2017

Greg Keller
Senior Planner
6300 Hammond Bay Road
Nanaimo, BC
V9T 6N2

Re: Fairwinds Landing Development Permit with Variance PL2016-188 and Phased Development Agreement Amendment Referral

Dear Greg,

Thank you for the information provided regarding the proposed development.

The Ministry's comments are as follows:

- Approval from the Minister is not required in accordance with Section 505 of the *Local Government Act* as the proposed development is not exceeding 4,500 square metres of commercial or industrial gross floor area. The Ministry understands that the proposed development is 1,830 square metres (Building A) and 94.36 square metres of commercial floor area.
- A commercial access permit is required from the Ministry.
- A setback permit is required to address the proposed roof overhang.
- Additional details are required regarding the temporary parking that is being proposed on the adjacent lot (Lot 1, District Lot 78, Nanoose District, Plan 28544). What would be the length of time that this would be in place? What vehicles would be using this temporary parking?
- A permit for works is required for any upgrades to Dolphin Drive. A detailed design will be reviewed by the Ministry at such time. Any proposed landscaping within the right of way will be maintained as per the existing road and bridge maintenance contract. As per Maintenance Specification Chapter 4-350, Section 3.2.1.c this includes "Shoulder mowing when the grass reaches 25 cm; up to a maximum of 2 cuts per year".
- The Ministry will not maintain the proposed multi-use pathway. The developer may obtain a permit for the construction and installation of the multi-use pathway and the RDN may then obtain a permit for the maintenance of the multi-use pathway. This is consistent with the

**Ministry of
Transportation and
Infrastructure**

Vancouver Island District
South Coast Region

Mailing Address:
3rd flr, 2100 Labieux Road
Nanaimo BC V9T 6E9
Telephone: 250 751-3246
Fax: 250 751-3289

www.gov.bc.ca/tan

maintenance of various other trails and multi-use pathways existing within the Ministry's jurisdiction, which are maintained by the RDN.

- The Ministry has reviewed 'The Lakes District and Schooner Cove Neighbourhoods Traffic Impact Study' completed by Opus International Consultants Limited, dated January 2010 and comments on this are as follows:
 - The study identifies that changes would be required at the intersection of NW Bay Road and Powder Point Road. Does the developer have any details of what is proposed to address this?
 - The study identifies the increased movement that would occur as a result of the development at the Highway 19/NW Bay Road intersection. The study reaches the conclusion that the developer would need to construct a dual left turn lane coming out of NW Bay Road turning left onto Highway 19, to go South into Nanaimo. The Ministry would like confirmation that the developer will be addressing this concern and constructing this offsite improvement stated in the study.
 - The study states that the right turn movement off of Highway 19 and onto NW Bay Road cannot be improved due to the proximity of the bridge on the highway. The Ministry recognizes this and does not have the expectation that the developer will change anything on the right turn.
 - The study recommends that the eastbound left turn lane off of Highway 19 on to NW Bay Road be a protected-permissive left turn. This reflects what is existing today, therefore the Ministry will not be implementing any changes to the eastbound left turn lane onto NW Bay Road.
 - As per the study's findings regarding the increased traffic at the Highway 19/NW Bay Road intersection, the Ministry would like to request that the developer extend the existing east bound left turn slot in length.

Please let me know if you have any questions or require further discussion.

Sincerely,



Anika Johal
District Development Technician
Ministry of Transportation and Infrastructure

CC: Michael Pearson, Operations Manager
Dave Edgar, Transportation Planning Engineer

Attachment 10
Minister Stone's Letter – August 28, 2013



RDN CAOS OFFICE			
CAO	<input checked="" type="checkbox"/>	GM R&P	
GMS&CD	<input checked="" type="checkbox"/>	GM T&SW	
GM R&CU		DF	
SEP 10 2013			
DCS		BOARD	
CHAIR	<input checked="" type="checkbox"/>		

AUG 28 2013

Joe Stanhope, Chair
Regional District of Nanaimo
6300 Hammond Bay Road
Nanaimo BC V9T 6N2

Reference: 218099

Dear Chair Stanhope:

Re: Thank You

I am writing in response to your letter of June 25, 2013, congratulating me on my appointment as Minister of Transportation and Infrastructure and following up on the Regional District's request for authority over local sidewalks, boulevards and roadside trails within the ministry's rights-of-way.

I appreciate your kind words about my new role. It is an honour to serve British Columbians, and I am committed to drawing on the insights and experiences of local residents and leaders like you as we make important decisions for our shared future.

I am glad to know progress relating to the proposed Fairwinds development has been positive and, as requested in your letter, I am pleased to confirm the ministry has committed to assuming responsibility for the existing 9.4 kilometres of existing sidewalk within the Fairwinds community. The ministry has also committed to issuing permits for the future development of the sidewalks within Lakes District and Schooner Cove, and will assume responsibility for these sidewalks also.

With regards to your request for authority over all local sidewalks within the ministry's rights-of-way, I have asked District Manager Renée Mounteney to follow up with Regional District representatives on this matter and can confirm a response from her is forthcoming.

.../2

- 2 -

Should you have additional questions or concerns in the meantime, Ms. Mounteney can be reached directly at 250 751-3282 or by e-mail at Renee.Mounteney@gov.bc.ca.

Thank you again for taking the time to write.

Sincerely,

A handwritten signature in black ink, appearing to read "Todd Stone", written in a cursive style.

Todd Stone
Minister

Copy to: Renée Mounteney, District Manager
Vancouver Island

Attachment 11
Construction Traffic Management Plan



3521 DOLPHIN DRIVE
Construction Traffic Management Plan

Prepared for: ICR Projects Inc.
Prepared by: **Watt Consulting Group**
Our File: 2172.B01
Date: June 8, 2017





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1.0 GENERAL INFORMATION

1.1 INTRODUCTION

This Construction Traffic Management Plan provides plans and procedures to safely maintain traffic flow for the Phase 1 construction at 3521 Dolphin Drive. The plan is intended to minimize traffic disruptions, provide local access, protect the general public, and maintain mobility of construction workers and equipment. This Plan has been developed from the *2015 Interim MoTI Traffic Management Manual for Work on Roadways*.

1.2 PROJECT LOCATION AND DESCRIPTION

Phase 1 of the project involves the renovation of the existing building's exterior and construction of a new 39 unit residential condominium building at 3521 Dolphin Drive in Nanoose Bay (RDN).

1.3 HOURS OF WORK

Work will generally occur between 7am and 5pm Monday to Saturday on the site. The Contractor will follow the RDN Area E Noise Bylaw. No Work is permitted on Sundays or Statutory Holidays.

No work on the roadways, that causes traffic delays is permitted between 7am and 9am and 3pm and 5pm. This includes any minor random interruptions of traffic.

1.4 ROAD CHARACTERISTICS

Dolphin Drive is classified as a rural collector road in the Regional District of Nanaimo. Since RDN does not have road jurisdiction, this road is under the jurisdiction of the Ministry of Transportation. Dolphin Drive is a two lane paved road with a 50km/h speed limit.

Outrigger Road is a local road with a speed limit of 50km/h. Outrigger Road does not have any pavement markings to delineate lanes or paved shoulders.

1.5 LANE CLOSURES

Lane closures on Dolphin Drive and Outrigger Road are not expected to occur as part of the project. Traffic Control Personnel (TCP) may be on site to provide access / egress to the site for truck traffic as well as maintain residential access to Outrigger Road at all times.

2.0 OPERATIONS & SIGNAGE

2.1 SITE FENCING

The site will be fenced as shown in Figure 1 to prevent pedestrians from accessing the site. C-018 signs will be installed in advance of the site (a minimum of 40m from other signs, Dolphin Road, or the work site depending on the approach).

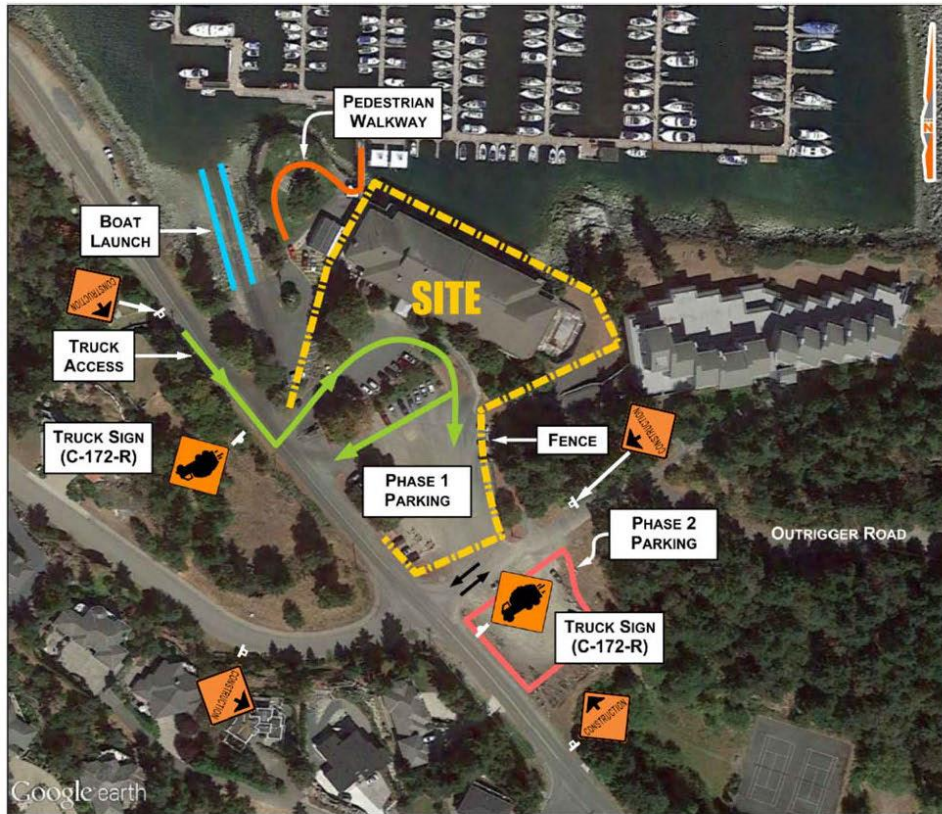


Figure 1 Site Setup

2.2 TRUCK ACCESS POINTS

Construction vehicles and trucks will access the site directly from Dolphin Road or via the Phase 1 parking lot depending on the area of work.

2.3 SIGNAGE

- All signage and supports shall conform to the BC Ministry of Transportation and Infrastructure's *Traffic Management Manual for Work on Roadways* and all signage will be in accordance with the current Catalogue of Standard Traffic Signs.



- Signage will be located as shown in the **Figure 1**.
- All signs will be maintained regularly to allow for maximum visibility. All signs will remain clear of any materials that may reduce their visibility.
- All signage will be set up so as to command the respect of vehicles in order to ensure the safety of both the travelling public and the workers.
- All safety apparel and traffic control retro-reflectivity signs and devices will be as per Section 5.4 of MoTI's *Traffic Management Manual for Work on Roadways*.
- All signage will be reviewed / inspected a minimum of once daily (24 hour period). If traffic control devices are in place during active work the devices will be checked and reviewed immediately after installation and at least twice during the shift. If devices are maintained during non-active periods the devices will be checked at least once every 24 hours.

3.0 USERS AND ACCESS

3.1 PEDESTRIANS

The access to the Marina will be maintained by providing a pedestrian walkway on the grassy plot to the north side of the building. This walkway will be 7 – 10 m away from the building edge and separate from the site by fencing. The walkway will be gravel and accessible for all users. Secured transitions between changes in elevation will be provided.

3.2 COLLECTION SERVICES

The Contractor will ensure that access for all collection services to local residents on Outrigger Road including garbage collection, recycling collection, yard waste collection, and mail delivery are maintained.

3.3 CONSTRUCTION PARKING

Construction parking will be in a designated location as identified below. No construction vehicle (or equipment) parking is permitted on public roads.

Construction parking for Phase 1 will be provided on the space proposed for the new building. Phase 2 parking will be provided (if required) in the parcel of land south west of the Dolphin Drive - Outrigger Road intersection. Construction parking, including parking heavy (concrete, gravel, etc.) trucks will not be permitted to park on Outrigger Road and block / narrow the road.

The Traffic Control Supervisor will monitor construction vehicle parking and ensure that they are not blocking any roads, and / or driveways. Construction worker parking will not be permitted on Outrigger Road or along Dolphin Road. A site orientation will be undertaken with workers on how and where to park when entering and exiting the site. This will include routing to and from the site.



3.4 MARINA PARKING

Parking for the vehicles intending to use the Marina will be maintained in the area closest to the Boat Launch until work occurs in this parking lot at which time it will be moved temporarily to the Phase 2 parking lot, as shown in Figure 1.

3.5 ACCESS TO THE BOAT LAUNCH

Access to the boat launch area will be maintained at all times during construction except during the re-surfacing work in the parking lot area. The closure of the boat launch will be minimized and advance notification provided to users. Notifications may be undertaken using the Fairwinds website, contacting Fairwinds members, and posted notifications at the property.

3.6 ACCESS TO OUTRIGGER ROAD

Two way access to Outrigger Road will be maintained at all times during construction. A minimum width of 6m or existing width is to be provided at all times.

3.7 TRUCK ROUTING

The trucks will utilize Highway 1 to North West Bay Road to Stewart Road to Dolphin Drive to access the site and vice versa as shown in Figure 2. A site orientation will be undertaken with all workers, including sub-contractors, on the required truck routing to and from the site.

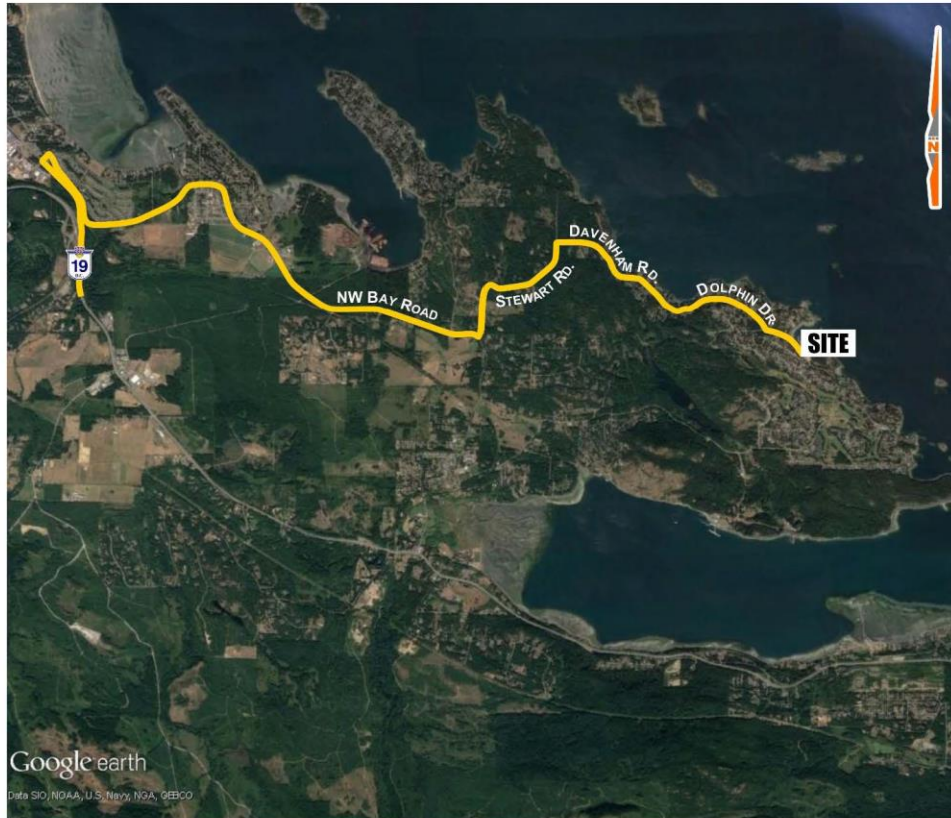


Figure 2 Truck Access Route

To minimize traffic disruptions when accessing or leaving the work zone, the following procedures will be abided by:

- Workers will use good judgment when entering and exiting the Work Site;
- Construction vehicles will enter and exit the work zone in the same direction as traffic.



4.0 INCIDENT MANAGEMENT PLAN

4.1 INTRODUCTION

The purpose of the Incident Management Plan is to have an action plan prepared in the event of an incident, which affects traffic adjacent to the site.

An Incident is defined as a motor vehicle accident with or without injuries, vehicle breakdown, stall, hazardous spills, damage from falling objects, construction accident, or any other event, which impedes the flow of traffic. The incident may result in a full or partial roadway blockage.

The duties of the Traffic Control Supervisor with respect to incident management is to prudently respond and communicate incidents as they occur with the Site Superintendent, and / or the relevant emergency service provider (911). The Site Superintendent will contact the MoT Area Operations Manager immediately to inform them of an incident adjacent to the site on Dolphin Road. The TCS will ensure the safe movement of traffic through or around the incident and to provide access for all emergency vehicles. During an incident the Traffic Control Supervisor will provide traffic control around an incident as quickly as possible. The TCS will work with emergency responders to determine appropriate traffic control.

4.2 NOTIFICATION

Emergency Services will be contacted (by phone by the TCS) if the severity of the incident warrants them attending. The Contractor's Site Superintendent will inform all crews (by radio or directly talking to them) working within the incident area of the incident and the possibility of emergency crews arriving. For all incidents on Dolphin Road, at the site, the MoT Area Operations Manager will be notified immediately of the incident, the planned clearance time of the incident, the estimated time of the incident and the planned clearance measure planned to remove the incident and updated every half hour.

Traffic control personnel may be used to inform the travelling public of all delays due to incidents by talking to drivers stopped due to the incident.

4.3 INCIDENT REVIEW

An Incident Response Team will review incidents which occur within the work area where traffic management is considered a contributing cause. The team members will include the Site Superintendent and Traffic Control Supervisor and will know the importance of an effective and efficient Incident Management Plan. After every incident within the work zone, the Incident Management Team will meet and discuss what happened, why did it happen, how could it have been prevented and what measures will be taken on site to help reduce similar types of incidents from occurring in the future.

4.4 INCIDENT PROCEDURES

In the event of unforeseen traffic obstructions such as a stalled vehicle, equipment failures, vehicle accidents, etc. that blocks one travel lane, the following measures will be taken:



1. The TCS will verify that an incident has occurred and inform the Site Superintendent;
2. The Site Superintendent will contact MoT Area Operations Manager to inform them of the incident, response measures, estimated delay, and when the incident has been cleared;
3. The Site Superintendent will ascertain what, if any, work activities need to be stopped until the incident is cleared. Site Superintendent will contact Spill Reporting and / or WorkSafe BC as necessary;
4. The TCS will identify the number of Traffic Control Personnel (if required) and call them to the site to inform the public of the incident, if TCP are not on site;
5. The TCS will assess the nature of the incident call towing, RCMP, fire, and / or ambulance as needed;
6. The TCS will assess traffic impacts and ascertain if traffic can safely be maintained around the incident, or if the roadway needs to be closed;
7. If the TCS ascertains traffic can be safely maintained around the incident:
 - a. Measures will be implemented to reroute traffic around the obstruction safely and efficiently;
 - b. TCPs will be utilized to provide safe access for all emergency vehicles;
 - c. MoT Area Operations Manager to be updated as new information is available, or at minimum every 30 minutes;
 - d. If queues occur, TCP will walk the queue in each direction and make travelers aware of the events, their options, the estimated time of opening, and level of confidence of that estimate;
 - e. Traffic re-route will remain in place until the incident is cleared;
8. If the TCS ascertains the roadway needs to be closed:
 - a. The TCS will advise over the radio of the road closure and coordinate with TCPs;
 - b. TCPs will assist in guiding motorists;
 - c. TCPs to provide safe access for all emergency vehicles;
 - d. MoT Area Operations Manager to be updated as new information is available, or at minimum every 30 minutes;
 - e. If queues occur, TCP will walk the queue in each direction and make travelers aware of the events, their options, the estimated time of opening, and level of confidence of that estimate;
9. The TCS will complete an Incident Report. A copy of the report will be sent to the MoT Area Operations Manager within 12 hours of the end of the incident.

4.5 GENERAL SAFETY

- Any incident will be promptly investigated and correction of potential hazards will be rectified;
- All hazards to both workers and the travelling public will be identified and minimized;
- Accidents, near misses, and dangerous situations or acts, will be reported to the Traffic Control Supervisor and the causes will be corrected.

5.0 TRAFFIC CONTROL SUPERVISOR

The Contractor shall appoint a traffic control supervisor (TCS) to be responsible for the traffic control for this project. The TCS may be the site supervisor or hold another position on the project (i.e. first aid attendant, safety officer, etc.). The TCS may designate an alternate. The alternate must be familiar with the roles and responsibilities of the TCS position. The TCS will:

- Be responsible for monitoring the effectiveness of traffic control during the Works, and keeping daily traffic control logs and incident management reports.
- Have full authority over any traffic control personnel on site.
- Ensure daily traffic reports, logs, inspection forms and an up to date traffic control plan are available to the RDN, MoTI, a WorkSafe BC Officer or any other party interested in traffic control on the site upon request.
- Respond to any traffic concerns of the RDN, MoTI, RCMP, and / or WorkSafe BC.
- Ensure that all traffic control procedures are in accordance with the BC Ministry of Transportation and Highways' *Traffic Management Manual for Work on Roadways* and the Worker's Compensation Board of British Columbia's Occupational Health & Safety Regulation Part 18.
- Ensure that traffic control arrangements and procedures for the work are made known to all the people involved in the work.
- Ensure that all traffic control devices are properly maintained and checked during working and non-working hours.
- Ensure that any person assigned to be a traffic control person is adequately trained in a manner acceptable to WorkSafe BC and effectively performs their role in the traffic control arrangements and procedures for the work.
- Ensure that traffic control personnel are positioned in a safe location clear of potential environmental hazards.
- Ensure that each member of the traffic control operation wears the required personal protective clothing and equipment as per WorkSafe BC regulations.
- Ensure that all TCP are performing their duties competently and safely.
- Ensure that TCP work together as a team when working in groups of two or more.



6.0 COMMUNICATION PLAN

The Contractor will provide notification (by fax or email) at least one (1) week prior to the start of work to the following stakeholders:

- All emergency services
 - RCMP Nanaimo Detachment
 - Nanoose Bay Fire Department
 - BC Ambulance
- Regional District of Nanaimo
- Ministry of Transportation

The Contractor will coordinate traffic control with any other works in the area, as applicable.

The Contractor will keep the RDN and MoT Area Operations Manager up to date construction works. The Contractor will notify the RDN and MoT Area Operations Manager immediately before conditions change unless the change is to rectify an immediate safety issue. The Traffic Control Manager will keep the Contract Administrator informed and updated when approved changes to the Traffic Management Plan are required.

The TCS will contact emergency services of any unscheduled delays.

Contacts are located in *Section 7.0*.



7.0 CONTACT LIST

EMERGENCY SERVICES

Emergency – RCMP, Fire, Ambulance	911
Oceanside RCMP (non-emergency)	250-248-6111
Nanaimo RCMP (non-emergency)	250-754-2345
Nanoose Bay Fire Department (non-emergency)	250-468-7141
BC Ambulance (non-emergency)	1-800-461-9911
Air Ambulance	604-872-5456
Earthquake, Flood, Dangerous Goods Spills (24 hrs)	1-800-663-3456
WorkSafe BC	1-888-621-7233
WorkSafe BC (After hours)	1-866-922-4357
Workers Compensation Board	1-604-276-3100
Workers Compensation Board (After hours)	1-604-273-7711

MEDICAL SERVICES

Location	Address	Phone
Nanaimo Regional General Hospital	1200 Dufferin Cres, Nanaimo, BC	250-755-7691

CONTRACTOR – TBD*

Contact	Email	Cell
Site Superintendent - TBD		TBD
Traffic Control Manager / Supervisor		TBD

*Note this information will be provided at a later date

WATT CONSULTING GROUP LTD

Contact	Email	Phone
Nadine King – Traffic Engineer	NKing@wattconsultinggroup.com	250-388-9877

MEDIA

Company	Type	Phone	Email
The Wave/The Wolf	Radio	250-758-1131	
Parksville Qualicum Beach News	Newspaper	250-248-4341	



APPENDIX A: ACCIDENT REPORTING PROCEDURES



ACCIDENT REPORTING PROCEDURES

ACCIDENT REPORTS

The Traffic Control Supervisor (TCS) will notify the Contract Administrator after any accident involving personal injury, fatalities, damage or complaints from residents or the travelling public. The notification can be made in person or by telephone.

The TCS will prepare a detailed written report of all accidents involving personal injury, fatalities or damage. The report is to be reviewed and initialed by the Site Superintendent and the Contractor Manager and sent to the Contract Administrator by the next workday.

The report submitted to the Contract Administrator will contain the following information:

- What happened?
- Who was injured?
- Who was involved, but not injured?
- What changes are being made in the operation?
- A copy of the hazard analysis for the operation.
- Any revisions made in the hazard analysis.
- Copies of the crew's four previous toolbox-meeting reports.
- What disciplinary action, if any, was taken?

INVESTIGATION

A. Investigate

- Take photographs. Get close ups and different angles of:
- Anything a person slipped on, fell from or collided with.
- All damaged property (equipment, the job itself, tools, buildings, etc.).
- Collect hard facts.
- Collect names and addresses of all parties involved in the incident.
- Ask for names and addresses of witnesses.
- Identify persons or companies that could have indirectly contributed to the accident.
- Identify the item(s) that contributed such as a drill or loose step. List all damaged items with their ID numbers.



B. Report Accidents Involving Workers

Near Miss

- Fill out near miss incident report and file all forms on site alphabetically under the injured employee's name.
- First aid only (timecard is marked "injured" but there is no medical attention sought).
- Fill out Foreman's Accident Report.
- Photocopy both sides of the timecard.
- Photocopy any diary notes (witness statements or other relevant information).
- File all forms on site alphabetically under the injured employee's name.

Medical attention is required.

- Fill out Foreman's Accident Report.
- Fill out Accident Investigation Report (identify any witnesses).
- Fill out WorkSafe BC Employee Claim Form.
- Photocopy any diary notes, timecard or other relevant documents.
- File all forms on site alphabetically under the injured employee's name.

Attachment 12
Minutes of the Public Information Meeting Held May 30, 2017

Summary of the Public Information Meeting
Held at Nanoose Place Community Centre
2925 Northwest Bay Road, Nanoose Bay
Tuesday, May 30, 2017 at 6:30 pm

Development Permit with Variance Application PL2016-188 and Lakes District and Schooner Cove
Phased Development Agreement Amendment Application involving the properties located at
3521 Dolphin Drive

Note: This summary of the meeting is not a verbatim recording of the proceedings, but is intended to summarize the comments and questions of those in attendance at the Public Information Meeting.

There were approximately 200 members of the public in attendance at this meeting.

Present for the Regional District of Nanaimo:

Director Bob Rogers, Electoral Area 'E' (the Chair)
Geoff Garbutt, General Manager of Strategic & Community Development
Jeremy Holm, Manager of Current Planning
Greg Keller, Senior Planner
Sarah Preston, Planning Technician
Paula Sherman, Recording Secretary

Present for the Applicant:

Leo Mariotto, President, ICR Project Inc. (Agent)
Christopher Block, Principal, Collabor8 (Architect)
Sofia Bedynski, Technologist, Collabor8
Georgia Desjardins, Asset Manager, Seacliff Properties Ltd. (Subject Property Owner)

The Chair opened the meeting at 7:00 pm, outlined the evening's agenda, and introduced the RDN staff and the applicant's representatives in attendance.

The Chair respectfully acknowledged the Snaw-Naw-As first Nations on whose traditional territory the meeting took place.

The Chair then stated the purpose of the Public Information Meeting and asked the Senior Planner to provide background information concerning the development permit with variance and Phased Development Agreement amendment application.

Greg Keller, Senior Planner, provided a summary of the development proposal and proposed variances and then provided an overview of the amendments to the Lakes District and Schooner Cove Phased Development Agreement.

The applicant was invited to give a presentation of the development proposal.

Leo Mariotto, Agent, presented an overview of the proposal.

Chris Block, Architect, presented the site plans and explained the rationale for the layout and provided an overview of the design elements in the development proposal.

Following the presentation, the Chair outlined the procedure for the speakers and invited questions and comments from the audience starting with the people from the Speakers List.

Paula Chase, 3505 Shetland Place, said considerations need to be made regarding the impact on the surrounding community and that her concerns are traffic, parking in the development, the proposed height of the new building and sidewalk and street-lighting needs. Ms. Chase provided a written letter for the record as attached.

Chris Block, Architect, responded that there will be sidewalks along Dolphin Drive to Outrigger Road. There will be parking for the marina with additional parking where the tennis courts currently are. The variance for the new building is not for additional height but for number of storeys.

John Tosney, 3565 Shetland Place, said that he would like to see the proposal return to the 'Village' concept, would like an idea of the scope of the construction for future development at the location, would like a schedule of the length of time for construction and information on what's in place to mitigate construction traffic and can the development handle the additional impacts on services such as power and water. Mr. Tosney provided written notes for the record as attached.

Leo Mariotto, Agent, replied that the project will take approximately 14 to 15 months. Mr. Mariotto indicated that construction parking will not be allowed on the adjacent streets.

Bob Clark, 3605 Sheffield Place, asked if a traffic analysis had been done as Dolphin Drive is a narrow winding road.

Leo Mariotto, Agent, replied that the development does have a Construction Traffic Management Plan.

Jeremy Holm replied that the Ministry of Transportation and Infrastructure reviewed the construction Traffic Management Plan.

Gail Hill, 2360 Bonnington Drive, stated that she is concerned about public safety on the roads and she thought that the parkway connector needed to be built before construction started on the development site. Ms. Hill asked what is going to be done to ensure safety and the monitoring of construction vehicles going to the development.

Leo Mariotto, Agent, replied that the parkway connector is not required for this phase of the development.

Jeremy Holm explained that the Ministry of Transportation and Infrastructure has jurisdiction over roads and that future subdivision would trigger construction of the parkway connector as determined by MOTI.

Steve Leasing, 3503 Seabluff Lane expressed his concern for current owners whose ocean view will be obstructed and suggested that the building could have less impact if it were rotated. Mr. Leasing asked if the developer had intentions of purchasing the undeveloped lot.

Chris Block, Architect, replied that they had looked at the undeveloped lot but didn't have any intentions with it.

Stephanie Francis, 3511 Seabluff Lane, asked what has happened to the open village plan. She suggested that if the developer put the new building over by Outrigger Road that would provide better views for the building and not block or obstruct the views of neighbouring properties. Ms. Francis asked about boardwalks, walkways, open space and landscaping.

Chris Block, Architect, replied by showing a map of the landscaping plan with pedestrian pathways using groundwater absorption.

Steve McNally, 2242 Chelsea Place, inquired about the marina office and whether the docks will be secure.

Leo Mariotto, Agent, said that the marina office will be in the existing building and there will be a security gate at each dock.

Lorne Grace, 1956 Crowsnest Lane, asked when the first concrete truck will come down Dolphin Drive.

Leo Mariotto, Agent, responded by saying as soon as they get their building permit.

The Chair outlined what the process is for the developer to get to the building permit stage.

Jeremy Holm explained that comments from the meeting will be discussed with the applicant and the earliest opportunity to bring the report to the EASC will be July 11, 2017.

Gail Hill, 2360 Bonnington Drive, restated her concern with traffic and asked who is responsible for safety on the road.

Greg Keller replied that the Ministry of Transportation and Infrastructure was satisfied with the developer's Traffic Management Plan and the development permit with variance application has been referred to them

Bill Hamilton, 2430 Andover Road, asked what plans are in place for construction vehicles and suggested that perhaps park and ride could be an option along with a schedule for delivery vehicles.

Leo Mariotto, Agent, replied that once construction begins there will be a full-time person responsible for monitoring traffic and that there will be a contact number available.

Henry Benskin, 2070 Radford Place, asked what the context of the entire development is and asked if the developer will effect improvements along parts of the road so that the pathways lead somewhere.

Leo Mariotto, Agent, replied that they are starting to work on the next phase but they don't have a concept. Mr. Mariotto briefly explained the proposed improvements along Dolphin Drive.

Tom Hazewinkel, 3001 Anchor Way, asked what's going to happen with the extra sewage.

The Chair replied that the current sewage treatment plant is underutilized and that there is a secondary treatment plant in the budget being projected for 2023.

Carey McIver, 1964 Crowsnest Lane, said that she was very disappointed with the development drawings.

Rick Bleiker, 3580 Sheffield Place, said that the drawings don't have the village feel and that the existing building should be removed.

Paula Chase, 3505 Shetland Place, requested that the developer alter their development plans to not block existing views as this would be more desirable.

The Chair asked if there were any further questions or comments.

Being none, the Chair thanked those in attendance and announced that the Public Information Meeting was closed.

The meeting was concluded at 8:35 pm.



Paula Sherman
Recording Secretary

3505 Shetland Place
Nanoose Bay, B. C. V9P 9J8
May 30, 2017

Regional District of Nanaimo
6300 Hammond Bay Road
Nanaimo, B. C.
V9T 6N2

Dear Sir/Madam:

Re: Development Permit with Variance Application No. PL2016-188 &
Phased Development Agreement Amendment
3521 Dolphin Drive, Nanoose Bay, B.C.

As an owner and resident in Schooner Ridge, I have some concerns and comments regarding the proposed development plan for the Schooner Marina property. I would like to begin by stating I am not opposed to the development but I do believe considerations need to be made regarding the impact it will have on the surrounding community. I believe if proper consideration is given to those concerns, the resulting development could be something that works for everyone.

My first concern is with regard to the traffic impact. My understanding is the total phased development will add 310 units to the community in a very concentrated area. Considering the entire Fairwinds Community to date has little more than 700 units, adding almost 50% more units will undoubtedly significantly increase traffic around the Schooner area. I approached various representatives of the developer at their last community open house and asked what plans they would be making to ensure this would not cause traffic safety issues in the area but not one of them could provide an answer.

Currently, the area of Dolphin Drive along the property is narrow with no curb or sidewalk, is winding and has some blind spots. Within this area is the entry road to Schooner Ridge, being Sherbrooke Road, as well as Redden Road. Beyond vehicle traffic, this road is used by pedestrians, bike riders and more than the occasional deer. It is also very dark at night. At times, it is already somewhat hazardous but increased traffic without some alterations will almost certainly increase the danger. I believe one solution would be a requirement for sidewalks along Dolphin Drive throughout the length of the development as that would at least get pedestrians off the road. I also believe there should be a lot of consideration towards good lighting at night and possibly reduced speeds. I also wonder whether it might be advisable to have a 3 way stop at Sherbrooke Road as another method of slowing traffic to reduce hazards.

My second concern has to do with parking in the development, most specifically marina parking. This development was first and foremost an active marina and that has continued to be the case despite the closure of the main building. Boaters using the marina on a day basis transport their boats on trailers, towed by another vehicle, both of

which remain in the area while the boater is on the water. Currently, there are sufficiently sized spaces for these vehicles and trailers to park on the property. The plans I observed at the developer's open house did not appear to have such parking available. I feel it is imperative that appropriate vehicle and trailer sized parking spaces located near the boat launch be required in the plan. If they are not, it is inevitable that boaters will leave their vehicles and trailers along Dolphin Drive, further increasing the traffic hazard.

My final concern is with the proposed height of the 39 unit building, which I understand would require a height variance. At the developer's open house, I thought that various drawings of this building showed 6 floors, at least from certain views. I asked all 4 representatives about this. Three of the reps insisted the building was only 5 stories while the fourth one conceded that the back side of the building would be 6 stories with 5 stories in the front. I note that the RDN's notice for this Public Information Meeting notes this building is, in fact, 6 stories. As such, I have a concern that the developer misrepresented the number of stories to residents at their open house. Regardless, allowing a variance from the currently zoned height for this area will most definitely block views for existing homes in Schooner Ridge, most particularly for those on Seabluff Lane and along Dolphin Drive and Redden Road. To my knowledge, all lots in the Fairwinds development have height restrictions attached to them and individual home owners had to build their homes and devise their landscaping so as not to block the views of surrounding dwellings. It seems most unfair and unreasonable to me that this proposed development should not be held to the same standard. I could understand a variance being allowed on some of the other proposed buildings for the site, ones that would not block views from existing homes but that is not the case for this particular building. As such, I believe this particular building should not receive any height variance.

In closing, I would like to reiterate that I am not opposed to a well-planned and thought-out development of the Schooner Marina but I do believe that existing homeowners have a stake in this plan proceeding in a manner that does not reduce our quality of life nor damage our property values. Being a good neighbour by not blocking views or creating road hazards would go a long way towards winning over the support of more of the community. And the RDN should protect the interests of the existing community by not allowing variances or amendments that would negatively affect current homeowners.

Sincerely,



Paula Chase



JOHN TOSKEY, 3565, SHETLAND PLACE.

- COMMENTS - FAIRWINDS LANDING PHASE 1 SC
- PREAMBLE - APPRECIATE OPPORTUNITY TO FINALLY EXAMINE REAL INFORMATION ON SPECIFIC PROPOSALS.
- WHILE USEFUL, WHAT IS PROVIDED IS INCOMPLETE BUT REPRESENTS CONSIDERABLE CHANGE FROM ORIGINAL CONCEPTS
- INCOMPLETE - NO INDICATION OF HOW THIS PHASE FITS INTO THE FULL SCOPE OF LANDING DEVELOPMENT - (FULL DISCLOSURE)
- NO SCHEDULE PROVIDED FOR THIS AND SUBSEQUENT PHASES OF WORK (2YR OR 6YR + DISTURBANCE)
- CHANGES - IN PARTICULAR EARLIER INFORMATION SHOWED UNITS NO HIGHER THAN 3/4 STOREYS, A TRUE "VILLAGE CONCEPT", ~~W/ FULL WATERFRONT ACCESS, SMALL STORES AND PROFESSIONAL OUTLET(S)~~ WITH FULL WATERFRONT ACCESS, SMALL STORES AND PROFESSIONAL OUTLET(S) - THIS PROPOSAL IS SIGNIFICANTLY DIFF.
- ACCESS WAS TO PROVIDED THROUGH A NEW CONNECTOR ROAD ONTO SCHOONER COVE DRIVE
- COMMENT - TRAFFIC MANAGEMENT PLAN STATES DOLPHIN DRIVE IS A TWO LANE ROADWAY WITH PAVED SHOULDER (- NOT)
- CONSTRUCTION WORKER PARKING NOT ALLOWED ON OUTRIGGER OR DOLPHIN, PLAN IS SILENT ON SCHOONER RIDGE AND REDDEN
- AT TIME OF INITIAL DISCUSSIONS ASSURANCES SOUGHT ON RELIABILITY OF CLEAN WATER SUPPLY AND CONSISTENT ELECTRICAL POWER AVAILABILITY. INFORMATION ON IMPACT OF THIS PROPOSAL IS REQUESTED OF HOW CONSTRUCTION IMPACTS WILL BE MANAGED
- OTHER POINTS - FIRE PROTECTION (OCCUPANCY NPPS) - PRESERVE UNNECESSARY
- R.P. BIG FEE CONSTRUCTION JAN 1 - JULY 31 (NOTING) - SERIOUS
- REQUEST 1 - RETURN TO VILLAGE CONCEPT TO EXTENT POSSIBLE
2 - FULL DISCLOSURE ON SCOPE OF CONSTRUCTION (3 HIGHRISES);
3 - A REASONABLE SCHEDULE TO INDICATE DURATION OF IMPACT
4 - COMPLETE INFORMATION TO MITIGATE TRANSPORT/CONST POWER AND WATER
D. E. JAMES

Attachment 13
Draft PDA Amendment Agreement

**PHASED DEVELOPMENT AGREEMENT
AMENDMENT AGREEMENT**

THIS AGREEMENT dated for reference this ____ day of _____, 2017

BETWEEN:

1040985 B.C. LTD. NO. BC1040985
305-1788 West 5th Avenue
Vancouver, BC V6J 1P2

AND

1042719 B.C. LTD., INC. NO. BC1042719
305-1788 West 5th Avenue
Vancouver, BC V6J 1P2

AND

1040984 B.C. LTD., INC. NO. BC1040984
305-1788 West 5th Avenue
Vancouver, BC V6J 1P2

(collectively the “**Owner**”)

AND:

REGIONAL DISTRICT OF NANAIMO
6300 Hammond Bay Road
Nanaimo, BC V9T 6N2

(the “**Regional District**”)

WHEREAS:

- A. By agreement under section 516 of the *Local Government Act* dated July 23, 2014, the Owners, as defined in that Agreement, and the Regional District entered into a Phased Development Agreement (“**PDA**”) with BCIMC Realty Corporation and 3536696 Canada

Inc. (the “**First Owners**”) to govern the development of the Lands as described in Schedule “A” to the PDA.

- B. By agreement dated the ____ day of ____ 20____, (the “**Assignment Agreement**”) the First Owners assigned their interest in the PDA to 1042719 B.C. Ltd, 1040984 B.C. Ltd, and 1040985 B.C. Ltd (collectively the “**New Owners**”) and the New Owners have assumed the obligations of the Owners under the PDA;
- C. The New Owners wish to amend the scheme of the development and the amenities described in the PDA as it applies to the Schooner Cove Land and the Regional District has agreed to amend the PDA as requested by the New Owners on the terms and conditions set out in this Agreement; and
- D. The parties have agreed to additional amendments to the PDA to better define the obligations and rights of the parties;

NOW THEREFORE THIS AGREEMENT WITNESSES that pursuant to sections 516 and 519 of the *Local Government Act* and in consideration of the premises and for other good and valuable consideration, the receipt and sufficiency are hereby acknowledged, the parties agree as follows:

A. Definitions and Interpretation

In this Agreement, the following words and phrases have the following meanings:

“**PDA**” means the Phased Development Agreement dated July 23, 2014 between BCIMC Realty Corporation and 3536696 Canada Inc. as “Owner” and the Regional District.

“**Schooner Cove Land**” has the same meaning as in the PDA, as amended by this Agreement.

B. Amendments to PDA

The parties agree that the PDA is amended as follows:

1. Definitions

The definitions are amended to read as follows:

A new definition is added as follows:

“**Building A**” means the building existing as of July 1, 2017 on Lot 1, District Lot 78, Nanoose District, and District Lots 2085, 2086, 2087, 2088 and 2089, Nanaimo District Plan VIP87121 within the Schooner Cove Land to be substantially altered and renovated for use as a mixed-use building;

A new definition is added as follows:

“Building B” means a new mixed use building to be constructed on Lot 1, District Lot 78, Nanoose District, and District Lots 2085, 2086, 2087, 2088 and 2089, Nanaimo District Plan VIP87121.

A new definition is added as follows:

“Canada” means Her Majesty the Queen in Right of Canada.

The definition of **“PDA Bylaw”** is amended by inserting the bylaw number ‘1692,’ before ‘2013’.

A new definition is added as follows:

“Schooner Cove Water Lot (BC)” means land owned by the Province having a legal description of District Lot 2084, Nanaimo District held under Lease No. 109021 in favour of 1042719 B.C. Ltd.

A new definition is added as follows:

“Schooner Cove Water Lot (Canada)” means land owned by Canada having a legal description of District Lot 105, Nanaimo District.

A new definition is added as follows:

“Schooner Cove Water Lots” means the Schooner Cove Water Lot (BC) and the Schooner Cove Water Lot (Canada).

The definition of **“Statutory Right of Way for Public Access (Strata Maintained)”** is deleted and replaced with the following:

“means a statutory right of way for a public access that will be maintained by a strata corporation, under section 218 of the *Land Title Act* to include a covenant under section 219 of the *Land Title Act* to secure the obligations of the strata corporation and substantially in the form that is attached as Schedule “M” hereto.”

A new definition is added as follows:

“Statutory Right of Way for Public Access to Boat Ramp (Strata Maintained)” means a statutory right of way for a public access that will be maintained by a strata corporation, under section 218 of the *Land Title Act* to include a covenant under section 219 of the *Land Title Act* to secure the obligations of the strata corporation and substantially in the form that is attached as Schedule “FF” hereto.

A new definition is added as follows:

“Option A” means that portion of the route of the Waterfront Pathway / Boardwalk located on the water frontage of the Schooner Cove Lands and the lands of Schooner House Strata VIS745, commencing at a point adjacent to the landward terminus of the breakwater

within the Schooner Cove Water Lot (Canada) and ending at a point adjacent to the northwesterly corner of Building A, as those landmarks are shown on the Schooner Cove Public Open Space Phasing Plan attached as Schedule “I” to the PDA as it existed on the date of adoption of Regional District of Nanaimo Phased Development Agreement (Lakes District and Schooner Cove) Authorization Bylaw No. 1692, 2013.

A new definition is added as follows:

“Option A (Schooner House Strata Segment)” means that portion of Option A located on the lands of Schooner House Strata VIS745.

A new definition is added as follows:

“Option B” means that portion of the route of the Waterfront Pathway / Boardwalk located on the Schooner Cove Water Lots and traversing the improvements within the Schooner Cove Water Lots, commencing at a point adjacent to the landward terminus of the breakwater within the Schooner Cove Water Lot (Canada) and ending at a point adjacent to the northwesterly corner of Building A, as those landmarks are shown on the Schooner Cove Public Open Space Phasing Plan (Schedule “I”).

A new definition is added as follows:

“Province” means Her Majesty the Queen in Right of the Province of British Columbia.

A new definition is added as follows:

“Multi-Use Pathway” means the multi-use pathway shown on the Schooner Cove Public Open Space Phasing Plan (Schedule “I”).

2. Phasing - Schooner Cove Land

- 2.1 Section 3(a) is amended by replacing the first 3 (three) lines of section 3(a) with the following:

“the development of Phases 1SC to 3SC shall be such that, unless consented to by the Regional District, the Owner will not make application for registration of a Subdivision, nor shall the Owner be entitled to issuance of a building permit within.”

- 2.2 Section 3(a)(i) of the PDA is amended by adding the words “(or other rights, where permitted in section 12A)” after the words “statutory rights of way” and by deleting the words:

“in section 12 and in section 13 hereof”

and replacing them with the following:

“in sections 12, 12A and 13 hereof”.

2.3 Section 3(a)(ii) of the PDA is amended by adding the words “(or other rights, where permitted in section 12A)” after the words “statutory rights of way” and by deleting the words:

“section 12 and section 13 hereof”

and replacing them with the following:

“sections 12, 12A and 13 hereof”.

2.4 Section 3(a)(ii) of the PDA is amended by deleting the following:

“the Jib Crane Hoist has been constructed or security for same has been provided as set out in section 22 hereof;”

3. Amenities, Amenity Payments and related items- Schooner Cove Public Access

3.1 Section 12 of the PDA is amended by deleting the opening words:

“The Owner shall, concurrently with the registration of the first Subdivision within:

and replacing them with the following:

“The Owner shall, prior to the registration of the first Subdivision, or within 18 months of the issuance of the first building permit, whichever occurs first, and in any event prior to the issuance of the first occupancy permit within:”.

3.2 Section 12 of the PDA is amended by adding a new section (d) as follows:

“(d) use reasonable commercial efforts to cause the grant to the Regional District of a 3.0 metre wide statutory right of way, substantially in the form set out in Schedule “L”, for public access over Option A (Schooner House Strata Segment);”

and by re-numbering the existing section (d) as section (e).

3.3 Section 12 of the PDA is amended by adding the following words after subsection (e):

“For certainty, the registration of the first Subdivision or the issuance of the first building permit (as the case may be) within either of Phase 1SC (the Village) or Phase 2SC (the Waterfront) shall trigger the requirements in subsections (c), (d) and (e) above with respect to that particular Phase only, not the other Phase, and the requirements in subsections (c), (d) and (e) above shall be triggered with respect to the other Phase by the registration of the first Subdivision or the issuance of the first building permit (as the case may be) within it.

3.4 A new Section 12A is added to the PDA immediately following section 12 as follows:

- “12A The Owner shall, prior to the registration of the first Subdivision, or within 18 months of the issuance of the first building permit, whichever occurs first, and in any event prior to the issuance of the first occupancy permit within Phase 1SC (the Village) shown on the Schooner Cove Land Use Phasing Plan (Schedule “H”):
- (a) grant or cause the grant to the Regional District, with the consent of the Province or Canada, as the case may be, as land owner, a licence to enable public use of the improvements located within the Schooner Cove Water Lots for public pedestrian purposes upon and across Option B on terms and conditions satisfactory to the Regional District, in its sole discretion, to include the obligation of the Owner to maintain the Waterfront Pathway / Boardwalk to a high standard of maintenance and indemnify the Regional District for any loss or injury arising from public use of the Waterfront Pathway / Boardwalk arising other than from the Regional District’s negligence;
 - (b) covenant with the Regional District by way of covenant registered under section 219 of the Land Title Act registered against title to Lot 1, District Lot 78, Nanoose District, and District Lots 2085, 2086, 2087, 2088 and 2089, Nanaimo District Plan VIP87121 (“Schooner Cove Land-Lot 1”) substantially in the form attached to this Agreement as Schedule “EE”, to use the Schooner Cove Land – Lot 1 only in a manner that permits public access to the Schooner Cove Water Lots, and to pay an amenity contribution to the Regional District in the event that the licence referred to in subsection (a) above expires or terminates for any reason, whether in whole or in part; and
 - (c) satisfy the obligation of the Owner under section 13(d) in relation to Phase 1SC (the Village), regardless of whether or not the requirement under section 13(d) has been triggered in relation to Phase 1SC (the Village) pursuant to the provisions of section 13.

3.5 A new Section 12B is added to the PDA immediately following Section 12A as follows:

“12B Notwithstanding any other provision of this Agreement, in the event title is raised to the Schooner Cove Water Lot (BC) or the Schooner Cove Water Lot (Canada), the Owner shall, not more than 12 months after title is raised, grant or use best efforts to cause the grant to the Regional District of a statutory right of way and covenant under sections 218 and 219 of the *Land Title Act* in favour of the Regional District for public pedestrian passage over that portion of the Waterfront Pathway / Boardwalk within the Schooner Cove Water Lot (BC) or the Schooner Cove Water Lot (Canada), as the case may be (it being understood and agreed that the requirements of this Section 12B shall apply separately and with equal force to each of the Schooner Cove Water Lots), on terms and conditions satisfactory to the Regional District in its sole discretion (including covenants relating to the

maintenance by the Owner of the Waterfront Pathway / Boardwalk, and an obligation of the Owner to indemnify the Regional District for any loss or injury arising from public use of the Waterfront Pathway / Boardwalk arising other than from the Regional District's negligence).

4. Amenities, Amenity Payments and related items – Schooner Cove Waterfront Pathway/ Boardwalk, Walking Pathway and Public Access Open Space Improvements – Owner's Land

4.1 The heading "(a) Owner's Land" immediately prior to section 17 of the PDA is deleted and replaced with the heading "(a) Construction".

4.2 Section 17 of the PDA is deleted and replaced with the following:

"The Owner shall, not more than 18 months after the issuance of the first building permit within Phase 1SC (the Village), Phase 2SC (the Waterfront) or Phase 3SC (the Commons), as the case may be, and prior to the issuance of an occupancy permit in respect of any building or improvement in that Phase, complete the construction at its own cost of the Waterfront Pathway/Boardwalk, Walking Pathway, Public Access Open Space and Multi-Use Pathway within that Phase:

(a) in the locations shown on the Schooner Cove Public Open Space Phasing Plan (Schedule "I"); and

(b) to the standards set out in the Schooner Cove Pathway and Floating Boardwalk Standards (Schedule "J"),

provided that the Owner shall not be obligated to construct the Waterfront Pathway/Boardwalk within Option B if the Owner has already constructed the Waterfront Pathway/Boardwalk within Option A, and provided further that the Owner shall, within 12 months of the demolition of Building A, and notwithstanding any other provision of this Agreement, construct, at its own cost, the Waterfront Pathway / Boardwalk improvements within that portion of Option A within Phase 1SC."

5. Amenities, Amenity Payments and related items – Schooner House Strata section

5.1 The heading "(b) Schooner House Strata section" immediately prior to section 18 of the PDA is amended by deleting the word "section" and replacing it with the word "Segment".

5.2 Section 18 of the PDA is amended by deleting subsection 18(b) and replacing it with the following:

"(b) so soon thereafter as the Owner is able, using reasonable commercial efforts, to secure at the Owner's cost a statutory right of way in favour of the Regional District substantially in the form set out in Schedule "L" to permit public access to and along the Waterfront Pathway/Boardwalk within Option A (Schooner House Strata Segment),".

5.3 Section 18 of the PDA is amended by deleting subsection 18(c) and (d) and replacing them with the following:

“(c) within Option A (Schooner House Strata Segment); and

(d) to the standards set out in the Schooner Cove Pathway and Floating Boardwalk Standards (Schedule “J”).”

5.4 Section 19 of the PDA is deleted and replaced with the following:

“In the event the Owner is unable to secure the grant of a statutory right of way over Option A (Schooner House Strata Segment) prior to the registration of the first Subdivision within Phase 3SC (the Commons), the Owner shall provide security to the Regional District for 125% of the cost of construction and materials of the section of the Waterfront Pathway/Boardwalk within Option A by way of a clean irrevocable letter of credit, and shall renew the same prior to its expiry until construction is complete. The construction by the Owner of the Waterfront Pathway/Boardwalk within Option B shall not relieve the Owner of the obligation to provide security under this section 19, and the Owner shall provide, maintain and renew such security as aforesaid until such time as a statutory right of way over Option A (Schooner House Strata Segment) has been granted and the Owner has completed construction of the section of the Waterfront Pathway/Boardwalk within Option A.”

6. Amenities, Amenity Payments and related items – Management of park and public access

6.1 Section 20(a) of the PDA is amended by adding the following after the word “shall” in the second line:

“, except as provided in sections 12A and 12B,”.

6.2 A new section 20A is added to the PDA immediately following section 20 as follows:

“The Owner shall, prior to the registration of the first Subdivision, or within 18 months of the issuance of the first building permit, whichever occurs first, and in any event prior to the issuance of the first occupancy permit within each of Phase 1SC (the Village), Phase 2SC (the Waterfront) or Phase 3SC (the Commons), as the case may be, do one of the following:

- (a) secure an agreement, satisfactory to the Regional District, acting reasonably, from the Ministry of Transportation and Infrastructure (“MOTI”) whereby MOTI assumes ongoing responsibility for the maintenance, operation and management of the portion of the Multi-Use Pathway within that Phase; or
- (b) successfully petition the board of the Regional District to adopt a bylaw establishing a local area service for the maintenance, operation and management of the portion of the Multi-Use Pathway within that Phase, with “success” for purposes of this section meaning that the board has adopted such a bylaw.”

7. Amenities, Amenity Payments and related items –Security

7.1 Section 22 of the PDA is deleted and replaced with the following:

“The Owner agrees to provide the Regional District with security for the construction of the improvements provided for in sections 14, 15, 16, 17 and 18, as a precondition to the approval of the Subdivision or, where Subdivision is to occur (if at all) only after construction or renovation of a building, as a precondition to the issuance of the building permit to which the construction obligation relates, which security shall cover 125% of the cost of construction and materials, and shall be by way of a clean, irrevocable letter of credit, which the Owner shall renew prior to its expiry until construction is complete.”

8. Amenity Payments, and amenity work – Fire safety

8.1 A new section 35A is added to the PDA immediately following section 35 as follows:

“35A The Owner shall:

- (a) Concurrently with the renovation of Building A, and prior to the issuance of an occupancy permit for the renovated Building A, install to the satisfaction of the Regional District a sprinkler system and a fire alarm system within Building A; and
- (b) Concurrently with the construction of Building B, and prior to the issuance of an occupancy permit for Building B, install to the satisfaction of the Regional District a sprinkler system, fire alarm system, and video monitoring (for firefighting purposes) system within Building B.

9. Amenities, Amenity Payments and related items – Improvements for private commercial operations

9.1 Section 40 of the PDA is deleted and replaced with the following:

“The Owner shall, prior to the registration of the first Subdivision, or within 18 months of the issuance of the first building permit, whichever occurs first, and in any event prior to the issuance of the first occupancy permit within Phase 1SC (the Village), grant a statutory right of way substantially in the form attached as Schedule “FF” in favour of the Regional District for and on behalf of the public to permit public access to the existing boat access ramp, provided that the Regional District agrees that such public access may be subject to such reasonable fees for use of the boat ramp as may be imposed by the Owner from time to time and provided that the Owner may, at the time of granting of the statutory right of way, propose amendments to the form attached as Schedule “FF” for the purpose of better assuring the Owner’s ability to maintain, manage and secure the boat access ramp, and the Regional District shall not unreasonably refuse its agreement to such amendments so long as the intended right of public access to the boat ramp is, in substance, preserved.

10. Subdivision and Development Infrastructure – Infrastructure Works

- 10.1 Section 44 of the PDA is amended by deleting the first 3 lines and replacing them with the following:

“The Owner further agrees to provide the supporting material from a Qualified Professional, Qualified Environmental Professional, or qualified Archaeologist set out in subsections (a) through (d) below as part of its Subdivision applications or, where Subdivision is to occur (if at all) only after construction or renovation of a building, concurrent with the application for the development permit to which the construction obligation relates (provided that in the case of the CEMP referred to in subsection (d) below, where the Owner proposes or intends to carry out any land alteration or other development activities prior to Subdivision, the Owner must provide the CEMP to the Regional District prior to the issuance of a development permit authorizing such land alteration or development activities):”

- 10.2 Section 45 of the PDA is amended by deleting the first 4 lines and replacing them with the following:

“Without limiting the generality of section 42, subject to the qualifications set out therein, the Owner further agrees to the incorporation of a requirement for a Construction Covenant, substantially in the form attached as Schedule “S” hereto, speaking to the following matters, as a precondition to Subdivision approval or issuance of a building permit, whichever comes first, within a Phase:”

11. Term, termination, enforcement and arbitration

- 11.1 Add the following as a new subsection 64(c)(iv)

- (i) sections 17 and 18 [Schooner Cove Waterfront Pathway / Boardwalk, Public Pathway and Public Access Open Space Improvements]

and renumber the existing subsection (iv) as (v).

- 11.2 Subsection 68(a)(xii) is amended by deleting the words “Jib Crane Hoist” and replacing them with the words “boat access ramp”.

12. Other

- 12.1 A new section 81A is added as follows:

“81A – Security

Wherever the Owner is required in this Agreement to provide financial security to the Regional District for the satisfaction of an obligation, whether such security takes the form of cash, an irrevocable letter of credit, or otherwise, the Owner must maintain and renew such security indefinitely until such time as the corresponding obligation of the Owner is satisfied. If, upon the date that is six (6) months prior to the expiration of the Term of this Agreement, or upon the effective date of the earlier termination of this Agreement, whichever is first, any security remains held by the Regional District for which the corresponding obligation of the Owner has

not been satisfied, then such security shall without further notice be forfeited to the Regional District absolutely, and the Regional District may thereupon draw down, use, and spend the entirety of such security as it deems fit for the purpose of carrying out any unsatisfied obligations of the Owner under this Agreement, or for the purpose of providing public amenities within the Lakes District Land or the Schooner Cove Land or lands adjacent thereto, all in the sole discretion of the Regional District, and all without prejudice to any other right or remedy the Regional District may have in respect of a default of the Owner.”

13. Schedules

The following schedules to the PDA are replaced by the corresponding appendix to this Agreement as set out below:

Schedule Reference	Document Name	Appendix Reference
Schedule “A”	Owner’s Land	Appendix 1
Schedule “B”	Site Plan	Appendix 2
Schedule “H”	Schooner Cove Land Use Phasing Plan	Appendix 3
Schedule “I”	Schooner Cove Public Open Space Phasing Plan	Appendix 4
Schedule “J”	Schooner Cove Pathway Standards	Appendix 5
Schedule “K”	Schooner Cove Infrastructure Phasing Plan	Appendix 6
Schedule “M”	Statutory Right of Way for Public Access (Strata Maintained)	Appendix 7
Schedule “EE”	Boardwalk Alternative Covenant	Appendix 8
Schedule “FF”	Statutory Right of Way for Public Access to Boat Ramp (Strata Maintained)	Appendix 9

and reference is added to section 82 of the PDA (and the Index) to “Schedule “EE” – Boardwalk Alternative Covenant”, and Schedule “FF” – Statutory Right of Way for Public Access to Boat Ramp (Strata Maintained).

14. Preamble

Recital clause “E” in the preamble to the PDA is amended by inserting “2014” into each of the three (3) blank spaces.

C. Interpretation

In this Agreement:

- (a) the headings and captions are for convenience only and do not form a part of this Agreement and will not be used to interpret, define or limit the scope, extent or intent of this Agreement or any of its provisions;
- (b) the word “including” when following any general term or statement is not to be construed as limiting the general term or statement to the specific items or matters set forth or to similar terms or matters but rather as permitting it to refer to other items or matters that could reasonably fall within its scope;

- (c) a reference to currency means Canadian currency;
- (d) a reference to a statute includes every regulation made pursuant thereto, all amendments to the statute or to any such regulation in force from time to time and any statute or regulation that supplements or supersedes such statute or any such regulation;
- (e) a reference to time or date is to the local time or date in Nanaimo, British Columbia;
- (f) a word importing the masculine gender includes the feminine or neuter, and a word importing the singular includes the plural and vice versa;
- (g) a reference to approval, authorization, consent, designation, waiver or notice means written approval, authorization, consent, designation, waiver or notice;
- (h) a reference to a section means a section of this Agreement, unless a specific reference is provided to a statute; and
- (i) This Agreement is to be constructed in accordance with and governed by the laws applicable in the Province of British Columbia.

D. Notice

A notice, demand, statement, request or other evidence required or permitted to be given hereunder must be written and will be sufficiently given if delivered in person, transmitted by facsimile or mailed in Canada by registered mail addressed as follows:

- (a) if to the Owner:
c/o _____

Attention: _____

- (b) if to the Regional District:

REGIONAL DISTRICT OF NANAIMO
6300 Hammond Bay Road
Nanaimo, BC V9T 6N2
Fax: 250-390-4163

Attention: Director of Corporate Services

in which case such notice, demand, statement, request or other evidence will be considered to have been given to the party to whom it is addressed on the third business day following the date of mailing, and a party at any time may give notice to the others of a change of address after which the address so specified will be considered to be the address of the party who gave the notice. Any notice, demand, statement, request or other evidence delivered in person will be considered to have been given at the time of personal delivery and any notice, demand, statement, request or other evidence

transmitted by facsimile will be considered to have been given to the party to whom it is addressed on the next business day following the date of such transmission.

E. Counterparts

This Agreement may be executed in counterparts and delivered by facsimile transmission or other means of electronic communication capable of producing a printed copy, each of which so executed and delivered shall be deemed to be an original, and such counterparts together shall constitute one and the same instrument, and notwithstanding the date of execution will be deemed to be effective as of the date first written above. Any party that delivers a counterpart copy of this Agreement by facsimile or electronic transmission shall deliver an originally executed copy of this Agreement promptly thereafter; provided that the failure to do so shall not affect the validity or enforceability of this Agreement.

IN WITNESS WHEREOF the Parties have executed this Agreement as of the date first written above.

1040985 B.C. LTD. NO. BC1040985,)
 by its authorized signatory(ies):)
)
 _____)
 Name:)
)
 _____)
 Name:)

1042719 B.C. LTD., INC. NO. BC1042719,)
 by its authorized signatory(ies):)
)
 _____)
 Name:)
)
 _____)
 Name:)

1040984 B.C. LTD., INC. NO. BC1040984)
 by its authorized signatory(ies):)
)
 _____)
 Name:)
)
 _____)
 Name:)

REGIONAL DISTRICT OF NANAIMO,)
 by its authorized signatory(ies):)
)
 _____)
 Name:)
)
 _____)
 Name:)

Appendix 1 Schedule A – Owner’s Land

SCHEDULE “A”: OWNER’S LAND

The Owner’s Land is those certain lands legally described below.

A. Lakes District Land

Parcel	PID	Legal Description	(hectares)	Registered Owner
1	002-730-421	LOT 1, DISTRICT LOTS 30 AND 78, NANOOSE DISTRICT, PLAN 26219, EXCEPT THOSE PARTS IN PLANS 28246, 29574, 30072, 30262, 34675, 36514, 48548 AND VIP53001	188.9 ha	1040985 B.C. LTD.
2	006-598-439	A PORTION OF THE LANDS LEGALLY DESCRIBED AS DISTRICT LOT 78, NANOOSE DISTRICT, EXCEPT THAT PART SHOWN OUTLINED IN RED ON PLAN DEPOSITED UNDER DD19579; EXCEPT PARCELS A AND B (DD7528N); AND EXCEPT THOSE PARTS IN PLANS 813R, 1567 OS, 14212, 14250, 14275, 15075, 15193, 22836, 24012, 25366, 26219, 27129, 27206, 29869, 34675, 47638, 48548, 48585, 49669, 50872, 51142, VIP51603, VIP51706, VIP51707, VIP53134, VIP57407, VIP59180, VIP59494, VIP60049, VIP60602, VIP71781, VIP73214, VIP78139, VIP80854, VIP80855, VIP80856, VIP85588 and VIP88308	60.2 ha	1040985 B.C. LTD.
3	006-598-323	A PORTION OF THE LANDS LEGALLY DESCRIBED AS DISTRICT LOT 30, NANOOSE DISTRICT, EXCEPT THOSE PARTS IN PLANS 15193, 26219, 48585, VIP51706, VIP51707, VIP52451, VIP53134, VIP57407, VIP60049, VIP60602 and VIP88308	25.8 ha	1040985 B.C. LTD.
4	006-598-242	A PORTION OF THE LANDS LEGALLY DESCRIBED AS DISTRICT LOT 7, NANOOSE DISTRICT, EXCEPT THAT PART OUTLINED IN RED ON PLAN 1567 OS, 48548, VIP59496 AND VIP80856	0.02 ha	1040985 B.C. LTD.
5	006-598-293	DISTRICT LOT 11, NANOOSE DISTRICT, EXCEPT THAT PART OUTLINED IN RED ON PLAN 1567 OS, 48548 AND VIP59496	6.1 ha	1040985 B.C. LTD.

CW6735054.8

6	001-279-084	30262	LOT 8, DISTRICT LOT 78, NANOOSE DISTRICT PLAN	2.0 ha	1040985 B.C. LTD.
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Total				283.02 ha	
--------------	--	--	--	------------------	--

B. Schooner Cove Land

Parcel	PID	Legal Description	(hectares)	Registered Owner
1	028-022-998	LOT 1, DISTRICT LOT 78, NANOOSE DISTRICT, and DISTRICT LOTS 2085, 2086, 2087, 2088, 2089, NANAIMO DISTRICT, PLAN VIP87121	1.6 ha	1042719 B.C. LTD.
2	001-760-068	LOT 1, DISTRICT LOT 78, NANOOSE DISTRICT, PLAN 28544	2.5 ha	1040984 B.C. LTD.
3	028-023-391	LOT 1, DISTRICT LOT 2090, NANAIMO DISTRICT AND DISTRICT LOT 78, NANOOSE DISTRICT, PLAN VIP87122	0.8 HA	1040984 B.C. LTD.
Total			4.9 ha	

C. Schooner Cove Water Lot

(Owned by Province, leased to 1042719 B.C. LTD.)

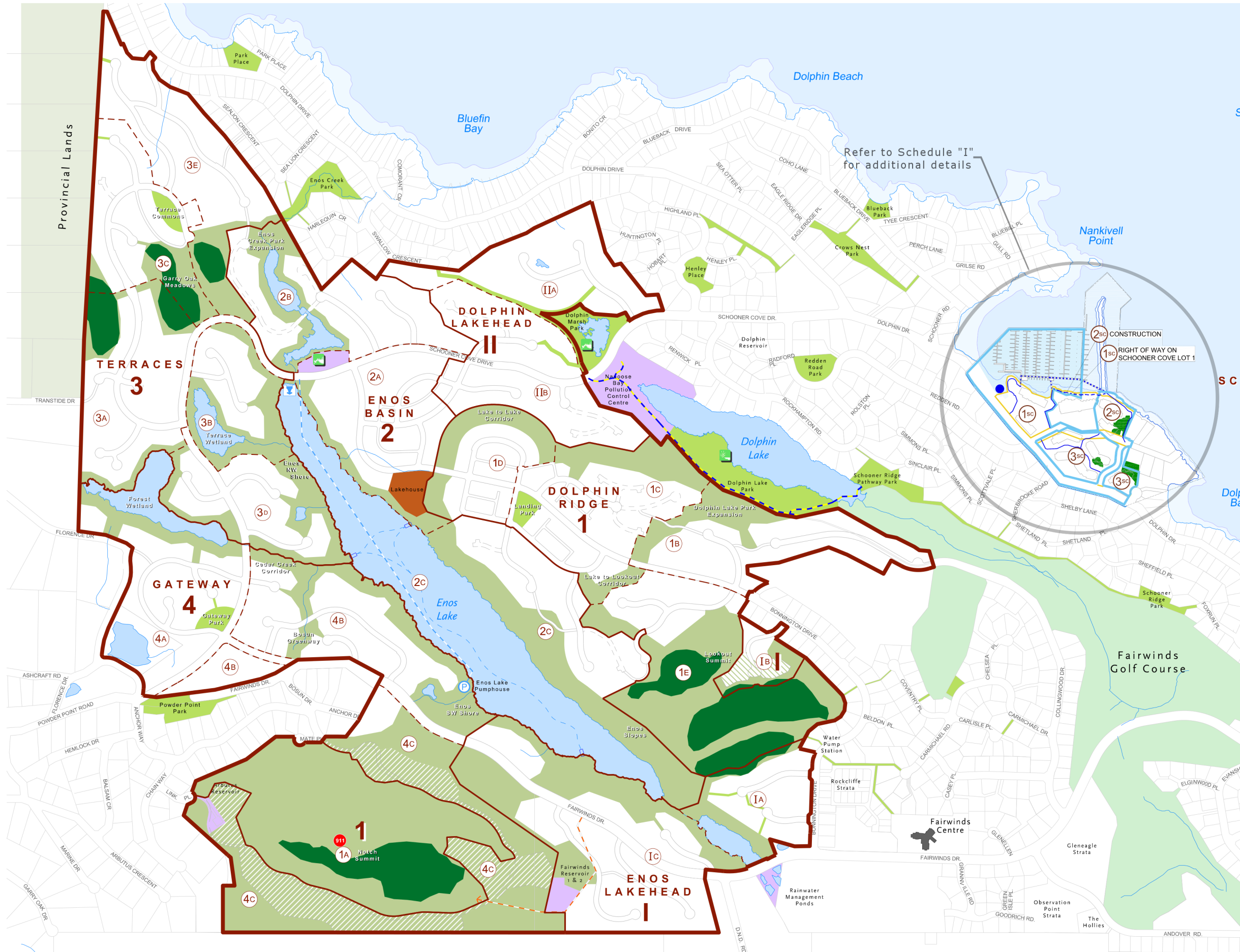
Parcel	PID	Legal Description	(hectares)
4	n/a	DL 2084, NANAIMO DISTRICT, (COMMERCIAL MARINA) LICENCE 109021	3.8 ha

Note: the land areas set out in this Schedule are drawn from Land Title records. In order to ensure consistency as between the various area references, the land areas referenced in the body of this Agreement and in the other Schedules to this Agreement are derived from CAD drawings, which includes an updating of old survey information where available. All areas are subject to confirmation upon legal survey.

Appendix 2
Schedule B - Site Plan

LAKES DISTRICT & SCHOONER COVE PHASED DEVELOPMENT AGREEMENT

SCHEDULE B SITE PLAN



LEGEND

- The Lakes District Plan Area
- 1** (1A) Lakes District Development Phases & Sub-Phases
- Schooner Cove Plan Area
- 1sc Schooner Cove Development Phases
- Owner's Land
- Regional Park
- Community Park
- Lookout Development Lands subject to Option to Purchase
- Notch Park Lands subject to Option to Purchase
- Garry oak Meadow Polygons
- Lakehouse
- Civic Infrastructure
- Schooner Cove Waterfront Pathway / Boardwalk
Refer to Schedule "I" for additional details form Boardwalk options
- Schooner Cove Walking Pathway
- Dolphin Lake Park & NBPCC Trail
- Enos Lake Submerged Water Line
- Notch Trail SRoW
- Enos Lake Docks
- Rainwater Management Pond
- Enos Lake Outlet Weir
- P Enos Lake Pumphouse
- Boat Ramp
- 911 911 Repeater - Approximate Location



Appendix 3
Schedule H - Schooner Cover Land Use Phasing Plan

SCHOONER COVE ALL PHASES

PHASE 1SC

Village Mixed Use	23%	1.37 ha 3.86 ac
Marina	64%	3.72 ha 9.19 ac
Multi-Dwelling Residential	-	-
Public Road ROW	13%	0.78 ha 1.93 ac
Total	100%	5.87 ha 14.51 ac

PHASE 2SC

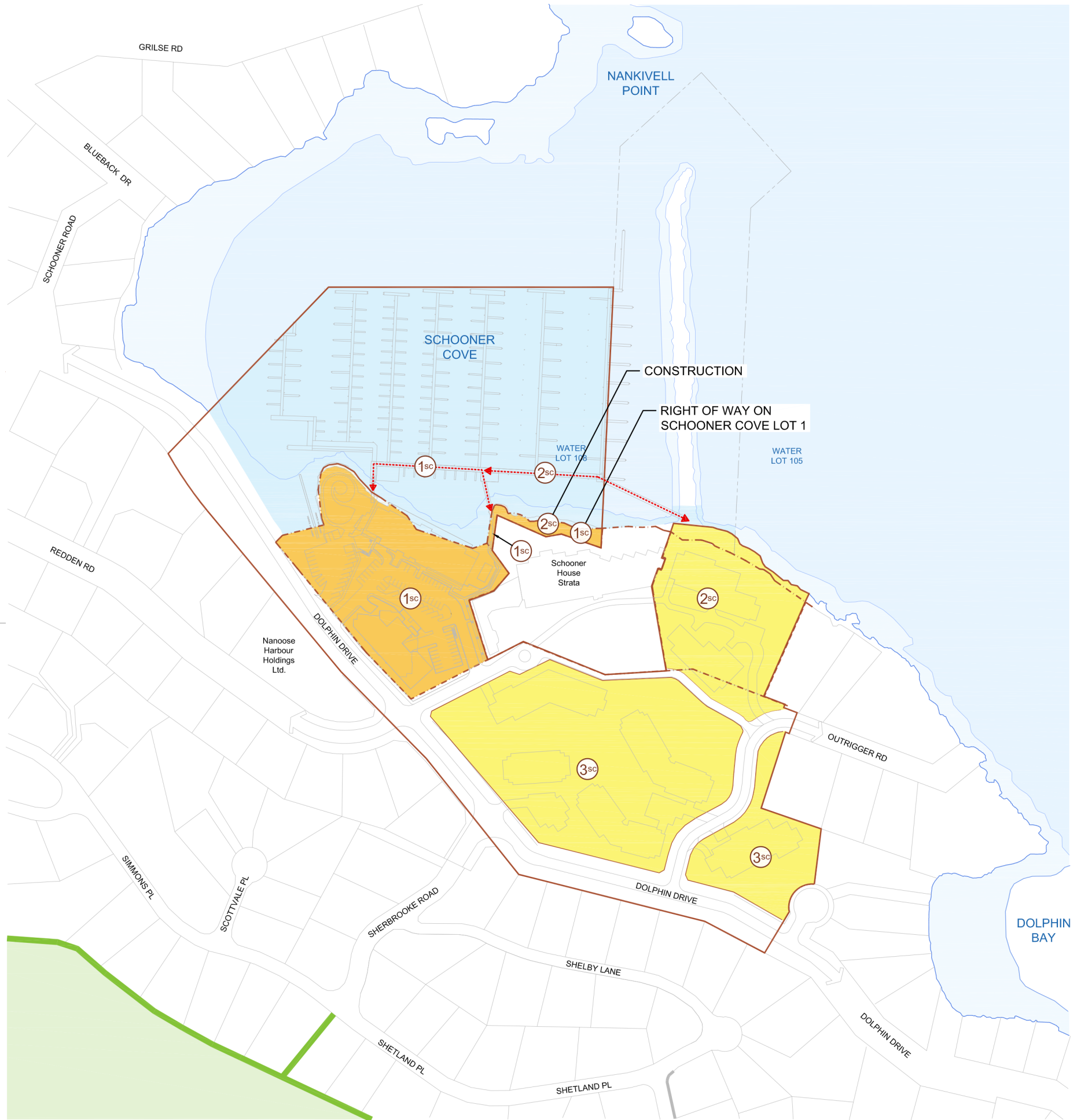
Village Mixed Use	6%	0.07 ha 0.17 ac
Marina	-	-
Multi-Dwelling Residential	67%	0.94 ha 2.32 ac
Public Road ROW	27%	0.38 ha 0.94 ac
Total	100%	1.40 ha 3.46 ac

PHASE 3SC

Village Mixed Use	-	-
Marina	-	-
Multi-Dwelling Residential	79%	2.48 ha 6.13 ac
Public Road ROW	21%	0.67 ha 1.66 ac
Total	100%	3.15 ha 7.78 ac

TOTAL

Village Mixed Use	14%	1.44 ha 3.56 ac
Marina	36%	3.72 ha 9.19 ac
Multi-Dwelling Residential	33%	3.42 ha 8.45 ac
Public Road ROW	17%	1.83 ha 4.52 ac
Total	100%	10.42 ha 25.75 ac



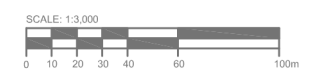
SCHOONER COVE LAND USE PHASING

SCHEDULE "H"



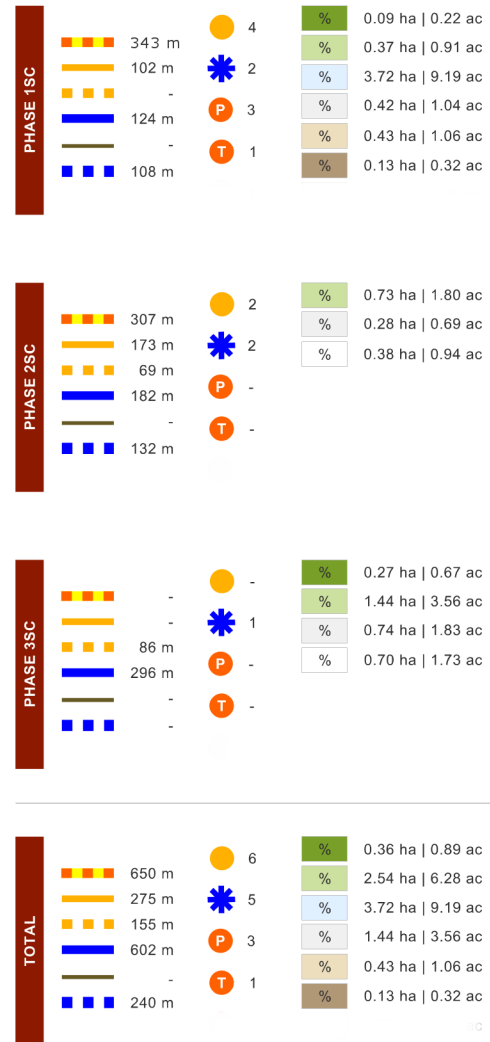
LEGEND

- Village Mixed Use
- Marina
- Multi-Dwelling Residential
- Public Road ROW



Appendix 4
Schedule I - Schooner Cove Public Open Space Phasing Plan

SCHOONER COVE ALL PHASES

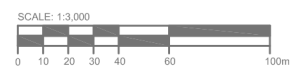


SCHOONER COVE PUBLIC OPEN SPACE PHASING SCHEDULE "I"



LEGEND

- Public Access Open Space
- Private Strata Open Space
- Marina
- Public Access Plaza
- Public Access Marina Deck
- Public Road ROW
- Boat Ramp
- Ramp Landing Area Min. 6m x 8m
- Multi-Use Pathway
3.0m Hard Surface
- Sidewalk
1.5m Hard Surface
- Emergency Connector & Pathway
1.5m Hard Surface
- 1^{sc} Waterfront Pathway / Boardwalk Option B
- 2^{sc} Waterfront Pathway / Boardwalk Option B
- Boardwalk Option A
- Walking Pathway
- Existing Sidewalk
- Designated Street Crossing
- Public Destination View & Amenity
- Public Parking
- Transit Stop



FAIRWINDS

Appendix 5
Schedule J - Schooner Cove Pathway and Floating Boardwalk Standards

**SCHEDULE "J": SCHOONER COVE PATHWAYS AND FLOATING BOARDWALK STANDARDS
JUNE 2017**

Schooner Cove Pathway and Floating Boardwalk Standards

JUNE 2017



EXAMPLE OF THE PUBLIC DESTINATION VIEW AND AMENITY AREA

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1 SCHOONER COVE NEIGHBOURHOOD

Introduction

Schooner Cove Neighbourhood Plan, OCP Amendment Bylaw No.1400, adopted by the Regional District of Nanaimo in 2011, provides for the creation of a maritime village to live, work, shop and play. The 12.39 ha neighbourhood contributes towards the implementation of the Regional Growth Strategy and a more sustainable community.

The design for Schooner Cove takes its cue from traditional maritime villages with a focus on celebrating its relationship to the coast, featuring neighbourhood-scaled and community-oriented commercial services, all structured by public open spaces and pathways.

Through the design and implementation of the Neighbourhood Plan, Schooner Cove will foster a vibrant public realm featuring a waterfront green and boardwalk, plazas, public art, and pedestrian network.

The pedestrian network at Schooner Cove enhances the public realm through its interconnected system of sidewalks, pathways and trails with access to the waterfront preserved as a public amenity.

The following Pathway Standards serve as a framework to implement the public open space vision adopted in the Neighbourhood Plan. The methods and technical information used are sourced from Best Management Practices, as well as the following professional reporting:

- *The Lakes District Preliminary Geotechnical Terrain Assessment*, (Trow Associates, 2008);
- *Archaeological Overview Assessment: Lakes District & Schooner Cove Neighbourhood Plan Areas, Nanoose Bay, BC*, (IR Wilson Consultants, 2008);
- *The Lakes District Study Area; Fairwinds Development Detailed Biophysical Inventory*, (Cascadia Biological, 2009);
- *Schooner Cove Nearshore Marine Assessment*, (Archipelago Marine Research Ltd, 2009); and,
- *Fairwinds' The Lakes District and Schooner Cove Neighbourhood Plan; Environmental Impact Assessment*, (Pottinger Gaherty Environmental Consultants, 2010).

General design standards for each pathway type are tailored with the goal of implementing and celebrating the public realm within Schooner Cove. Guidelines provide general directions for pathway construction; it is recognized that implementation may require adjustments. Future detailed design will be completed at the construction stage, under the supervision of a registered professional where applicable and required.

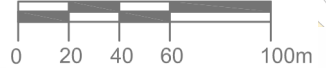


2 SCHOONER COVE PUBLIC REALM



FIG. 1 Schooner Cove Open Space Plan

SCALE: 1:3,000



- | | | | | | |
|--|---------------------------|--|--|--|---|
| | Public Access Open Space | | Multi-Use Pathway
3.0m Hard Surface | | Designated Street Crossing Public |
| | Private Strata Open Space | | Sidewalk
1.5m Hard Surface | | Public Destination View & Amenity |
| | Marina | | Emergency Connector & Path
3.0m Hard Surface | | Parking |
| | Public Access Plaza | | Waterfront Floating Boardwalk | | Transit Stop |
| | Public Access Marina Deck | | Walking Pathway | | Alternate boardwalk
Preferred option |
| | Public Road ROW | | Existing Sidewalk | | Subject to acceptable agreement
between the developer and the
Schooner House Strata |
| | | | Ramp Landing Area
Min. 6m x 8m
Refer to page 7 | | |

The Schooner Cove Neighbourhood envisions a vibrant mixed-use village as the waterfront heart for Nanoose Bay. Public access and open space is established through site-planning and design with particular attention to existing landform and landscape character, desired Village program, and opportunities for environmental conservation and enhancement.

A robust public realm design – including publicly accessible gathering spaces and plazas, pathways, pavilions, gardens and greenways – for the Schooner Cove Neighbourhood, integrates the range of Village land uses and provides an inviting ‘sense of place.’ The same intent extends to the private realm to create a thread of visual continuity and physical connectivity to the surrounding residential precincts, while addressing landscape buffers between the commercial, mixed-use and residential precincts.

SCHOONER COVE - elements of the public realm

- A Public Waterfront Boardwalk**
A key feature of the Schooner Cove Village, the public waterfront boardwalk links the commercial marina and waterfront village to the larger network of public access open space and inland pathways.
- B Waterfront Commons**
Designed to enhance the existing community green at Schooner Cove, the “waterfront Green” is the central social gathering space for the Schooner Cove Village, framed by the waterfront programs of the Marine Service office and waterfront commercial area.
- C Multi-use pathway**
The Multi-use pathway provides a continuous pedestrian connection between the Lakes District and Schooner Cove Neighbourhoods. In addition to improving pedestrian access to the Village, the pathway creates greater physical separation between existing residential areas and the future residential area, while creating a more informal landscape edge to the Village and neighbourhood building program.
- D Neighbourhood focal points**
Each residential district within the Neighbourhood – including the mixed-use Village, the Commons and the waterfront and Ridge – is organized around feature open space to serve as gathering areas and recreational program for residents.
- E Forested Walk**
A meandering pathway through the central forested lands provides connections to residential areas on the upper bench of Schooner Cove. In addition to providing a recreational amenity, the pathway and ridgetop forest creates significant landscape edges and transitions between residential areas while assisting to visually screen development from existing neighbourhoods.
- F Walking Path**
An extension to the Public waterfront Boardwalk, the walking path completes the recreational promenade along the waterfront and connects to the local transportation network.
- G Emergency connector pathway**
The Emergency Collector Pathway compliments the greater pathway network, while ensuring emergency vehicle accessibility within the Neighbourhood.
- H Local sidewalk**
The on-street pedestrian system includes 1.5m wide sidewalks throughout the Schooner Cove transportation network, ensuring local pedestrian access to all residential units within the Schooner Cove Neighbourhood.

4.0 PATHWAY CLASSIFICATIONS AND DESIGN STANDARDS

4.1 Pathway Hierarchy

The Schooner Cove pedestrian system includes a hierarchy of three pathway categories outlined below and summarized in Fig.2.

Each pathway type is tailored to reflect the landscape terrain and its designated use:

Multi-use pathway (2.5 - 3.0m): As the link between the Schooner Cove and the Lakes District Neighbourhoods, the Multi-use Pathway provides a continuous pedestrian route along the Community Parkway, connecting to Dolphin Drive and the Schooner Cove village. The multi-use pathway is engineered to accommodate high traffic and a range of low-speed activities including walking, jogging and cycling, and is suitable for strollers or mobility impaired individuals where reasonably feasible due to existing topography.

Boardwalk (2.0-3.0m wide, 4m at floating boardwalk): A key feature of the Schooner Cove village, the public waterfront boardwalk links the marina and waterfront village to the larger public open space network.

Walking path (1.0-1.8m wide): Narrower than the multi-use pathway, the walking trail completes the waterfront boardwalk promenade.

Surface materials may vary depending on level of use.

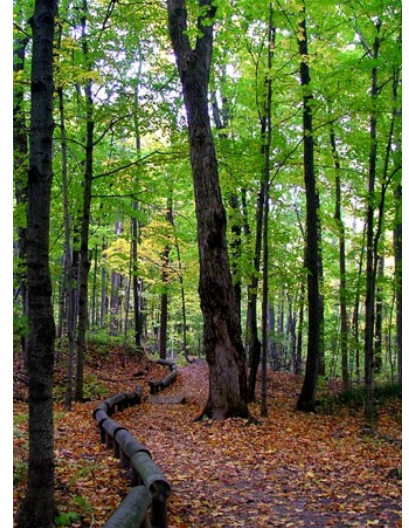
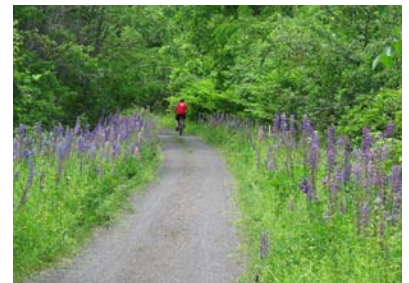
Standards for the emergency connector and sidewalks, described below, are included in the Lakes District and Schooner Cove Project Specific Street Standards:

Emergency Connector & pathway (3.0 wide): An extension of the public street providing emergency access along a controlled access pedestrian pathway.

Sidewalks (1.5m wide): As part of the pedestrian circulation system, sidewalks parallel local streets and link the multi-use pathway to Village plazas, boardwalks and neighbourhood walking paths.

In order to be successful over the long-term and to minimize maintenance, paths must be designed and built to specific standards. The exact locations and pathway types will be determined at the time of construction.

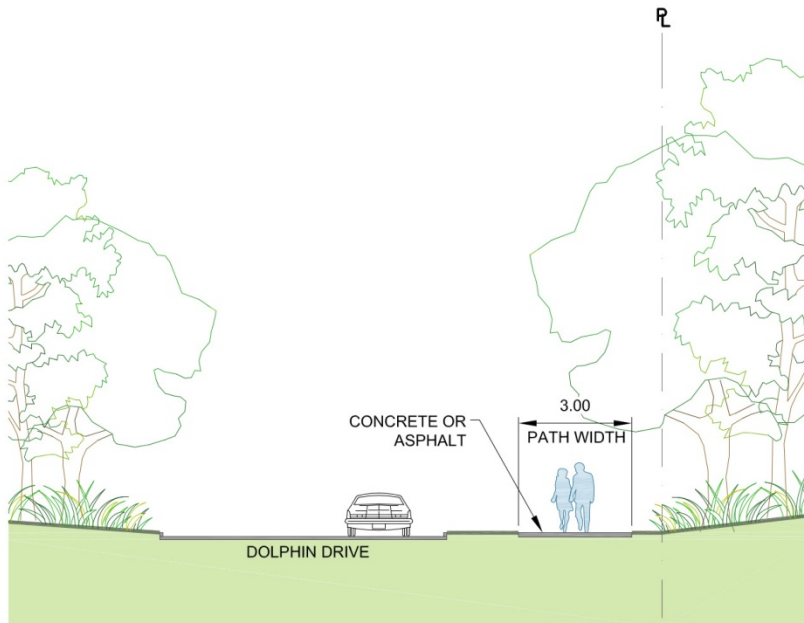
Given the variability of the terrain, the following design and construction guidelines depict typical pathway design; flexibility in design will be necessary.



	MULTI-USE	BOARDWALK	WALKING
Purpose	<ul style="list-style-type: none"> • accommodates low-speed activities, suitable for mobility impaired individuals where feasible due to existing topography. • connects residential & park uses 	<ul style="list-style-type: none"> • provides public access to the waterfront • connects village with residential uses and public spaces 	<ul style="list-style-type: none"> • provides pedestrian access to mildly sloped terrain
Level of use	HIGH	HIGH	HIGH
Type of Use	walking, jogging, walking, jogging, cycling. wheelchairs where feasible	walking, jogging. Wheelchairs where feasible	walking, jogging
Location	<ul style="list-style-type: none"> • adjacent to portions of Dolphin Drive 	<ul style="list-style-type: none"> • Waterfront 	<ul style="list-style-type: none"> • connects to Boardwalk • provides connections and recreational opportunities through strata open space
Width	2.5 - 3.0m	2.0 - 3.0m, 4m at floating boardwalk	1.0-1.8m
surface	<ul style="list-style-type: none"> • Concrete or asphalt 	<ul style="list-style-type: none"> • wood decking, exact construction to be determined based on detailed design 	<ul style="list-style-type: none"> • pavers or concrete, • native soil and crushed limestone or gravel, or • wood decking
Slope	<ul style="list-style-type: none"> • as determined by existing topography and road design. 	n/a	<ul style="list-style-type: none"> • ideally 0-5% / maximum 10% grade and short pitches up to 12%
Access	<ul style="list-style-type: none"> • universal access where feasible 	<ul style="list-style-type: none"> • universal access where feasible 	<ul style="list-style-type: none"> • universal access where feasible
Buffer	<ul style="list-style-type: none"> • landscape or distance buffers adjacent to residential lands • minimum 0.5m adjacent to Dolphin Drive 	n/a	<ul style="list-style-type: none"> • landscape or distance buffers adjacent residential uses
Drainage	<ul style="list-style-type: none"> • 1-2% cross slope • minimum 20cm ditch on uphill side of trail, both sides if on flat terrain or culverts every 50-100m, or as determined 	n/a	<ul style="list-style-type: none"> • 1-2% cross slope • shallow swale on uphill side or culverts every 50-100m every 100-150m
Surfacing Depth	<ul style="list-style-type: none"> • as required by surface type 	n/a	<ul style="list-style-type: none"> • concrete surfacing depends on subsurface • soil or crush should be 50-75mm
Clearing Width	<ul style="list-style-type: none"> • 3.5m-4.0m (0.5m each side) 	n/a	<ul style="list-style-type: none"> • 3.0m-3.8m (1.0m each side)
Vertical Clearance	<ul style="list-style-type: none"> • 2.4m 	<ul style="list-style-type: none"> • minimum 2.5m 	<ul style="list-style-type: none"> • minimum 2.5m
sight Lines	<ul style="list-style-type: none"> • minimum 20m • ideally 30m 	<ul style="list-style-type: none"> • minimum 20m 	<ul style="list-style-type: none"> • minimum 20m
Variations	<ul style="list-style-type: none"> • lookout or rest area approximately every 500m 	<ul style="list-style-type: none"> • boardwalks structures will be designed and engineered based on topography 	<ul style="list-style-type: none"> • surface materials vary depending on pathway location and purpose
Associated park features	<ul style="list-style-type: none"> • outdoor furniture: benches, garbage receptacles • orientation information and educational signage 	<ul style="list-style-type: none"> • orientation information and educational signage 	<ul style="list-style-type: none"> • outdoor furniture: benches, garbage receptacles • orientation information and educational signage

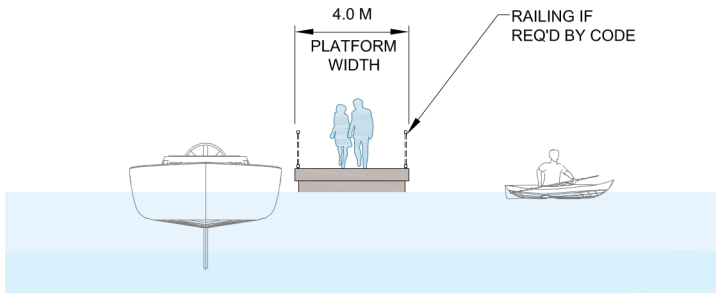
Fig. 2 Schooner Cove Pathway Hierarchy

4.2 MULTI-USE PATHWAY STANDARD



Multi-use Pathway	
Purpose	<ul style="list-style-type: none"> • accommodates low-speed activities, suitable for bikes. Strollers/mobility impaired individuals where feasible. • Connects residential & park uses
Level of use	HIGH
Type of use	walking, jogging and cycling. Strollers and wheelchairs where feasible
Location	<ul style="list-style-type: none"> • Portion of Dolphin Drive
Width	2.5 -3.0m
Surface	<ul style="list-style-type: none"> • Concrete or Asphalt
Slope	<ul style="list-style-type: none"> • As determined by existing topography and road design.
Access	<ul style="list-style-type: none"> • universal access where feasible
Trail head Barriers	<ul style="list-style-type: none"> • bollards/gates to restrict vehicles
Buffer	<ul style="list-style-type: none"> • landscape or distance buffers adjacent to residential lands • minimum 0.5m adjacent to Dolphin Drive
Riparian/ESA	<ul style="list-style-type: none"> • minimize trail widths • use fencing to protect sensitive areas from people/pets • use boardwalks to at Enos Lake and Dolphin Lake to protect riparian areas
Drainage	<ul style="list-style-type: none"> • 1-2% cross slope • minimum 20cm ditch on uphill side of trail, both sides if on flat terrain or culverts every 50-100m
Surfacing Depth	<ul style="list-style-type: none"> • as required by surface type
Clearing Width	<ul style="list-style-type: none"> • 3.5m-4.0m (0.5m each side)
Vertical Clearance	<ul style="list-style-type: none"> • 2.4m
sight Lines	<ul style="list-style-type: none"> • minimum 20m • ideally 30m
Variations	<ul style="list-style-type: none"> • lookouts/rest areas approximately every 500m
Associated park features	<ul style="list-style-type: none"> • outdoor furniture: benches, garbage receptacles • orientation information and educational signage

4.3 BOARDWALK



FLOATING BOARDWALK

BOARDWALK

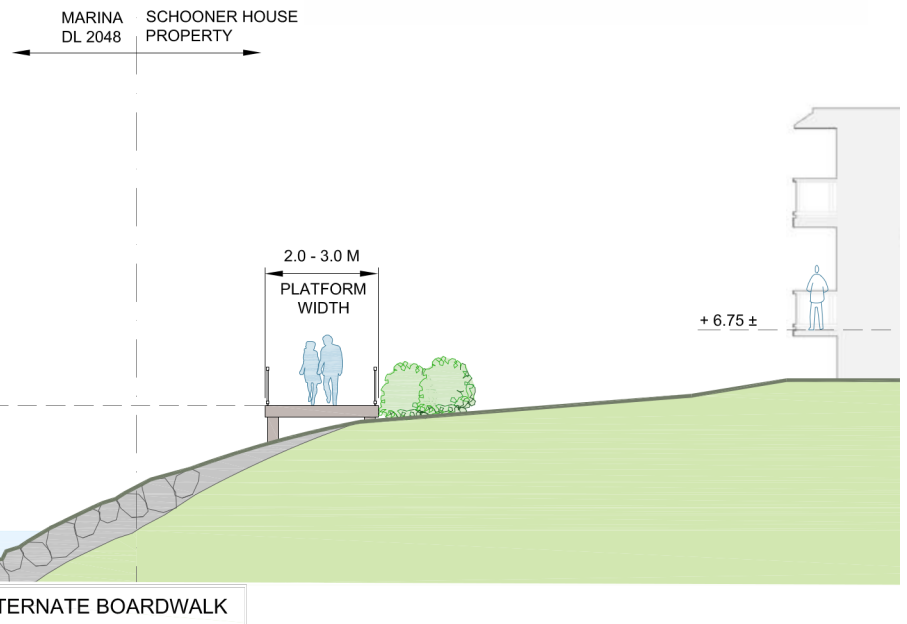
- Purpose**
 - provides public access to the waterfront
 - connects village with residential uses and public spaces
- Level of Use**
 - HIGH
- Location**
 - waterfront
- Width**
 - 2.0 - 3.0m (4 m at Floating Boardwalk)
- Surface**
 - wood decking, exact construction to be determined based on detailed design
- Vertical Clearance**
 - minimum 2.5m
- Variations**
 - boardwalks structures will be designed and engineered based on topography
- Associated Park features**
 - orientation information and educational signage

CONSTRUCTION NOTES

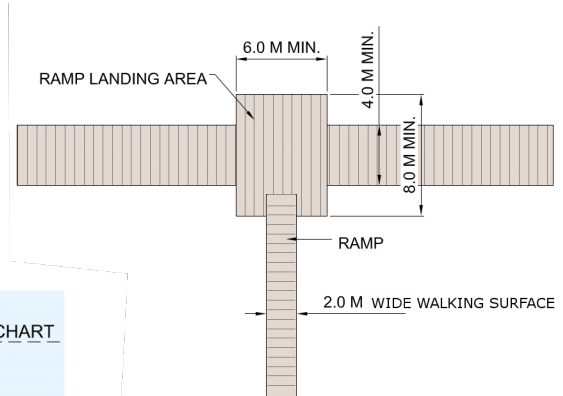
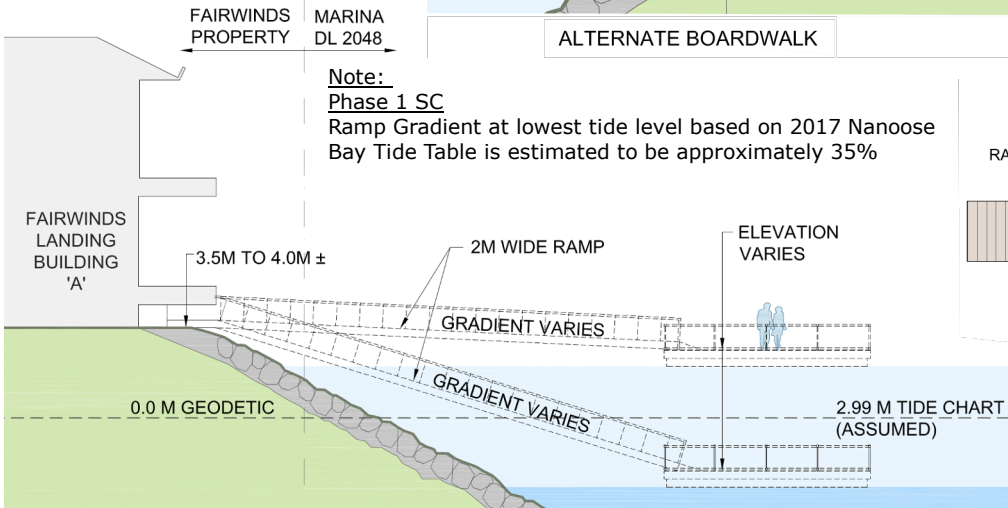
The deck is generally wood but a half-meter section of expanded metal in the centre can be used to add extra tread. Decking material will be rough cedar or treated lumber.

Abutments are generally precast concrete or wood; however, they must be kept as small as possible and screened with riparian vegetation to ensure a minimal presence. Hand railings, if required, will be set to Provincial Building Code. Posts will be spaced no further than 3m spacing.

All construction in riparian areas must be completed during the fisheries window, in accordance with the Fairwinds' Lakes District and Schooner Cove Neighbourhood Plans Environmental Assessment (Pottiger Gaherty Environmental Consultants Ltd 2010), and with approval of Senior Government Agencies. Adequate silt measures must be utilized to ensure that no material is disturbed into the water.

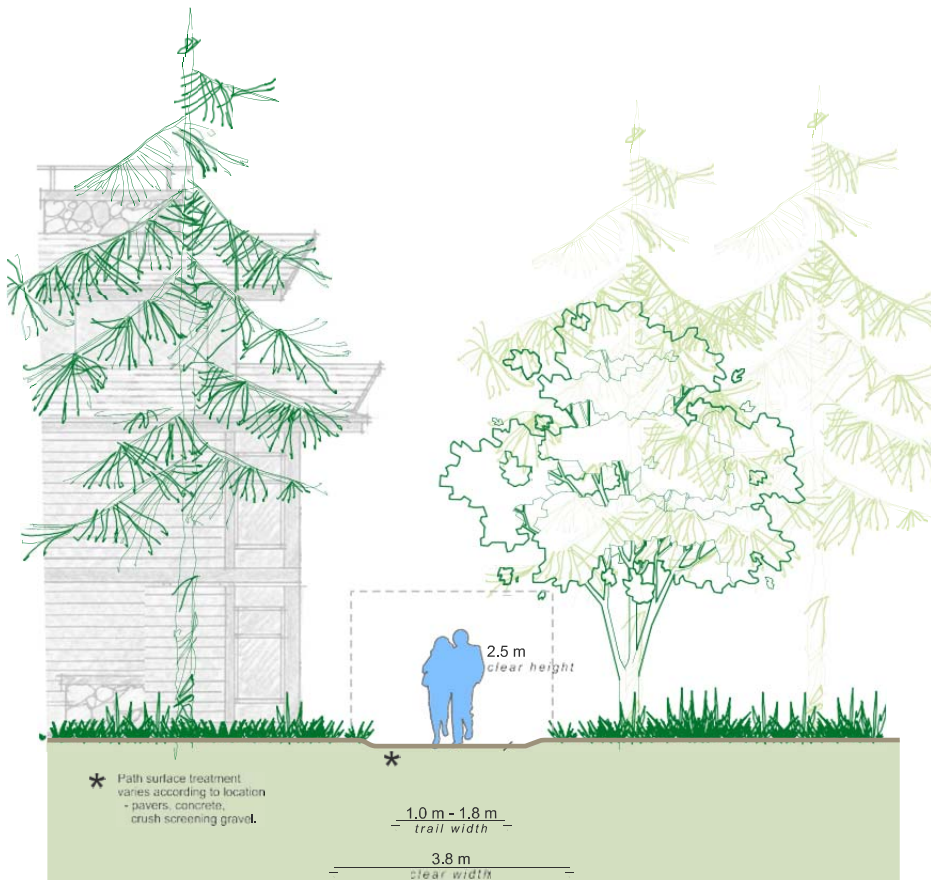


ALTERNATE BOARDWALK



PLAN RAMP LANDING AREA

4.4 WALKING PATH STANDARD



CONSTRUCTION NOTES

- Clearing and grubbing to native soil
- Where softscape surface treatment occurs, use gravel or crush (compatible with wheel chair accessibility wherever possible) in high traffic areas to prevent erosion
- Encourage permeable surfaces, wherever feasible

WALKING	
Purpose	• provides pedestrian access to mildly sloped terrain
Level of use	HIGH
Type of use	walking, jogging
Location	• connects to Boardwalk • provides connections and recreational opportunities through strata open space
Width	1.0-1.8m
	• pavers or concrete, • native soil and crushed limestone or gravel, or • wood decking
Slope	• ideally 5% / maximum 10% grade and short pitches up to 12%
Access	• universal access where feasible
Buffer	• landscape or distance buffers adjacent to residential uses
DRAINAGE	• 1-2% cross slope • shallow swale on uphill side or culverts every 50-100m every 100- 150m
Surfacing Depth	• concrete surfacing depends on subsurface • soil or crush should be 50-75mm
Clearing Width	• 3.0-3.8m (1.0m each side)
Vertical Clearance	• minimum 2.5m
sight Lines	• minimum 20m
Variations	• surface materials vary depending on pathway location and purpose
Associated park features	• outdoor furniture: benches, garbage receptacles • orientation information and educational signage

5 PATHWAY PLANNING + DEVELOPMENT

These Standards provide general directions for pathway construction; it is recognized that implementation may require adjustments. Future detailed design will be completed at the construction stage, under the supervision of a registered professional where required.

5.1 Pathway Siting

Many factors influence the specific siting and placement of paths, including connections to existing trails and parks, existing site conditions, soil type, environmental sensitivity and biophysical conditions, hillside slopes, vegetation and drainage conditions.

To limit environmental impact and reduce cost, pathways will utilize existing routes wherever possible. Where unofficial trails intrude into Environmentally Sensitive Areas, preferred routes will be designated and unofficial trails will be decommissioned or discontinued.

Pathways will be designed to complement and respect the landscape. Natural features, such as rocks and logs, will be incorporated into the design to denote edges and pathway direction, and also to provide visual interest. The resulting pathway will appear to be directed by the landscape.

Steep or unstable slopes, as well as erodible soils, will be avoided. Retaining walls may be required to prevent side slopes from slumping onto trails, but will be avoided wherever possible by working with the terrain.

5.2 Drainage

Drainage is a critical component of pathway design, and if executed properly, lessens the impact to the environment while improving trail lifespan. Proper grading and site preparation enables water to flow across the trail, minimizing erosion.

The type of drainage utilized depends on the pathway location and soil types, but will include swales or culverts. Where pathways are situated on sloped hillsides, a shallow swale will be constructed on the uphill side of the pathway. Where pathways are situated on flat terrain and natural soils do not promote drainage, swales will be required on both sides of the pathway.

Culverts should be considered where pathways cross small ephemeral or intermittent watercourses, where bridges and raised walkways are not necessary or feasible. Where required, culverts should be regularly spaced on the trail to divert water. Based on slope angle, culvert spacing on multi-use paths will be between 100 and 150 metres, and on walking paths every 50 to 100m. Culverts are not required for the forested walk. In order to minimize water damage, pathways will avoid slope fall lines.



5.3 Pathway turns

To ensure visibility, safety and adequate sight lines on the boardwalk, multi-use, and walking paths, turns will be minimized. Minor turns add an element of mystery to pathways as one continues on to see what is around the corner. However, adequate visibility will be ensured.



5.4 Landscaping

Natural and planted vegetation along a trail enhances the aesthetics and character of the pedestrian network, and buffers pathways from adjacent land uses. Vegetation will be balanced with safe vertical and horizontal clearance requirement and sight lines so that pathway users can see what's ahead and anticipate trail conditions. The landscape treatment and clearance width depends on the type of pathway and surrounding area. The following guidelines apply to all landscape treatments:

- Installation and maintenance practice must conform to Canadian Landscape Standards and applicable Regional District of Nanaimo standards.
- No trees or shrubs shall be planted within the vertical or horizontal Clearances as specified in the Pathway Standards.
- Plant masses will be not be planted where they impede visibility along the trail.
- Native replanting will be required in natural areas for restoration and screening.
- Changes in drainage patterns will be minimized.
- Trees planted near trails should not damage trail surfaces or bases. Root barriers along the trail adjacent to the tree should also be used to prevent roots from growing under hard trail surfaces.
- Where pathways are close to residential properties, plantings will be used for privacy screening, trail softening and enhanced aesthetics. However, tall and dense plantings will be avoided for safety and security reasons.



5.5 Trees and Vegetation Protection

Trees and vegetation add to the aesthetic and environmental value of recreational areas and the surrounding trail system. Care will be taken to protect trees where they do not negatively impact the routing, safety and clearance of trails. The following guidelines help to preserve trees:

- where possible, pathways will be routed around the drip line of highly significant trees.
- Trees or tree roots that are to be retained will be protected during trail construction.
- For paved trails, all roots will be removed below the surface in preparing the sub-grade.
- Root barriers will be used to protect both trees and trails.

For further direction on tree planting procedures, refer to Regional District Nanaimo requirements.



5.6 Retaining Walls

Retaining walls will be used to prevent side slopes from slumping onto paths or boardwalks. As much as possible, retaining walls will be avoided through trail siting and grading. Where walls must be installed, proper drainage and anchoring must be in place. Furthermore, any wall over 1.2m may need a railing. Mechanically Stabilized Earth (MSE) will be considered to eliminate the need for retaining walls.



6 Pathway Access + Interface

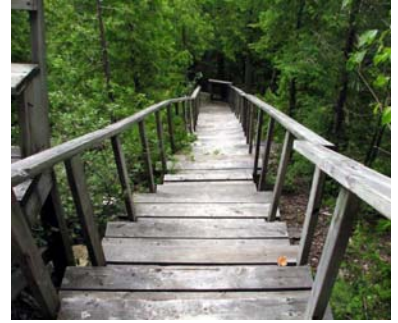
6.1 Barriers and Fences

Bollards, posts and sleeves, and gates may be used to direct pedestrian movement and preclude vehicle access on pathways. In universally accessible locations, they will allow for wheelchair access.

Where access for emergency or service vehicles and parks equipment access is required, barriers will be removable. Bollards, or posts and sleeves are the most common removable barrier and should be located at most trail heads.

Where vehicle access is a consideration, multi-use pathways will use post and sleeve barrier types. Barrier posts will be installed in odd numbers so that the centre post is positioned in the centre of the trail. Barrier posts may be fixed or removable. Pavement markings will be used to delineate posts.

Wood rail fences are used primarily to define setbacks from ESAs, protect sensitive areas and delineate private property. Low wood rail fences may also be located at viewpoints to define access yet maintain views and aesthetics. Wood fences will also be used to define circulation and prohibit access to hazards and ESAs.



6.2 Pathway Buffers

Many pathways in Schooner Cove are located adjacent roads and residential areas. Where sections of the multi-use pathway are located adjacent to road right-of-ways and residential uses, buffers or landscaping will be used to separate public and private realms. Good sightlines and Crime Prevention through Environmental Design (CPTED) Guidelines will be implemented for all trail types.

Minimum buffers from road right-of-ways are listed in the table below:

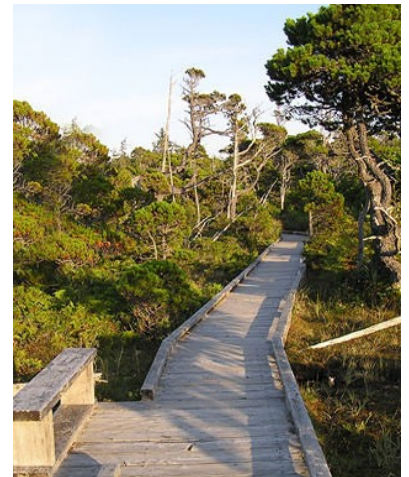
road type	minimum Buffer
Low volume (under 50km/h)	0.5m
Low volume with on-street parking	0.75m
Moderate volume (under 60km/h)	1.0m



6.3 Universal Access

The following guidelines must be taken into consideration in the design, construction and maintenance of pathways to encourage physical accessibility where reasonably feasible due to existing topography.

- Where possible slopes should not exceed 5% for long distances. Landings should be provided if the slopes exceed these grades.
- Surfacing will be uniform with no obstructions or depressions.
- Signs, light standards, power poles, power boxes, mail boxes, and bus stops can all obstruct the flow of a wheelchair or stroller. Install structures with consideration of their visual and physical impacts.
- Curb cuts will be provided where trails cross roads, where required.
- Bollards, baffles and other barriers will be spaced in such a way that a wheelchair can pass.
- Select rest areas and seating will allow wheelchairs and others to pull off the trail.
- Best Management Practices for specific accessibility and bicycle design details apply.



6.4 Pathway Street Crossing

The locations where pathways cross streets are a critical safety site for both trail users and vehicles. Several crossing treatments will be implemented to assist pathway users in safely continuing on the pathway and minimizing vehicle conflicts. The type of crossing depends on the pathway type, streets volumes, and streets design

Signed crossings are common where pathways intersect major streets with low traffic volumes. Signs and crosswalk markings will be used to indicate the crossing and improve safety.

Pathway crossings will be located at intersections and mid-block sites. Where pathways are located parallel to streets, crossings will occur at intersections or as close to intersections as possible in order to maximize crossing visibility. Mid-block crossings will also be located to maximize visibility for approaching motorists with adequate signing and illumination (and possible median islands) to increase safety and visibility. The pathway crossings will also occur at right angles to the roadway.

Pathway intersections will be well marked for both pathway users and vehicles. Signage is used to alert multi-use pathway users to stop and dismount (if on bikes). As referenced in the Barrier and Fencing section of this document, post and sleeve vehicle barriers on multi-use pathways at road intersections will be placed in odd numbers with the centre post in the centre of the pathway.



7 PATHWAY Features + Structures

7.1 Structures

The following will be implemented in all pathway types:

- Lumber used in pathway structures will be pressure treated lumber or dimensional cedar.
- To reduce risk of leaching toxic preservatives, piles in saturated soils/water will not be constructed of treated wood.
- When using cedar, walking surfaces will be rough sawn to reduce slipperiness when wet and metal-expanded grates or similar treatment should be used to prevent slipping.
- Decking will be perpendicular to the direction of travel.
- wood handrails must be sanded and bevelled as required so the railing can be grasped easily.
- where the railing is adjacent to a viewing site, it will be rounded or angled to provide comfortable leaning.
- Metal used for fences, bollards, and baffles will be aluminum or welded, powder coated, galvanized or have two coats of marine enamel. Metal fasteners will be hot dip galvanized or aluminum.
- Fasteners will be placed to avoid sharp edges and potentially snag clothes.
- Posts will be set into post saddles that have been grouted into rock or places in concrete footings.
- Railings where required will be built according to BC Building Code.
- Stair railings will be in accordance with applicable codes.



7.2 Rest Areas and Destinations

Rest areas and destination points along pathways provide opportunities for sitting, socializing and passive recreation such as wildlife and scenery viewing.

Destination points are meant to provide a sense-of-arrival within the pathway network, and may include seating areas, public art, planters and landscaping and garbage bins.

Rest areas generally consist of a bench on a flat pad, and are placed at least 500m apart. The design of the area depends on the type of pathway, and site specific conditions such as soils, slope, views, vegetation, interpretive opportunities and adjacent lands uses and features.

The exact model of benches, bike racks, and waste receptacles depends on the budget and character of each site, but will reflect the high quality amenity proposed.



7.3 Stairs

Steps and staircases will be utilized for steep sections of pathways. Step construction and material depends on the site's drainage and soil or rock substrate. Stairs will be constructed from wood, wherever feasible. The following general guidelines apply:

- All steps to have a rise and run in accordance with applicable codes.
- Landings to be provided in accordance with applicable codes.
- Handrails will be provided in accordance with applicable codes.



7.4 Pathway Signage

Signage is an important directional and character defining element of a pathway. Sign types include:

- Entry signs;
- Informational providing open space and boardwalk regulations;
- kiosks with orientation maps;
- Directional and distance;
- Seasonal or warning; and
- Interpretive/Educational signs which celebrate the natural and cultural heritage of Schooner Cove.

Interpretive signage will be used throughout the network to foster understanding of, and respect for, sensitive areas that need to be protected. In addition to providing information on the local ecology, signage reinforces why people and their pets should respect the marine ecology.

The following general guidelines apply to the placement of signs along pathways:

- Maps and kiosks will be located at all major trail heads and intersections, and will include the pathway name, regulations and permitted uses, a map of the pathway network and specific “you are here” location.
- Pathway name signs and direction/distance markers will be placed at major trail crossings and km intervals.
- Interpretive signs will be located at points of interest, ESAs, and/or rest areas.
- Although most park regulations are posted at the kiosk, hazards along the pathways, pedestrian crossings at intersections, and permitted trail user groups will be clarified through signage along the pathway.
- 2.1m is optimal height for sign legibility (excluding pathway markers). where possible, sign placement will be obvious but not obtrusive. Signs will be consolidated as much as possible to avoid sign clutter along pathway.



7.5 Bridges and Boardwalks

The boardwalk is an integral component of the network, not only to provide waterfront access but also to function as a landmark and viewing platform, while adding to the maritime character of Schooner Cove. The design of the structure depends on the height of the structure and expected load.

Handrails and Railings requirements shall conform to the BC Building Code.

The deck is generally wood but a half-meter section of expanded metal in the centre can be used to add extra tread. Decking material will be rough cedar or treated lumber.

Boardwalks will be aligned along the path so that users do not have to make sharp turns at the end of the bridge. The intersection between the bridge and trail will also be clear to ensure user safety.

If used, observation decks will bow outward from the running boardwalk to create an outward focus. End decks are suitable on the end of spurs. Decks on both side areas are useful for viewing and can aid in traffic flow in busy sections. Decks on one side focus visitor attention and allow passing points for traffic.

Abutments are precast concrete or wood; however, they should be kept as small as possible and screened with riparian vegetation to ensure a minimal presence. Re-vegetating the site also slows erosion and stabilizes the bank.

All construction in riparian areas must be completed during the fisheries window, in accordance with the Fairwinds' Lakes District and Schooner Cove Neighbourhood Plans Environmental Assessment (Pottiger Gaherty Environmental Consultants Ltd 2010), and with approval of Senior Government Agencies. Adequate silt measures must be utilized to ensure that no material is disturbed into the watercourse.

8 Pathway Construction

8.1 Pathway surfacing

The material used for pathway surfacing varies according to proposed use and level of traffic, and recommended material is listed in the Pathway Standards for each type. Permeable materials will be used wherever possible in order to allow groundwater infiltration, reduce cost, complement the existing landscape and reduce the speed of traffic.

Pathway surfacing is recommended for the Multi-use Pathway. However, application of surface materials can be reduced or eliminated for the walking Path, if the trail is located on well drained and coarse textured soil, and in areas of reduced traffic.



8.2 Clearing and Grubbing

Requirements for clearing and grubbing largely depend on the pathway standard being implemented the types of soil and vegetation present. Slope is not generally a significant factor unless slope exceeds a gradient of 50% and full bench cuts are required.

Trail dozers or excavators are generally designed to clear and grub trails that are 1.2m to 1.8m wide. Narrower pathways may need to be hand built, especially in and around environmentally sensitive areas where removal of vegetation should be minimized. In locations where trails are planned on flat terrain, additional fill may be required to ensure proper drainage and smooth surface.



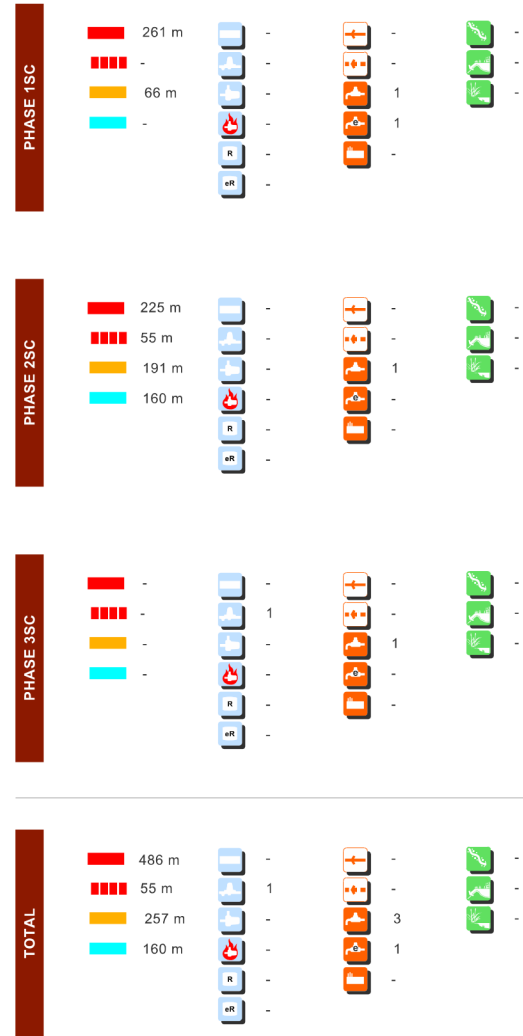
8.3 Equipment

A variety of trail building machines are available which can reduce building costs. Trail dozers or excavators are suitable for constructing the Multi-use and walking paths. Many machines have multiple attachments, including both blade and excavator arm, which can increase their versatility and eliminate the need for more than one piece of equipment. Operator experience is important to ensure that construction is safe, efficient and environmentally responsible.



Appendix 6
Schedule K - Schooner Cove Infrastructure Phasing Plan

SCHOONER COVE ALL PHASES



SCHOONER COVE INFRASTRUCTURE PHASING SCHEDULE "K"



LEGEND

WATER

- Trunk Mains (250mm)
- Pressure Reducing Valve Station
- Booster Pump Station
- Fire Booster Pump Station
- New Reservoir
- Existing Reservoir

SANITARY

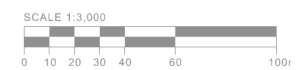
- Trunk Main
- Forcemain
- Pump Station
- Existing Pump Station
- Nanoose Water Pollution Control Centre Upgrade

RAINWATER

- Rainwater Creek
- Regional Raingarden & Controlled Storage
- Regional Wetland

STREET HIERARCHY

- Parkway Collector
- Parkway Collector Transition Area
- Urban Local
- Emergency Connector & Pathway
- Strata Driveway



Appendix 7
Schedule M - Statutory Right of Way for Public Access (Strata Maintained)

SCHEDULE "M": STATUTORY RIGHT OF WAY FOR PUBLIC ACCESS (STRATA MAINTAINED)

[attach *Land Title Act* Form C General Filing Instrument – Part 1]

TERMS OF INSTRUMENT - PART 2

THIS AGREEMENT is dated for reference the ____ day of _____, 2017

BETWEEN:

1040985 B.C. LTD. NO. BC1040985

305-1788 West 5th Avenue
Vancouver, BC V6J 1P2

AND

1042719 B.C. LTD., INC. NO. BC1042719

305-1788 West 5th Avenue
Vancouver, BC V6J 1P2

AND

1040984 B.C. LTD., INC. NO. BC1040984

305-1788 West 5th Avenue
Vancouver, BC V6J 1P2

(collectively the "**Owner**")

AND:

REGIONAL DISTRICT OF NANAIMO

6300 Hammond Bay Road
Nanaimo, BC V9T 6N2

(the "**Regional District**")

WHEREAS:

- A. The Owner is the registered owner of those lands and premises situate in the Regional District in the Province of British Columbia, described in Item 2 of Form C to which this Terms of Instrument is attached (the "**Lands**");
- B. Section 218 of the *Land Title Act* allows a statutory right-of-way to be granted over land without a dominant or servient tenement, and the statutory right-of-way hereinafter

provided for is essential to the operation and maintenance of the Regional District's undertaking; and

- C. To provide and facilitate public access, as provided for herein, and the reconstruction, improvement, alteration, operation, repair, maintenance and use of [♦ a public walking pathway (the "**Walking Pathway**"); or ♦ public access open space (the "**Public Access Open Space**")] by the Regional District, the Owner has agreed to grant the statutory right-of-way hereinafter mentioned.
- D. The Regional District is authorized to hold a covenant under s. 219 of the *Land Title Act*, and
- E. The Owner has agreed to transfer to the Regional District a covenant under s. 219 of the *Land Title Act* to secure the covenants of the Owner in this Agreement.

NOW THEREFORE THIS AGREEMENT WITNESSES that in consideration of the premises and the mutual covenants and agreements herein contained and the sum of One Dollar (\$1.00), now paid by the Regional District to the Owner (the receipt and sufficiency whereof is hereby acknowledged), the Owner and the Regional District hereby covenant and agree as follows:

Definitions.

1. In this Agreement:

- (a) "Plan" means the plan of the Statutory Right of Way area prepared by ♦, B.C.L.S., and attached as Appendix "1" to this Agreement; and
- (b) "Statutory Right-of-Way Area" means the area provided for on the Plan.

Grant.

- 2. THE OWNER, for himself, his heirs, executors, administrators, successors and assigns, DOES HEREBY GIVE AND GRANT, except as set out in section 3 of this Agreement, unto the Regional District, and its successors and assigns, a statutory right-of-way and the full, free and unrestricted right and liberty for the Regional District, its licencees, permittees, invitees, agents, guests, servants, officials and workmen at any time and at their will and pleasure for the benefit of the Regional District, to:
 - (a) enter, labour, go, return, pass and repass upon the Statutory Right-of-Way Area by the Regional District and, as the Regional District determines, the public, for the purposes of public access, provided however that the public shall not have access to the Statutory Right-of-Way Area with motor vehicles and may not use the Statutory Right-of-Way Area as an access road;
 - (b) free and uninterrupted access to the Statutory Right-of-Way Area to reconstruct, alter, improve, renew, repair, maintain, and inspect an improved walkway, which improved walkway shall have [♦ a maximum width of 1.75 metres; or ♦ an area of ♦] (the "Works"), for the purposes aforesaid at the Regional District's sole expense;

- (c) clear the Statutory Right-of-Way Area or any part thereof of any or all trees, shrubs, plants, buildings, fences, or obstructions of any kind, now or hereafter; and
- (d) generally do all acts reasonably necessary or incidental to the business of the Regional District in connection with the Works and the use of the Statutory Right-of-Way Area for the aforesaid purposes;

TO HAVE AND TO HOLD unto the Regional District, its successors and assigns, from and after the date hereof, forever.

3. The right of way granted herein is subject to the restrictions and limitations hereinafter set forth in favour of the Owner, being the right at all times hereafter and from time to time to eject from the Statutory Right-of-Way Area any member of the public who:
- (a) acts in a disorderly or offensive manner, molests, pesters, interferes with or obstructs (except if authorized to install, inspect, maintain or repair the Works) any other person from having access to the Statutory Right-of-Way Area, or commits an illegal act;
 - (b) presents a real and substantial threat to the safety of others or to the security of any improvements on the Statutory Right-of-Way Area or the Lands;
 - (c) takes up abode overnight on the Statutory Right-of-Way Area or attempts such abode; or
 - (d) lights any fires or burns any material on the Statutory Right-of-Way Area.

4. **Owner's Covenants.**

THE OWNER HEREBY COVENANTS AND AGREES with the Regional District that the Owner:

- (a) will, as far as reasonably necessary, carry out the maintenance, repair, replacement, renewal, reconstruction, improvement and inspection of the Works in a proper and workmanlike manner, and at the Owner's own expense;
- (b) will not erect, place or maintain any building, structure, driveway, patio, foundation or footings or any other obstruction of a permanent nature, on or above any portion of the Statutory Right-of-Way Area;
- (c) except as provided in section 3, will not do or knowingly permit to be done any act or thing in connection with the Statutory Right-of-Way which will interfere with the purpose of the Statutory Right-of-Way or interfere or damage the Works; and
- (d) at the sole expense of the Owner, do or cause to be done all acts reasonably necessary to grant priority to this Agreement over all financial charges and encumbrances which are registered against the title to the Lands in the Land Title Office, which for greater certainty does not include charges or encumbrances in favour of the Regional District or other governmental authority or those specifically approved in writing by the Regional District.

5. Regional District's Covenants.

THE REGIONAL DISTRICT COVENANTS AND AGREES with the Owner that the Regional District will indemnify and save harmless the Owner and its heirs, executors, administrators, successors and assigns from and against any and all actions, causes of actions, claims, suits, proceedings, costs and expenses of whatever kind, for any loss, damage, injury or death to any person or persons of any public or private property arising directly or indirectly out of the use by the Regional District, the public or any persons claiming through or under the Regional District arising from the Statutory Right-of-Way, save and except to the extent that such loss, injury, damage or death is caused by the negligence or wilful act of the Owner or its servants and agents or is to private property of the Owner.

6. Additional Remedy for the Regional District.

In the event that the Owner erects, places or maintains any building, structure, or obstruction of a permanent nature contrary to section 4(b) hereof, including any fencing, trees, shrubs or significant plants on, under or above any portion of the Statutory Right-of-Way Area and such erection, placement or maintenance interferes with the purposes of the Statutory Right-of-Way, the Regional District and its employees, agents or contractors may enter upon the Statutory Right-of-Way Area at any time to undertake any work which it deems necessary to remove such building, structure, or obstruction, and any costs which the Regional District may incur in doing so including any administrative and interest costs, shall be due and payable by the Owner on demand from the Regional District, or recoverable by the Regional District as part of any tax payment, levies or any other fees in respect to the Lands. In carrying out such removal work, the Regional District shall, as far as reasonably necessary, carry out such work in a proper and workmanlike manner so as to do as little injury as possible.

7. Section 219 Covenant.

The Owner covenants and agrees with the Regional District that every obligation and covenant of the Owner in this instrument constitutes both a contractual obligation and a statutory right of way granted under section 218 of the *Land Title Act* in respect of the Lands, and a covenant granted under section 219 of the *Land Title Act* in respect of the Lands, and this instrument burdens the Lands and runs with and binds the Owner's successors in title to the Lands.

8. Other.

IT IS MUTUALLY UNDERSTOOD, agreed and declared by and between the parties hereto that:

- (a) Covenant Runs with the Land: This Agreement shall be construed as a covenant running with the Lands and that none of the covenants herein contained shall be personal or binding upon the parties hereto, save and except during the Owner's seisin or ownership of any interest in the Lands and with respect only to that portion of the Lands of which the Owner shall be seised or which he shall have an interest, but that the Lands shall, nevertheless, be and remain at all times charged therewith;

- (b) Liability During Currency of Ownership: Notwithstanding anything herein contained, neither the Owner named herein or any future owner of the Lands, or any portion thereof, shall be liable under any of the covenants and agreements contained herein where such liability arises by reason of an act or omission occurring after the Owner named herein or any future owner ceases to have a further interest in the Lands;
- (c) Subdivision of Lands: This Agreement burdens and charges any parcel into which the Lands are subdivided by any means and upon which any portion of the Statutory Right-of-Way is located;
- (d) Use by the Owner: Save as aforesaid, nothing in this Agreement shall be interpreted so as to restrict or prevent the Owner from using the Statutory Right-of-Way Area in any manner which does not interfere with the unobstructed access through the Statutory Right-of-Way by the Regional District and the public;
- (e) Installations Remain Chattels: Any and all chattels and fixtures installed by the Regional District on or over the Statutory Right-of-Way shall be and shall remain chattels, any rule of law to the contrary notwithstanding and shall belong solely and exclusively to the Regional District;
- (f) Notice: Whenever it is required or desired that either party shall deliver or serve a notice on the other, delivery or service shall be deemed to be satisfactory if, and deemed to have occurred when:
 - (i) the Owner or the Corporate Officer of the Regional District has been served personally, on the date of service; or
 - (ii) mailed by prepaid registered mail, on the date received or on the sixth day after receipt of mailing by any Canada post office, whichever is earlier (except that in the event of interruption of mail service, notice shall be deemed to be delivered only when actually received by the party to whom it is addressed), so long as the notice is mailed to the party at the most recent address shown on title to lands in the records of the Land Title Office for the party, or to whatever address the parties may from time to time advise in writing;
- (g) No Derogation of Power: Notwithstanding anything contained in these presents, there are hereby reserved to the Regional District all its rights and powers of expropriation or other powers or privileges granted to the Regional District, or enjoyed by it, by or under any act or the legislature of the Province of British Columbia;
- (h) Applicable Law: This Agreement shall be governed by and construed in accordance with the laws of the Province of British Columbia;
- (i) Performance by Regional District: Without in any way limiting obligations of the Regional District to the Owner pursuant to section 5 herein, nothing herein contained shall be deemed to include or imply any covenant or agreement on the part of the Regional District with the Owner or with any other person or persons as a condition hereof or otherwise to construct or install the Works, or any of them, or

any public works or utility whatsoever provided for in this Statutory Right-of-Way or any portion thereof;

- (j) Enurement: This Agreement shall enure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns;
- (k) Number and Gender: Wherever the singular or the masculine is used in this Agreement, the same shall be construed as meaning the plural or the feminine or the body corporate or politic where the context or the parties hereto so require;
- (l) Amendments only in Writing: It is expressly agreed that the benefit of all covenants made by the Owner herein shall accrue to the Regional District and that this Agreement may only be modified or discharged by agreement of the Regional District and the Owner witnessed in writing;
- (m) No Duty to Enforce: The Owner hereby covenants and agrees with the Regional District that the Regional District is under no obligation in law or equity to prosecute or enforce the terms of this Agreement in any way;
- (n) Further Documents: The parties will do and cause to be done all things and execute and cause to be executed all documents which may be necessary to give proper effect to the intention of this Agreement; and
- (o) Severance: If any section, subsection, sentence, clause or phrase in this Agreement is for any reason held to be invalid by the decision of a court of competent jurisdiction, the invalid portion will be severed and the provision that is invalid will not affect the validity of the remainder of the Agreement.

IN WITNESS WHEREOF the parties hereto have executed this Agreement as of the day, month and year first above written by executing the Form C attached hereto.

Appendix 8
Schedule EE – Boardwalk Alternative Covenant

SCHEDULE “EE”: BOARDWALK ALTERNATIVE COVENANT

[attach *Land Title Act* Form C General Filing Instrument – Part 1]

TERMS OF INSTRUMENT - PART 2

THIS AGREEMENT is dated for reference the ____ day of _____, ____.

BETWEEN:

1042719 B.C. LTD., INC. NO. BC1042719
 305-1788 West 5th Avenue
 Vancouver, BC V6J 1P2

(the “**Owner**”)

AND:

REGIONAL DISTRICT OF NANAIMO
 6300 Hammond Bay Road
 Nanaimo, BC V9T 6N2

(the “**Regional District**”)

WHEREAS:

- A. The Owner is the registered owner of those lands and premises situated, lying and being in the Regional District of Nanaimo, in the Province of British Columbia, described as:

PID: 028-022-998

Lot 1, District Lot 78, Nanoose District and District Lots 2085, 2086, 2087, 2088 and 2089, Nanaimo District, Plan VIP87121;

PID: 001-760-068

Lot 1, District Lot 78, Nanoose District, Plan 28544; and
 PID: 028-023-391

Lot 1, District Lot 2090, Nanaimo District and District Lot 78, Nanoose District, Plan VIP87122

(the “**Lands**”);

- B. Section 219 of the *Land Title Act*, R.S.B.C. 1996, c. 250 and amendments thereto (the “**Land Title Act**”), state that a covenant in favour of a municipality or regional district may be registered as a charge against the title to land and is enforceable against the covenantor and its successors in title even if the covenant is not annexed to land owned by the municipality or regional district;
- C. The predecessor in title to the Owner of the Lands entered into a Phased Development Agreement for the Lands, dated the 23rd of July, 2014 (the “**PDA**”), and the PDA contemplated the demolition of the existing building on the Lands and the construction of a public walkway along the waterfront on the Lands to be secured by a grant of a statutory right of way in favour of the Regional District;
- D. The Owner wishes to develop the Lands by way of the renovation and strata subdivision of the existing building on the Lands, which would eliminate the area on the Lands contemplated under the PDA for a public walkway to be secured by a statutory right of way (the “Public Walkway Right of Way”), and has requested an amendment to the PDA to replace the Owner’s obligation to construct a public walkway along the waterfront on the Lands with a public walkway along and over floats in the water, located on land described as District Lot 2084, Nanaimo District held under lease No. 10902, from the Province of British Columbia, having a term of 30 years from November 9, 2000, and District Lot 105, Nanaimo District, owned by Her Majesty the Queen in Right of Canada;
- E. The Regional District does not consider a floating walkway constructed and operated under a licence agreement to provide security of tenure equivalent to the Public Walkway Right of Way over the Lands, but has agreed to permit the Owner to substitute the floating public walkway over the water lots adjacent to the Lands for the Public Walkway Right of Way on the terms and conditions contained in this Agreement that:
 - (a) restrict the construction of a building or buildings to be constructed on or to be erected on the Lands;
 - (b) provide that the Lands are not to be used, built on or subdivided except in accordance with this Agreement; and
 - (c) obligate the Owner to construct an alternative amenity or pay an amenity contribution to the Regional District in the event the Water Lot Rights (as defined herein) or any one of them is terminated or expires.

NOW, THEREFORE, pursuant to Section 219 of the *Land Title Act* and in consideration of \$1.00 now paid by the Regional District to the Owner, the receipt and sufficiency of which is hereby acknowledged, and of the premises herein contained, the parties covenant and agree as follows:

1. **Definitions.**

1.1 In this Agreement:

“**Water Lots**” means land described as District Lot 2084, Nanaimo District, held under Lease No. 109021, and land described as District Lot 105, Nanaimo District.

“**Water Lot Rights**” means the Owner’s lease of District Lot 2084, Nanaimo District, as it may be extended or renewed, and any other right or interest secured by the Owner or otherwise necessary to permit the location of the Waterfront Pathway/Boardwalk on the Water Lots and the ongoing free public pedestrian access to and use of the Waterfront Pathway/Boardwalk on the Water Lots.

“**Waterfront Pathway/Boardwalk**” means a public pedestrian path to be provided by the Owner under and in accordance with the PDA and this Agreement;

2. **Owner’s Covenants.**

2.1 The Owner covenants and agrees with the Regional District that, except as may be consented to by the Regional District in writing:

- a. it shall use and develop the Lands only in accordance with this Agreement;
- b. it shall use the Lands only in a manner that permits ongoing free public pedestrian access to and along the floating structures located on the Water Lots and without limiting the generality of the foregoing, the Owner covenants and agrees that it shall not construct any building, structure, barrier or gate that prevents, impedes or obstructs public access from and across the Lands to the Waterfront Pathway/Boardwalk on the Water Lots; and
- c. if at any time the Water Lot Rights or any one of them is terminated or expires, and if such termination or expiry brings and end to the public right of access to and along the entirety of the Waterfront Pathway/Boardwalk located in the Water Lots and the Owner is not able to provide public pedestrian access to and along the entirety of the Waterfront Pathway/Boardwalk located on the Water Lots, then it shall do one of the following:
 - (i) construct on the Lands at the Owner’s expense, and in a manner and location satisfactory to the Regional District, acting reasonably, a Waterfront Pathway/Boardwalk or similar public pathway of a value and utility equivalent to the Public Walkway Right of Way; or
 - (ii) pay to the Regional District a sum of money (the “**Amenity Payment**”) equal to 125 percent of the estimated cost (as of the date of such termination or expiry,

and as determined by the Regional District, acting reasonably) of construction of a Waterfront Pathway/Boardwalk on the Lands.

2.2 If the Owner fails to satisfy either paragraph 2.1c(i) or 2.1c(ii) within six (6) months following the date of termination or expiry of the Water Lot Rights as contemplated in paragraph 2.1c (the “**Grace Period**”), then, upon expiry of the Grace Period the Lands shall not be subdivided, built on, or used for marina-associated parking, accessory marina sales or marina-related office use, until such time as the Owner has satisfied either paragraph 2.1c(i) or 2.1c(ii).

2.3 The Amenity Payment, once paid to the Regional District, shall be used by the Regional District for the purpose of providing a public amenity within the general vicinity of the Lands of comparable benefit to the Waterfront Pathway/Boardwalk. The nature and exact location of such public amenity shall be within the sole discretion of the Regional District.

3. **Indemnity.**

4.1 The Owner hereby agrees to indemnify and save harmless the Regional District, and its elected and appointed officials, officers, employees, and agents from and against any loss, damage, debts, claims, liabilities, obligations, costs or causes of action which the Regional District and its elected and appointed officials, officers, employees and agents, or any of them, may suffer, incur, or be put, arising, whether directly or indirectly, out of a breach of any covenant or condition of this Agreement by the Owner or its directors, officers, employees, or agents, or any other person for whom it is legally responsible.

4. **Other.**

5.1 It is further understood and agreed between the parties hereto that:

- a. Covenants run with the Lands: The covenants contained in this Agreement charge the Lands pursuant to Section 219 of the *Land Title Act* and are covenants the burden of which run with the Lands. It is expressly agreed that the benefit of all covenants made by the Owner in this Agreement will accrue solely to the Regional District and this Agreement may only be modified or discharged by agreement of the Regional District, pursuant to the provisions of Section 219(9) of the *Land Title Act*;
- b. Liability During Currency of Ownership: Notwithstanding anything contained in this Agreement, the Owner will not be liable under any of the covenants contained in this Agreement where such liability arises after the Owner ceases to have any further interest in the Lands;
- c. Subdivision of Lands: This Agreement burdens and charges any parcel into which the Lands are subdivided by any means and upon which any portion of the Covenant Area is located;
- d. Notice: Whenever it is required or desired that either party shall deliver or serve a notice on the other, delivery or service shall be deemed to be satisfactory if, and deemed to have occurred when:

- (i) the Owner or the Corporate Officer of the Regional District has been served personally, on the date of service; or
 - (ii) mailed by prepaid registered mail, on the date received or on the sixth day after receipt of mailing by any Canada post office, whichever is earlier (except that in the event of interruption of mail service, notice shall be deemed to be delivered only when actually received by the party to whom it is addressed), so long as the notice is mailed to the party at the most recent address shown on title to lands in the records of the Lower Mainland Land Title Office for the party, or to whatever address the parties may from time to time advise in writing;
- e. No Derogation of Power: Nothing contained or implied herein will prejudice or affect the rights and powers of the Regional District in the exercise of its functions under any public and private statutes, bylaws, orders and regulations, all of which may be fully and effectively exercised in relation to the Lands as if this Agreement had not been executed and delivered by the Owner;
 - f. Applicable Law: This Agreement shall be governed by and construed in accordance with the laws of the Province of British Columbia;
 - g. Enurement: This Agreement will enure to the benefit of and be binding upon the parties to this Agreement and their respective successors and assigns;
 - h. Number and Gender: Wherever the singular or masculine is used in this Agreement, the same will be construed as meaning the plural, feminine or body corporate or politic where the context of the parties so require;
 - i. Amendments only in Writing: It is expressly agreed that the benefit of all covenants made by the Owner herein shall accrue to the Regional District and that this Agreement may only be modified or discharged by agreement of the Regional District and the Owner witnessed in writing;
 - j. No Duty to Enforce: The Owner hereby covenants and agrees with the Regional District that the Regional District is under no obligation in law or equity to prosecute or enforce the terms of this Agreement in any way;
 - k. Further Documents: The parties will do and cause to be done all things and execute and cause to be executed all documents which may be necessary to give proper effect to the intention of this Agreement; and
 - l. Severance: If any section, subsection, sentence, clause or phrase in this Agreement is for any reason held to be invalid by the decision of a court of competent jurisdiction, the invalid portion will be severed and the provision that is invalid will not affect the validity of the remainder of the Agreement.

IN WITNESS WHEREOF the parties have executed this Agreement on Forms C and D to which this Agreement is attached and which form part of this Agreement, effective as of the date first above written.

Appendix 9

Schedule FF - Statutory Right of Way for Public Access to Boat Ramp (Strata Maintained)

**SCHEDULE "FF": STATUTORY RIGHT OF WAY FOR PUBLIC ACCESS TO BOAT RAMP
(STRATA MAINTAINED)**

[attach *Land Title Act* Form C General Filing Instrument – Part 1]

TERMS OF INSTRUMENT - PART 2

THIS AGREEMENT is dated for reference the ____ day of _____, 2017

BETWEEN:

1040985 B.C. LTD. NO. BC1040985

305-1788 West 5th Avenue
Vancouver, BC V6J 1P2

AND

1042719 B.C. LTD., INC. NO. BC1042719

305-1788 West 5th Avenue
Vancouver, BC V6J 1P2

AND

1040984 B.C. LTD., INC. NO. BC1040984

305-1788 West 5th Avenue
Vancouver, BC V6J 1P2

(collectively the "**Owner**")

AND:

REGIONAL DISTRICT OF NANAIMO

6300 Hammond Bay Road
Nanaimo, BC V9T 6N2

(the "**Regional District**")

WHEREAS:

- A. The Owner is the registered owner of those lands and premises situate in the Regional District in the Province of British Columbia, described in Item 2 of Form C to which this Terms of Instrument is attached (the "**Lands**");
- B. Section 218 of the *Land Title Act* allows a statutory right-of-way to be granted over land without a dominant or servient tenement, and the statutory right-of-way hereinafter

provided for is essential to the operation and maintenance of the Regional District's undertaking; and

- C. To provide and facilitate public access, as provided for herein, to the boat ramp and related improvements located on the Lands (collectively, the "**Boat Ramp**") the Owner has agreed to grant the statutory right-of-way hereinafter mentioned.
- D. The Regional District is authorized to hold a covenant under s. 219 of the *Land Title Act*, and
- E. The Owner has agreed to transfer to the Regional District a covenant under s. 219 of the *Land Title Act* to secure the covenants of the Owner in this Agreement.

NOW THEREFORE THIS AGREEMENT WITNESSES that in consideration of the premises and the mutual covenants and agreements herein contained and the sum of One Dollar (\$1.00), now paid by the Regional District to the Owner (the receipt and sufficiency whereof is hereby acknowledged), the Owner and the Regional District hereby covenant and agree as follows:

Definitions.

- 1. In this Agreement:
 - (a) "**Plan**" means the plan of the Statutory Right of Way area prepared by ♦, B.C.L.S., and attached as Appendix "1" to this Agreement; and
 - (b) "**Statutory Right-of-Way Area**" means the area provided for on the Plan.

Grant.

- 2. THE OWNER, for himself, his heirs, executors, administrators, successors and assigns, DOES HEREBY GIVE AND GRANT, except as set out in section 3 of this Agreement, unto the Regional District, and its successors and assigns, a statutory right-of-way and the full, free and unrestricted right and liberty for the Regional District, its licencees, permittees, invitees, agents, and guests, including the general public, at any time and at their will and pleasure for the benefit of the Regional District, to:
 - a. enter, go, return, pass and repass upon the Statutory Right-of-Way Area with or without vehicles for purposes of launching and retrieving boats and other water craft; and
 - b. generally do all acts reasonably necessary or incidental to the business of the Regional District in connection with the Boat Ramp and the use of the Statutory Right-of-Way Area for the aforesaid purposes;

TO HAVE AND TO HOLD unto the Regional District, its successors and assigns, from and after the date hereof, forever.

- 3. The right of way granted herein is subject to the restrictions and limitations hereinafter set forth in favour of the Owner, being the right at all times hereafter and from time to time to eject from the Statutory Right-of-Way Area any member of the public who:

- a. acts in a disorderly or offensive manner, molests, pesters, interferes with or obstructs (except if authorized to install, inspect, maintain or repair the Works) any other person from having access to the Statutory Right-of-Way Area, or commits an illegal act;
 - b. presents a real and substantial threat to the safety of others or to the security of any improvements on the Statutory Right-of-Way Area or the Lands;
 - c. takes up abode overnight on the Statutory Right-of-Way Area or attempts such abode;
 - d. lights any fires or burns any material on the Statutory Right-of-Way Area; or
 - e. fails or refuses to pay any reasonable fee imposed by the Owner for use of the Boat Ramp.
4. It is hereby acknowledged and agreed that the Owner shall have the right to impose fees for the use of the Boat Ramp by members of the general public, and that such fees shall not constitute an obstruction or interference with the rights granted hereunder, so long as such fees are reasonable having regard to fees or charges levied elsewhere in British Columbia for use of facilities of a comparable size, location and nature.

5. **Owner's Covenants.**

THE OWNER HEREBY COVENANTS AND AGREES with the Regional District that the Owner:

- a. will, as far as reasonably necessary, carry out the maintenance, repair, replacement, renewal, reconstruction, improvement and inspection of the Boat Ramp in a proper and workmanlike manner, and at the Owner's own expense;
- b. except as provided in section 3, will not do or knowingly permit to be done any act or thing which interferes with or obstructs the exercise of the rights granted hereunder; and
- c. at the sole expense of the Owner, do or cause to be done all acts reasonably necessary to grant priority to this Agreement over all financial charges and encumbrances which are registered against the title to the Lands in the Land Title Office, which for greater certainty does not include charges or encumbrances in favour of the Regional District or other governmental authority or those specifically approved in writing by the Regional District.

5. **Owner's Indemnity.**

THE OWNER COVENANTS AND AGREES with the Regional District that the Owner will indemnify and save harmless the Regional District and its elected and appointed officials, directors, agents, employees, successors and assigns from and against any and all actions, causes of actions, claims, suits, proceedings, costs and expenses of whatever kind, for any loss, damage, injury or death to any person or persons of any public or private property arising directly or indirectly out of the use by the Owner, the public or any other person of the Statutory Right-of-Way, save and except to the extent that such loss, injury,

damage or death is caused by the negligence or wilful act of the Regional District or its servants and agents.

6. **Additional Remedy for the Regional District.**

In the event that the Owner erects, places or maintains any building, structure, or obstruction of a permanent nature contrary to section 5(b) hereof, and such erection, placement or maintenance interferes with the purposes of the Statutory Right-of-Way, the Regional District and its employees, agents or contractors may enter upon the Statutory Right-of-Way Area at any time to undertake any work which it deems necessary to remove such building, structure, or obstruction, and any costs which the Regional District may incur in doing so including any administrative and interest costs, shall be due and payable by the Owner on demand from the Regional District, or recoverable by the Regional District as part of any tax payment, levies or any other fees in respect to the Lands. In carrying out such removal work, the Regional District shall, as far as reasonably necessary, carry out such work in a proper and workmanlike manner so as to do as little injury as possible.

7. **Section 219 Covenant.**

The Owner covenants and agrees with the Regional District that every obligation and covenant of the Owner in this instrument constitutes both a contractual obligation and a statutory right of way granted under section 218 of the *Land Title Act* in respect of the Lands, and a covenant granted under section 219 of the *Land Title Act* in respect of the Lands, and this instrument burdens the Lands and runs with and binds the Owner's successors in title to the Lands.

8. **Other.**

IT IS MUTUALLY UNDERSTOOD, agreed and declared by and between the parties hereto that:

- a. **Covenant Runs with the Land:** This Agreement shall be construed as a covenant running with the Lands and that none of the covenants herein contained shall be personal or binding upon the parties hereto, save and except during the Owner's seisin or ownership of any interest in the Lands and with respect only to that portion of the Lands of which the Owner shall be seised or which he shall have an interest, but that the Lands shall, nevertheless, be and remain at all times charged therewith;
- b. **Liability During Currency of Ownership:** Notwithstanding anything herein contained, neither the Owner named herein or any future owner of the Lands, or any portion thereof, shall be liable under any of the covenants and agreements contained herein where such liability arises by reason of an act or omission occurring after the Owner named herein or any future owner ceases to have a further interest in the Lands;
- c. **Subdivision of Lands:** This Agreement burdens and charges any parcel into which the Lands are subdivided by any means and upon which any portion of the Statutory Right-of-Way is located;

- d. Use by the Owner: Save as aforesaid, nothing in this Agreement shall be interpreted so as to restrict or prevent the Owner from using the Statutory Right-of-Way Area in any manner which does not interfere with the unobstructed access through the Statutory Right-of-Way by the Regional District and the public;
- e. Notice: Whenever it is required or desired that either party shall deliver or serve a notice on the other, delivery or service shall be deemed to be satisfactory if, and deemed to have occurred when:
 - (i) the Owner or the Corporate Officer of the Regional District has been served personally, on the date of service; or
 - (ii) mailed by prepaid registered mail, on the date received or on the sixth day after receipt of mailing by any Canada post office, whichever is earlier (except that in the event of interruption of mail service, notice shall be deemed to be delivered only when actually received by the party to whom it is addressed), so long as the notice is mailed to the party at the most recent address shown on title to lands in the records of the Land Title Office for the party, or to whatever address the parties may from time to time advise in writing;
- f. No Derogation of Power: Notwithstanding anything contained in these presents, there are hereby reserved to the Regional District all its rights and powers of expropriation or other powers or privileges granted to the Regional District, or enjoyed by it, by or under any act or the legislature of the Province of British Columbia;
- g. Applicable Law: This Agreement shall be governed by and construed in accordance with the laws of the Province of British Columbia;
- h. Performance by Regional District: Nothing herein contained shall be deemed to include or imply any covenant or agreement on the part of the Regional District with the Owner or with any other person or persons as a condition hereof or otherwise to construct or install the Boat Ramp, or any public works or utility whatsoever provided for in this Statutory Right-of-Way or any portion thereof;
- i. Enurement: This Agreement shall enure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns;
- j. Number and Gender: Wherever the singular or the masculine is used in this Agreement, the same shall be construed as meaning the plural or the feminine or the body corporate or politic where the context or the parties hereto so require;
- k. Amendments only in Writing: It is expressly agreed that the benefit of all covenants made by the Owner herein shall accrue to the Regional District and that this Agreement may only be modified or discharged by agreement of the Regional District and the Owner witnessed in writing;
- l. No Duty to Enforce: The Owner hereby covenants and agrees with the Regional District that the Regional District is under no obligation in law or equity to prosecute or enforce the terms of this Agreement in any way;

- m. Further Documents: The parties will do and cause to be done all things and execute and cause to be executed all documents which may be necessary to give proper effect to the intention of this Agreement; and
- n. Severance: If any section, subsection, sentence, clause or phrase in this Agreement is for any reason held to be invalid by the decision of a court of competent jurisdiction, the invalid portion will be severed and the provision that is invalid will not affect the validity of the remainder of the Agreement.

IN WITNESS WHEREOF the parties hereto have executed this Agreement as of the day, month and year first above written by executing the Form C attached hereto.